Site Plans

Issued for: **Final Level PUD Approval- Final Submission**

Date Issued: January 22, 2013

Latest Issue: January 22, 2013

Sheet Index

Number	Drawing Title	Latest Issue
C-1	Legend and General Notes	01/22/2013
C-2	Neighborhood Context Map 1	01/22/2013
C-3	Neighborhood Context Map 2	01/22/2013
C-4	Overall Site Plan 1	01/22/2013
C-5	Overall Site Plan 2	01/22/2013
C-6	Layout and Materials Plan	01/22/2013
C-7	Grading, Drainage and Erosion Control Plan	01/22/2013
C-8	Utility Plan	01/22/2013

Bound Separately

A-1	Architectural Plans	09/10/2012

Reference Plans

1-13	As Built Utility Plans	03/09/2012
1-18	Main Street Plaza Plans	06/01/2012

Assembly Square Block 2A

Assembly Square Drive
Somerville, Massachusetts

Site Location Map

Property Owners

Federal Realty
INVESTMENT TRUST

Owner/Applicant:
Street Retail, Inc.
1626 East Jefferson Street
Rockville, MD 20852
(P) 617-684-1500

Vanasse Hangen Brustlin, Inc.
Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286

1/22/13

VHB Project No. 08518.05
Assembly Square Drive, Somerville, Massachusetts
Issued for: Final Level PUD Approval- Final Submission

Legend

Exist.	Prop.	
		PROPERTY LINE
		PROJECT LIMIT LINE
		RIGHT-OF-WAY/PROPERTY LINE
		EASEMENT
		BUILDING SETBACK
		PARKING SETBACK
10+00	10+00	BASELINE
		CONSTRUCTION LAYOUT
		ZONING LINE
		TOWN LINE
		LIMIT OF DISTURBANCE
		WETLAND LINE WITH FLAG
		FLOODPLAIN
BLSF		BORDERING LAND SUBJECT TO FLOODING
BZ		WETLAND BUFFER ZONE
NDZ		NO DISTURB ZONE
200'RA		200' RIVERFRONT AREA
		GRAVEL ROAD
EOP		EDGE OF PAVEMENT
BB	BB	BITUMINOUS BERM
BC	BC	BITUMINOUS CURB
CC	CC	CONCRETE CURB
	CG	CURB AND GUTTER
CC	ECC	EXTRUDED CONCRETE CURB
CC	MCC	MONOLITHIC CONCRETE CURB
CC	PCC	PRECAST CONC. CURB
SGE	SGE	SLOPED GRAN. EDGING
VGC	VGC	VERT. GRAN. CURB
		LIMIT OF CURB TYPE
		SAWCUT
		BUILDING
	EN	BUILDING ENTRANCE
	LD	LOADING DOCK
		BOLLARD
D	D	DUMPSTER PAD
		SIGN
		DOUBLE SIGN
		STEEL GUARDRAIL
		WOOD GUARDRAIL
		PATH
		TREE LINE
		WIRE FENCE
		FENCE
		STOCKADE FENCE
		STONE WALL
		RETAINING WALL
		STREAM / POND / WATER COURSE
		DETENTION BASIN
		HAY BALES
		SILT FENCE
4	4	MINOR CONTOUR
20	20	MAJOR CONTOUR
10	10	PARKING COUNT
	C10	COMPACT PARKING STALLS
DYL	DYL	DOUBLE YELLOW LINE
SL	SL	STOP LINE
		CROSSWALK
		ACCESSIBLE CURB RAMP
		ACCESSIBLE PARKING
		VAN-ACCESSIBLE PARKING

Exist.	Prop.	
		CONCRETE
		HEAVY DUTY PAVEMENT
		RIPRAP
		CONSTRUCTION ENTRANCE
27.35 TC×	27.35 TC×	TOP OF CURB ELEVATION
26.85 BC×	26.85 BC×	BOTTOM OF CURB ELEVATION
132.75×	132.75×	SPOT ELEVATION
45.0 TW / 38.5 BW×	45.0 TW / 38.5 BW×	TOP & BOTTOM OF WALL ELEVATION
		BORING LOCATION
		TEST PIT LOCATION
MW	MW	MONITORING WELL
UD	UD	UNDERDRAIN
12"D	12"D	DRAIN
6"RD	6"RD	ROOF DRAIN
12"S	12"S	SEWER
FM	FM	FORCE MAIN
OHW	OHW	OVERHEAD WIRE
6"W	6"W	WATER
4"FP	4"FP	FIRE PROTECTION
	2"DW	DOMESTIC WATER
3"G	G	GAS
E	E	ELECTRIC
STM	STM	STEAM
T	T	TELEPHONE
FA	FA	FIRE ALARM
CATV	CATV	CABLE TV
		CATCH BASIN
		DOUBLE CATCH BASIN
		GUTTER INLET
		DRAIN MANHOLE
TD		TRENCH DRAIN
		PLUG OR CAP
CO	CO	CLEANOUT
		FLARED END SECTION
		HEADWALL
		SEWER MANHOLE
CS	CS	CURB STOP & BOX
WV	WV	WATER VALVE & BOX
TSV	TSV	TAPPING SLEEVE, VALVE & BOX
		SIAMESE CONNECTION
HYD	HYD	FIRE HYDRANT
WM	WM	WATER METER
PIV	PIV	POST INDICATOR VALVE
		WATER WELL
GG	GG	GAS GATE
GM	GM	GAS METER
	EMH	ELECTRIC MANHOLE
EM	EM	ELECTRIC METER
		LIGHT POLE
	TMH	TELEPHONE MANHOLE
	T	TRANSFORMER PAD
		UTILITY POLE
		GUY POLE
		GUY WIRE & ANCHOR
HH	HH	HAND HOLE
PB	PB	PULL BOX
Matchline		MATCHLINE

Abbreviations

General

ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EXIST	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL

Utility

CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

Notes:

General

1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
3. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE SIX INCHES LOAM AND SEED.
4. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
5. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
6. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
7. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
8. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
9. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
10. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
11. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.

Utilities

1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR IT'S REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
3. A MAJORITY OF THE UTILITY IMPROVEMENTS WITHIN THE EXISTING AND FUTURE ASSEMBLY SQUARE DRIVE ROADWAY LIMITS HAVE BEEN CONSTRUCTED BY OTHERS IN 2009. THIS WORK WAS PROPOSED UNDER THE "ASSEMBLY SQUARE UTILITY IMPROVEMENTS" PLANS DATED JULY 3, 2009, REVISED THROUGH AUGUST 1, 2009. AVAILABLE AS-BUILT INFORMATION IS SHOWN ON THESE PLANS BUT SHALL BE VERIFIED BY THE CONTRACTOR. COMPLETE AS-BUILT PLANS WILL BE FURNISHED UPON REQUEST.
4. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS. RIM ELEVATIONS ON THE GRADING AND UTILITY PLANS ARE FOR AN INTERIM GRADING CONDITION. CONTRACTOR TO ALLOW FOR SIX INCHES OF ADJUSTMENT OF RIM ELEVATIONS TO MATCH FUTURE PROPOSED ROADWAY ELEVATIONS.
5. LOCATE UTILITY STRUCTURES INCLUDING CATCH BASINS, VALVES, MANHOLES AND HYDRANTS IN ACCORDANCE WITH COORDINATES ON THE UTILITY PLANS. COORDINATES ON THE GRADING PLANS ARE REFERENCED TO THE CENTER POINT OF THE SUBSURFACE STRUCTURE.
6. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
   A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
   B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
   C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
7. HYDRANT ELEVATIONS REPRESENT THE FUTURE SIDEWALK GRADE BENEATH HYDRANT GRATE
8. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
9. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
10. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
    A. WATER PIPES SHALL BE POLYETHYLENE ENCASED, CEMENT LINED, DUCTILE IRON, CLASS 52. WATER JOINTS SHALL BE MEGALUG OR EQUIVALENT.
    B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE- SDR35
    C. STORM DRAINAGE PIPES SHALL BE REINFORCED CONCRETE PIPE (RCP). STORM DRAINAGE PIPES 18 INCHES AND SMALLER SHALL BE CLASS V. LARGER PIPES SHALL BE CLASS III UNLESS OTHERWISE NOTED.
    D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
12. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.
13. THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING (DRAINAGE, SEWER, FIRE ALARM, ETC.) STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.
14. ALL LATERAL DRAIN PIPES SHALL BE INSTALLED WITH A PITCH OF 0.01 FOOT PER FOOT (MINIMUM) UNLESS NOTED OTHERWISE ON THE DRAWINGS.

Layout and Materials

8. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
9. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
10. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES. PIPE LENGTHS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR FINAL DETERMINATION OF REQUIRED PIPE LENGTHS.
11. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

Demolition

1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.

Erosion Control

1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWELVE HOURS AFTER EACH STORM EVENT AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

1. THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. BETWEEN APRIL 2004 AND MARCH OF 2006 AND FROM DEEDS AND PLANS OF RECORD.

   THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON THE GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN APRIL OF 2004, UPDATED IN MARCH OF 2006, AS WELL AS A PLAN ENTITLED "AS BUILT PLAN OF LAND ASSEMBLY SQUARE MALL, SOMERVILLE, MA" BY DANA PERKINS, DATED SEPTEMBER 12, 1997, REVISED NOVEMBER 1, 1999, SUPPLEMENTED BY AS BUILT INFORMATION FROM THE ASSEMBLY SQUARE DRIVE UTILITY INFRASTRUCTURE CONSTRUCTION.

   UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
2. ELEVATIONS SHOWN ARE BASED UPON USCGS, NATIONAL GEODETIC VERTICAL DATUM OF 1929 AND WERE INITIATED AT BENCHMARK #11000, A MASSACHUSETTS GEODETIC SURVEY DISC.
3. THE PROJECT AREA IS PRIMARILY WITHIN ZONE C, AREA OF MINIMAL FLOODING, AND INCLUDES AREA WITHIN ZONE A2, AREAS OF 100 YEAR FLOOD (BELOW ELEVATION 10), AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP FOR THE CITY SOMERVILLE, MASSACHUSETTS COMMUNITY PANEL NUMBER 250214 0001 B, EFFECTIVE DATE JULY 17, 1986.
4. MEAN HIGH WATER (MHW), MEAN SEA LEVEL (MSL) AND MEAN LOW WATER (MLW) ELEVATIONS WERE OBTAINED FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION (NOAA) TIDES AND CURRENTS WEBSITE; BOSTON HARBOR TIDE GAUGING STATION 8443970 AND CONVERTED TO NGVD 1929 DATUM AT THE AMELIA EARHART DAM.

VHB

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286

No.	Revision	Date	Appvd.

Designed by | Drawn by | Checked by
CAD checked by | Approved by
Scale NTS | Date January 22, 2013

Project Title

Assembly Square Block 2A Pavilion
Assembly Square Drive
Somerville, Massachusetts

Issued for

Final Level PUD Approval - Final Submission
Not Approved for Construction

Drawing Title

Legend and General Notes

COMMONWEALTH OF MASSACHUSETTS — RICHARD P. MATHEWS JR. CIVIL No. 41565 REGISTERED PROFESSIONAL ENGINEER
1/22/13

Drawing Number C-1

Sheet 2 of 9

Project Number 08518.05

08518.05_BL2SF-LG.DWG

VHB

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286

Revisions		Date	Page(s)

Designed by	Drawn by MVC	Checked by LTM	
Job checked by		Approved by HGH	
Scale 1"=100'		Date January 22, 2013	

Project Title
Assembly Square
Block 2A
Pavilion
Assembly Square Drive
Somerville, Massachusetts

Sheet Title
Final Level PUD Approval -
Final Submission
Not Approved for Construction

Drawing Title
Neighborhood
Context Map 2

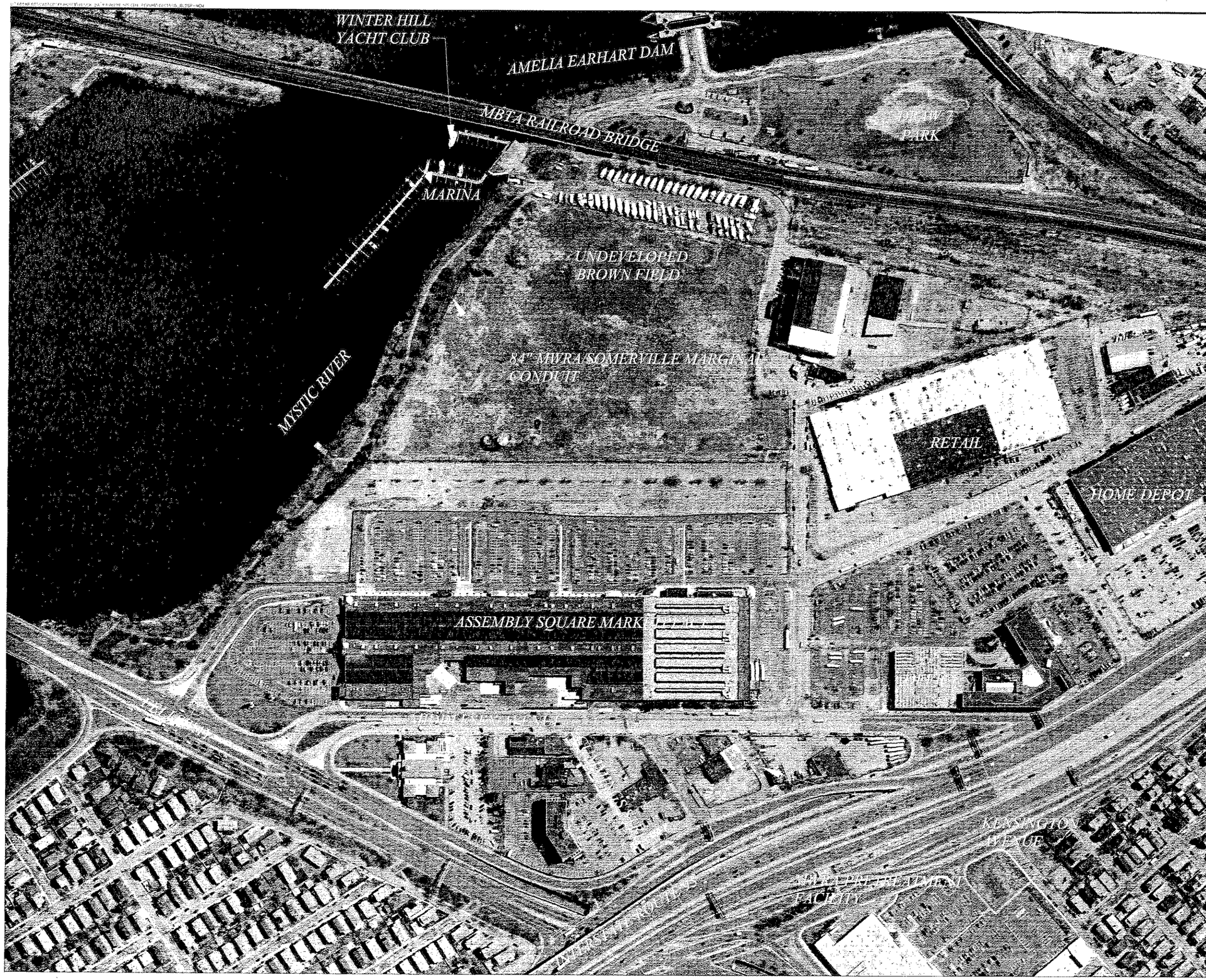
Drawing Number
C-3

Sheet 4 of 9

Project Number
08518.05

1/22/13

08518.05_EX.DSF-NCM.DWG



VHB
Vanasse Hangen Brustlin, Inc.
Transportation
Land Development
Environmental Services
101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286

No.	Revisions	Date	Appd.

Designed by	Drawn by MMG	Checked by CTM	
Re-checked by		Approved by MGH	
Scale 1"=100'		Date January 22, 2013	

Project Title
Assembly Square
Block 2A
Pavilion
Assembly Square Drive
Somerville, Massachusetts

Issued for
Final Level PUD Approval -
Final Submission
Not Approved for Construction

Drawing Title
Neighborhood
Context Map 1

Drawing Number
C-2

Sheet 3 of 9

Project Number
08518.05

1/22/13

08518000_2B_FSP-NCM.DWG

Parking Summary Chart

Description	Size Required	Size Provided	Office Required	Retail Required	Restaurant Required	Residential Required	Hotel Required	Cinema Required	IKEA Required	IKEA Provided	Mall Required	Mall Provided
STANDARD SPACES	9' x 18'	9' x 18'	1,722	324	230	2,058	96	60	333	1,214	1,036	1,100
STANDARD ACCESSIBLE SPACES*	13' x 18'	14' x 18'	23	6	5	26	3	2	7	20	17	17
VAN ACCESSIBLE SPACES*	16' x 18'	17' x 18'	5	2	2	7	1	1	1	3	4	6
TOTAL SPACES			1,750	332	237	2,100	100	63	340	1,287	1,059	1,123

* ADA/STATE/LOCAL REQUIREMENTS (MINIMUM)

Mixed Use Area Loading Requirements:

OFFICE:	0 – 10,000 SF	(0)	= 12
	10,001 – 100,000 SF	(1)	
	EACH ADDL. 150,000 SF	(1)	
RETAIL:	0 – 5,000 SF	(0)	= 9
	5,001 – 20,000 SF	(1)	
	20,001 – 35,000 SF	(2)	
	35,001 – 50,000 SF	(3)	
	EACH ADDL. 50,000 SF	(1)	
RESTAURANT:	0 – 4,000 SF	(0)	= 5
	4,001 – 6,000 SF	(1)	
	6,001 – 16,000 SF	(2)	
	16,001 – 40,000 SF	(3)	
	EACH ADDL. 40,000 SF	(1)	
HOTEL:	AS NEEDED		= 1
CINEMA:	AS NEEDED		= 1

TOTAL LOADING REQUIRED = 28
TOTAL LOADING PROVIDED = 28

Mixed Use Area Parking Requirements:*

OFFICE	1,750,000 SF x 1 SPACE / 1,000 SF =	1,750
RETAIL	331,392 SF x 1 SPACE / 1,000 SF =	332
RESTAURANT	118,256 SF x 1 SPACE / 500 SF =	237
CINEMA	62,350 SF x 1 SPACE / 1,000 SF =	63
RESIDENTIAL	2,100 UNITS x 1 SPACE / UNIT =	2,100
HOTEL	200 GUEST ROOMS x 0.5 SPACES/GUEST ROOM =	100

TOTAL PARKING REQUIRED = 4,582
TOTAL PARKING PROVIDED = 7,658

*RETAIL AREA MAY BE RE-ALLOCATED TO OFFICE OR RESIDENTIAL USES AT ANY TIME, SO LONG AS ALSO PERMITTED BY NEW OR MODIFIED APPLICABLE ENTITLEMENTS; NO OTHER USE MAY BE CONVERTED.

RESIDENTIAL AREA MAY BE RE-ALLOCATED TO OFFICE USE AT ANY TIME, SO LONG AS PERMITTED BY NEW OR MODIFIED ENTITLEMENTS; AND

UP TO 400,000 SQUARE FEET OF THE NON-RESIDENTIAL USES (I.E., OFFICE, RETAIL, AND HOSPITALITY) MAY BE RE-ALLOCATED TO RESIDENTIAL USE, BUT NO SOONER THAN 10 YEARS FROM THE DATE THE PUD PLAN IS APPROVED, SO LONG AS PERMITTED BY NEW OR MODIFIED APPLICABLE ENTITLEMENTS.

IKEA Parking Requirements:

RETAIL	340,000 SF x 1 SPACE / 1000 SF =	340

TOTAL PARKING REQUIRED = 340
TOTAL PARKING PROVIDED = 1,287

Mall Parking Requirements:

RETAIL (ZONING)	328,806 SF x 1 SPACE / 1000 SF =	329
BLOCK 10 (MAX. ZONING)	4,500 SF x 1 SPACE / 500 SF =	9
RETAIL (LEASE)	328,806 SF x 3.22 SPACE / 1000 SF =	1,059

MAXIMUM PARKING REQUIRED (ZONING/LEASE) = 1,068
TOTAL PARKING PROVIDED = 1,123

Mixed Use Area Parking Requirements - Assumptions:

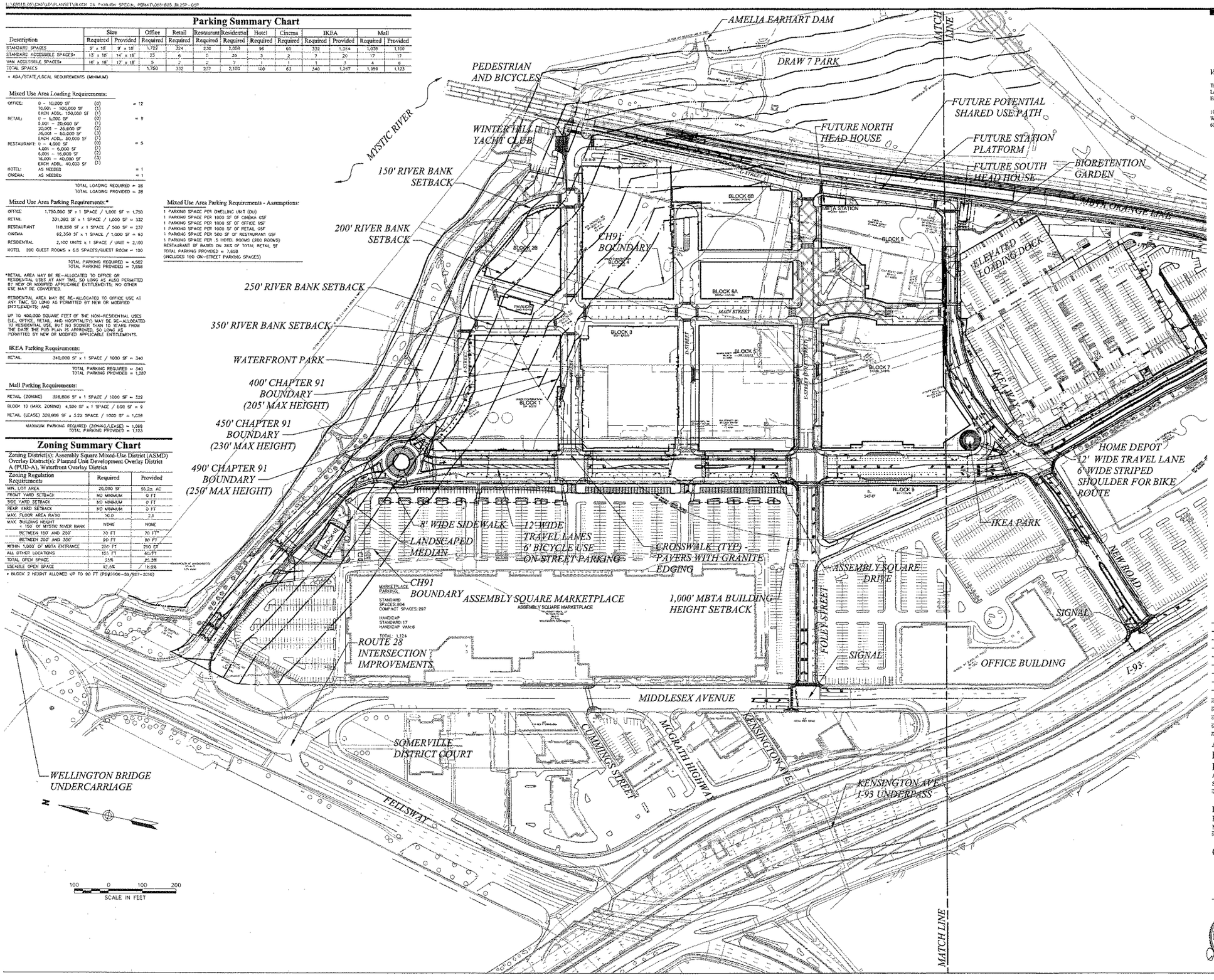
1 PARKING SPACE PER DWELLING UNIT (DU)
1 PARKING SPACE PER 1000 SF OF CINEMA GSF
1 PARKING SPACE PER 1000 SF OF OFFICE GSF
1 PARKING SPACE PER 1000 SF OF RETAIL GSF
1 PARKING SPACE PER 500 SF OF RESTAURANT GSF
1 PARKING SPACE PER .5 HOTEL ROOMS (200 ROOMS)
RESTAURANT SF BASED ON 25% OF TOTAL RETAIL SF
TOTAL PARKING PROVIDED = 7,658
(INCLUDES 190 ON-STREET PARKING SPACES)

Zoning Summary Chart

Zoning District(s): Assembly Square Mixed-Use District (ASMD)
Overlay District(s): Planned Unit Development Overlay District A (PUD-A), Waterfront Overlay District

Zoning Regulation Requirements	Required	Provided
MIN. LOT AREA	20,000 SF	56.2± AC
FRONT YARD SETBACK	NO MINIMUM	0 FT
SIDE YARD SETBACK	NO MINIMUM	0 FT
REAR YARD SETBACK	NO MINIMUM	0 FT
MAX. FLOOR AREA RATIO	10.0	2.1
MAX. BUILDING HEIGHT ≤ 150' OF MYSTIC RIVER BANK	NONE	NONE
BETWEEN 150' AND 250'	70 FT	70 FT*
BETWEEN 250' AND 350'	90 FT	90 FT*
WITHIN 1,000' OF MBTA ENTRANCE	250 FT	250 FT
ALL OTHER LOCATIONS	125 FT	40 FT
TOTAL OPEN SPACE	25%	25.3%
USEABLE OPEN SPACE	12.5%	18.0%

* BLOCK 2 HEIGHT ALLOWED UP TO 90 FT (PB#2006-59/907-2010)



VHB
Vanasse Hangen Brustlin, Inc.
Transportation
Land Development
Environmental Services
101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286

No.	Revision	Date	Appvd

Designed by | Drawn by | Checked by
CAD Checked by | Approved by
Scale 1"=100' | Date January 22, 2013

Project Title
Assembly Square
Block 2A
Pavilion
Assembly Square Drive
Somerville, Massachusetts

Issued for
Final Level PUD Approval - Final Submission
Not Approved for Construction

Drawing Title
Overall Site Plan 1

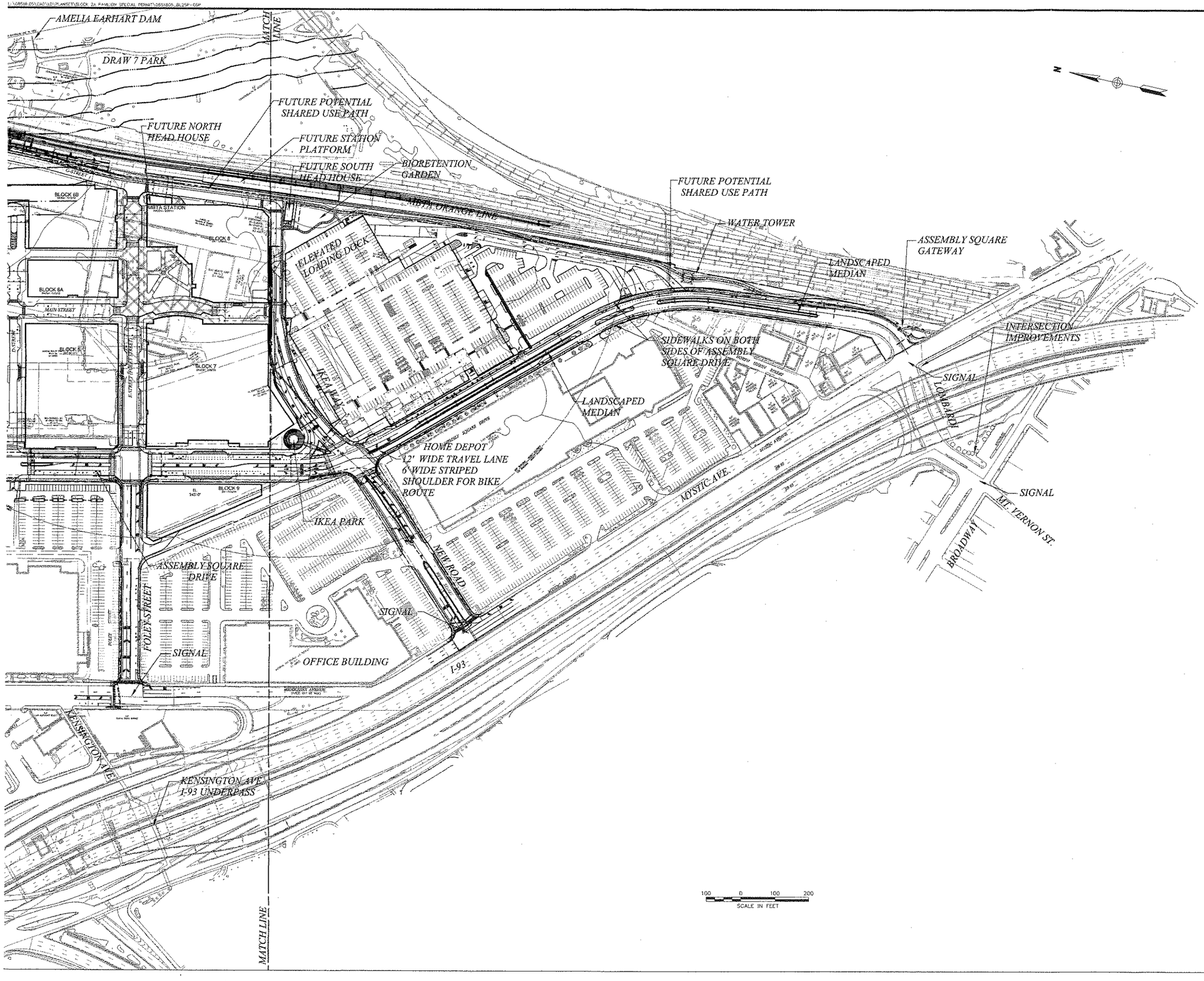
Drawing Number
C-4

Sheet 5 of 9

Project Number
08518.05

1/22/13

L:\08518.05\CAD\LD\PLANSET\BLOCK 2A PAVILION SPECIAL PERMIT\051805_BL2SP-OSP



VHB

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286

No.	Revision	Date	Appvd

Designed by | Drawn by | Checked by
CAD Checker By | Approved by
Scale 1"=100' | Date January 22, 2013

Project Title
Assembly Square
Block 2A
Pavilion
Assembly Square Drive
Somerville, Massachusetts

Prepared for

Final Level PUD Approval - Final Submission
Not Approved for Construction

Drawing Title
Overall Site Plan 2

Drawing Number
C-5

Sheet 6 of 9

Project Number
08518.05

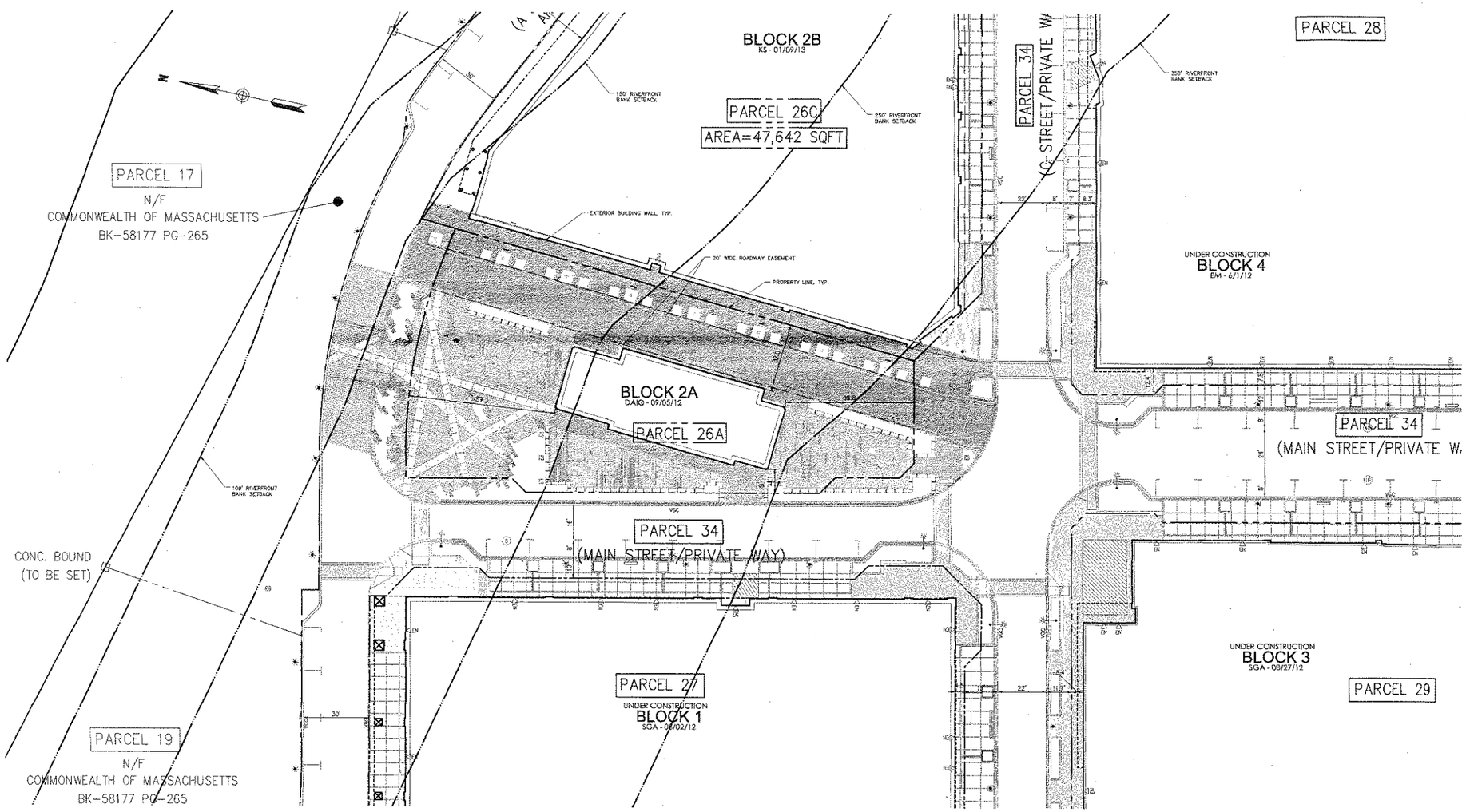
051805_BL2SP-OSP.DWG

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286

20 0 20 40
SCALE IN FEET



Zoning Summary Chart

Zoning District(s): Assembly Square Mixed-Use District (ASMD) Overlay District(s): Planned Unit Development Overlay District A (PUD-A), Waterfront Overlay District

Zoning Regulation Requirements	Required	Provided
MIN. LOT AREA (PROJECT AREA)	20,000 SF	20,922 *
FRONTAGE (ASSEMBLY ROW)	–	210 FT*
FRONT YARD SETBACK	NO MINIMUM	11.1 FT*
SIDE YARD SETBACK (LEFT)	NO MINIMUM	67.3 FT*
SIDE YARD SETBACK (RIGHT)	NO MINIMUM	59.8 FT*
REAR YARD SETBACK	NO MINIMUM	32.0 FT*
MAX. FLOOR AREA RATIO	10.0	0.17
MAX. BUILDING HEIGHT < 150' OF MYSTIC RIVER BANK	NONE	–
BETWEEN 150' AND 250'	70 FT	22'-3"
BETWEEN 250' AND 350'	90 FT	22'-3"
WITHIN 1,000' OF MBTA ENTRANCE	250 FT	N/A
ALL OTHER LOCATIONS	125 FT	N/A
TOTAL OPEN SPACE	25%	64.2%*
USEABLE OPEN SPACE	12.5%	64.2%*

* BASED ON PROPOSED PROJECT AREA.

Parking Requirements

RESTAURANTS	1 SPACES/ 500 SF
PARKING REQUIRED	(3,805 SF x 1 SPACES/ 500 SF) = 8

Bicycle Parking Requirements

NON-RESIDENTIAL	FROM 4 TO 14 PARKING SPACES REQUIRED = 1
PARKING REQUIRED	(8 SPACES x 1 SPACES/ 10 REQ. SPACES) = 1

No.	Revision	Date	Appvd.

Designed by | Drawn by | Checked by
Date checked by | Approved by
Scale 1"=20' | Date January 22, 2013

Project Title
Assembly Square
Block 2A
Pavilion
Assembly Square Drive
Somerville, Massachusetts

Issued for
Final Level PUD Approval - Final Submission
Not Approved for Construction

Drawing Title
Layout and Materials Plan

Drawing Number
C-6

Sheet 7 of 9

Project Number
08518.05

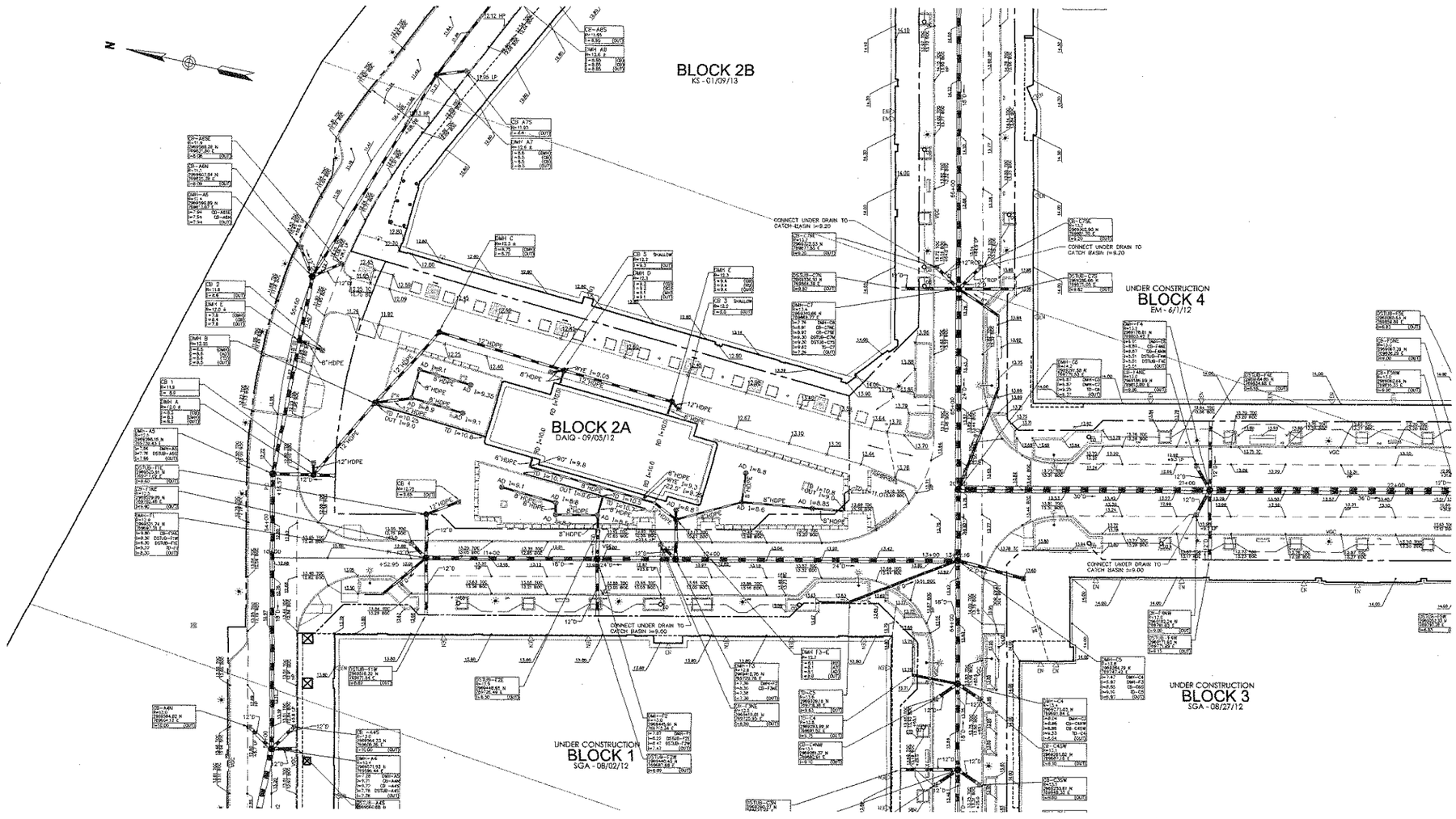
COMMONWEALTH OF MASSACHUSETTS
RICHARD P. MATHEWS JR.
CIVIL
No. 41640
REGISTERED PROFESSIONAL ENGINEER
1/22/13

081805_BL2SP-PLOT.DWG

\\VHB\PROJ\WAT-LD\08518.05\CAD\LD\PLANSET\BLOCK 2A PAVILION SPECIAL PERMIT\08518B05_BLZSP-PLOT
Saved Monday, January 21, 2013 11:34:08 AM EST/EDT Plotted Monday, January 21, 2013 11:37:30 AM Matthews, Richard

VHB
Vanasse Hangen Brustlin, Inc.
Transportation
Land Development
Environmental Services
101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286

20 0 20 40
SCALE IN FEET



No.	Revision	Date	Appvd.

Designed by | Drawn by | Checked by
CAD checked by | Approved by
Scale 1"=20' | Date January 22, 2013

Project Title
Assembly Square
Block 2A
Pavilion
Assembly Square Drive
Somerville, Massachusetts

Sheet Title
Final Level PUD Approval - Final Submission
Not Approved for Construction

Drawing Title
Grading, Drainage and Erosion Control Plan

COMMONWEALTH OF MASSACHUSETTS
RICHARD P. MATTHEWS JR.
CIVIL
No. 45264
1/22/13

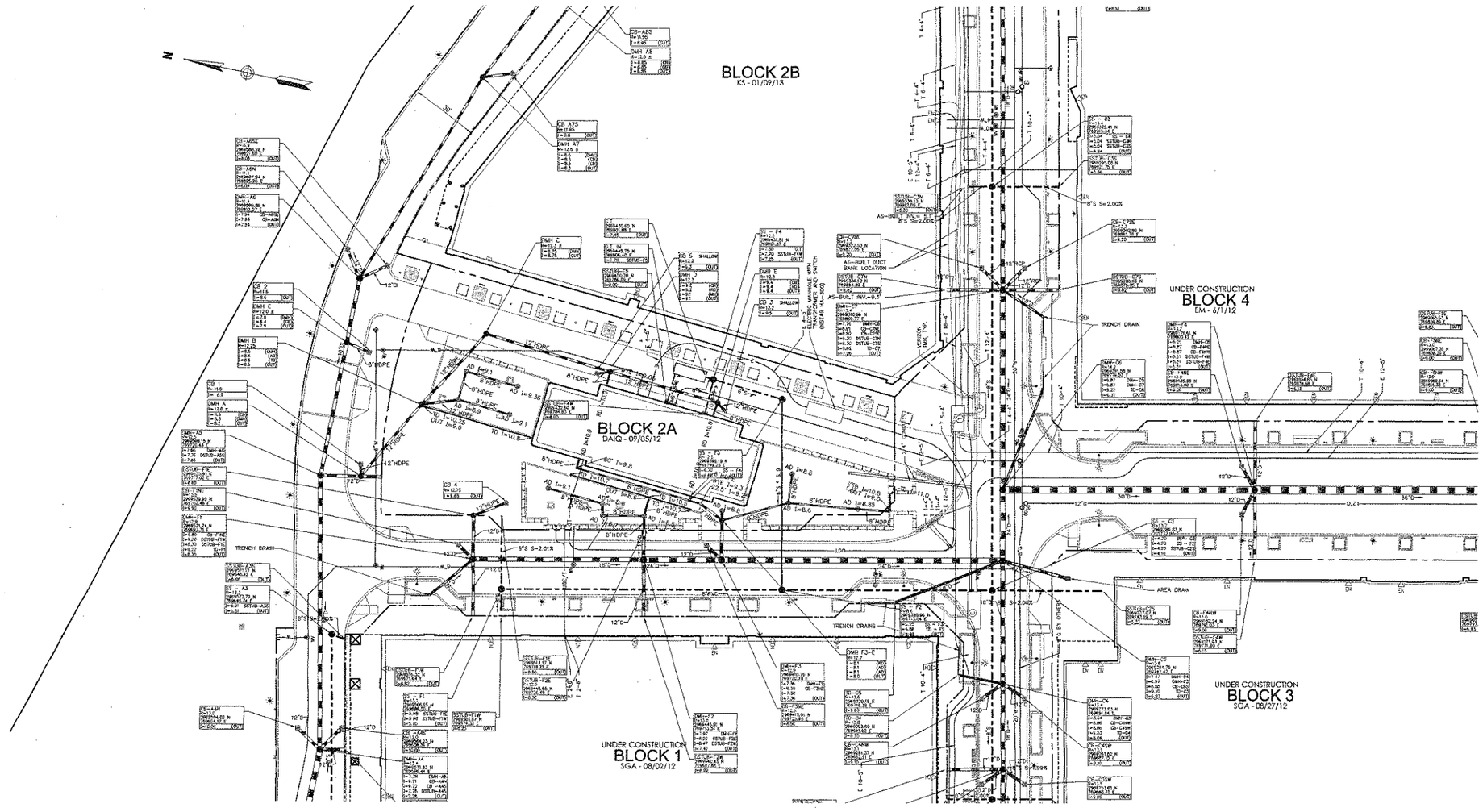
Drawing Number
C-7
Sheet 8 of 9
Project Number
08518.05

08518B05_BLZSP-PLOT.DWG

\\VHB\PROJ\WKF-LD\08585.05\CAD\LDP\BASE\BLOCK 2A PAVILION SPECIAL FORMAT\085805_2A 25P-PLOT
Saved Monday, January 21, 2013 11:34:08 AM by/for/DC Printed Monday, January 21, 2013 11:36:23 AM Matthews, Richard

VHB
Vanasse Hangen Brustlin, Inc.
Transportation
Land Development
Environmental Services
101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286

20 0 20 40
SCALE IN FEET



No.	Revision	Date	Appvd

Designed by | Drawn by | Checked by
CAD checked by | Approved by
Scale 1"=20' | Date January 23, 2013

Project Title
Assembly Square
Block 2A
Pavilion
Assembly Square Drive
Somerville, Massachusetts

Related for
Final Level PUD Approval -
Final Submission
Not Approved for Construction

Drawing Title
Utility Plan

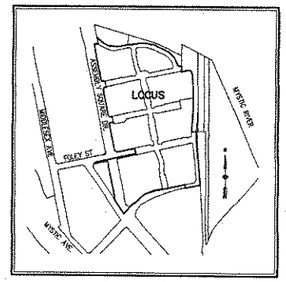
COMMONWEALTH OF MASSACHUSETTS
RICHARD P. MATTHEWS JR.
CIVIL
No. 45145
REGISTERED PROFESSIONAL ENGINEER
1-22-13

Drawing Number
C-8

Sheet 9 of 9

Project Number
DK5118.05

085180C_BL2SK-25.01.DWG



Locus Map
(NOT TO SCALE)

VHB
Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HAND HOLE
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- FLOOD LIGHT
- WELL
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- F.F.E.=45.27' FINISHED FLOOR ELEVATION
- EDGE OF PAVEMENT
- CONCRETE CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE EDGE
- BITUMINOUS BERM
- BITUMINOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- TELEPHONE LINE
- GAS LINE
- WATER LINE
- STONE WALL
- TREE LINE
- 100-FT BUFFER ZONE
- 100-FT RIVER FRONT AREA
- 200-FT RIVER FRONT AREA
- LIMIT MEAN ANNUAL HIGH WATER
- LIMIT OF BANK
- VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appvd.

Designed by | Drawn by | Checked by
CAD checked by | Approved by
Scale 1"=40' | Date March 9, 2012

Project Title
Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Issued for
Utility As-Built

Drawing Title
Key Sheet

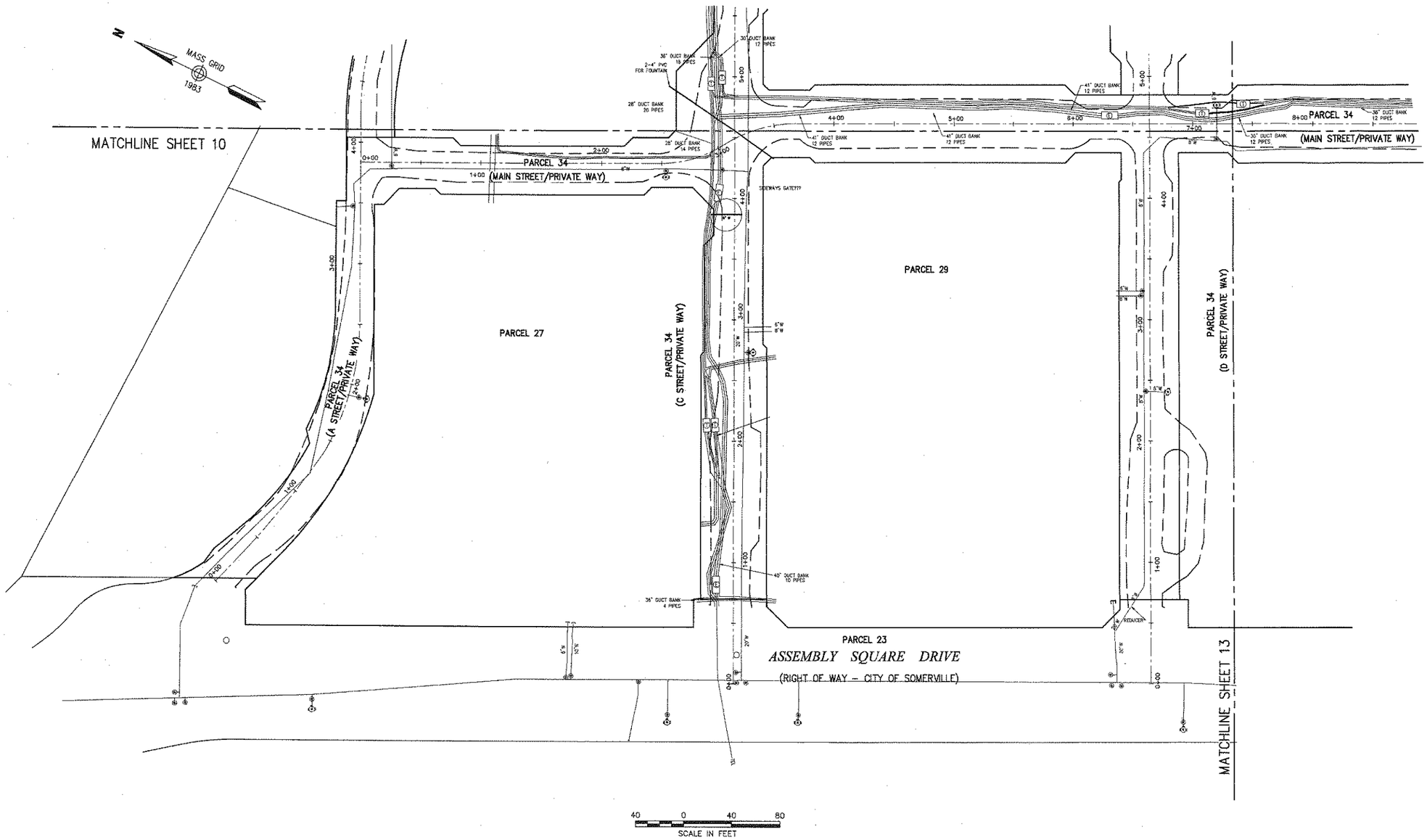
Drawing Number
Sv-1

Sheet 1 of 13

Project Number
11763.08

COMMONWEALTH OF MASSACHUSETTS
GERRY TURNER III
No. 49030
PROFESSIONAL LAND SURVEYOR
3/9/2012

\\MAWALD\jd\11763.00\cad\sr\planset\11763.00-ASBUILT.dwg



General Notes

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.

VHB

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HH HAND HOLE
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MW MONITORING WELL
- FLOOD LIGHT
- WELL
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- F.F.E.=45.27' FINISHED FLOOR ELEVATION
- EOP EDGE OF PAVEMENT
- CC CONCRETE CURB
- VGC VERTICAL GRANITE CURB
- SGE SLOPED GRANITE EDGE
- BB BITUMINOUS BERM
- BC BITUMINOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OHW OVERHEAD WIRE
- E UNDERGROUND ELECTRIC
- T TELEPHONE LINE
- G GAS LINE
- W WATER LINE
- STONE WALL
- TREE LINE
- 100'BZ 100-FT BUFFER ZONE
- 100'RA 100-FT RIVER FRONT AREA
- 200'RA 200-FT RIVER FRONT AREA
- MHW-100' MEAN ANNUAL HIGH WATER
- BF1-100 LIMIT OF BANK
- WF1-100 VEGETATED WETLAND BOUNDARY

No.	Revision	Date	App'd.

Designed by | Drawn by | Checked by
CAD checked by | Approved by
Scale 1"=40' | Date March 9, 2012

Project Title
Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Issued for
Utility As-Built

Drawing Title
Utility Asbuilt

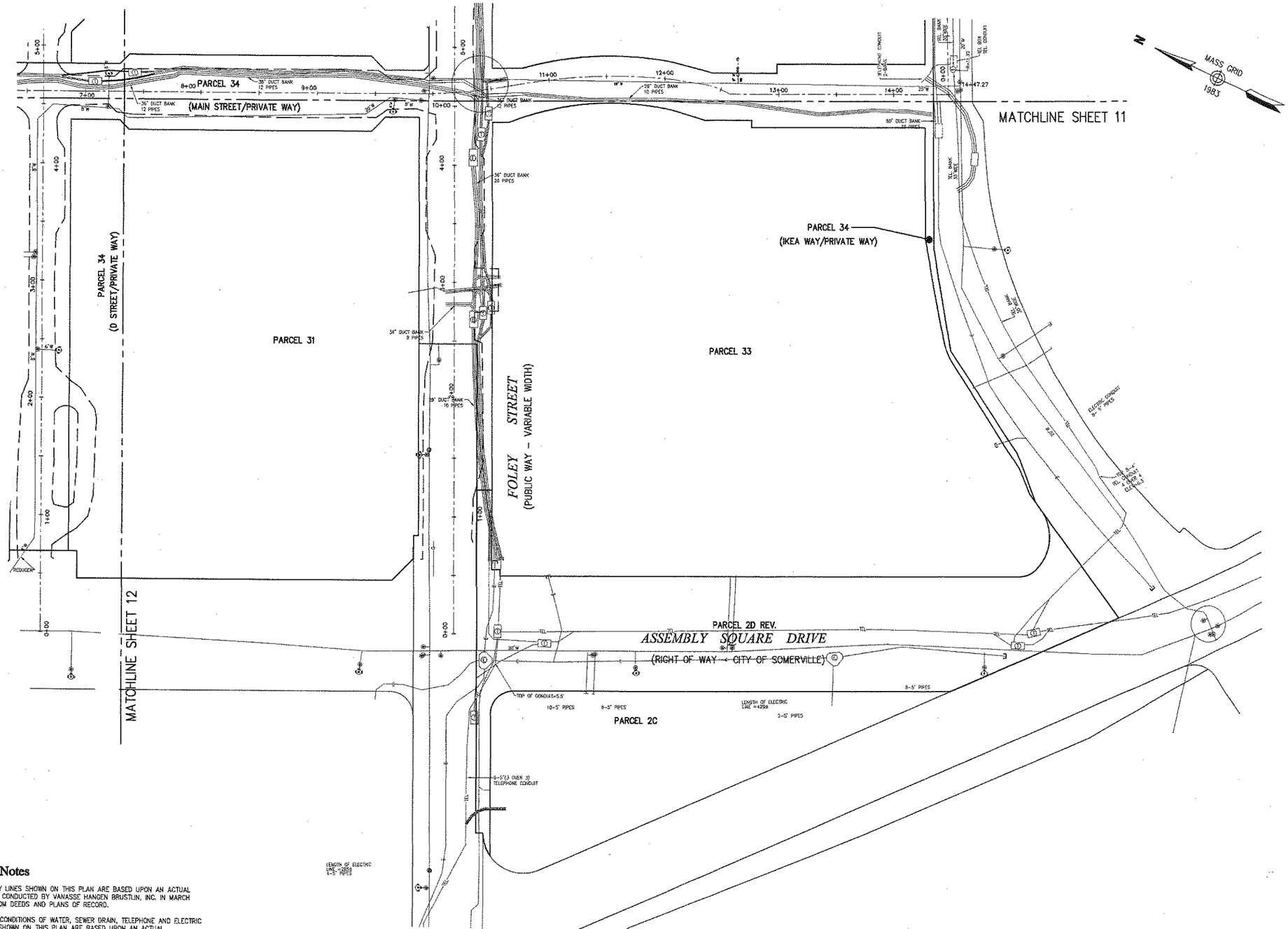
COMMONWEALTH OF MASSACHUSETTS
SELBY C. TURNER III
No. 49230
PROFESSIONAL LAND SURVEYOR
3/9/2012

Drawing Number
Sv-12

Sheet 12 of 13

Project Number
11763.00

\\MAWALD\ld\11763.00\cad\sr\plansset\11763.00-ASBUILT.dwg



General Notes

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.

VHB

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HH HAND HOLE
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- FLOOD LIGHT
- WELL
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- F.F.E.=45.27' FINISHED FLOOR ELEVATION
- EOP EDGE OF PAVEMENT
- CC CONCRETE CURB
- VGC VERTICAL GRANITE CURB
- SGE SLOPED GRANITE EDGE
- BB BITUMINOUS BERM
- BC BITUMINOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OHW OVERHEAD WIRE
- E UNDERGROUND ELECTRIC
- T TELEPHONE LINE
- G GAS LINE
- W WATER LINE
- STONE WALL
- TREE LINE
- 100'BZ 100-FT BUFFER ZONE
- 100'RA 100-FT RIVER FRONT AREA
- 200'RA 200-FT RIVER FRONT AREA
- MHW-100' LIMIT MEAN ANNUAL HIGH WATER
- BF1-100' LIMIT OF BANK
- WF1-100' VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Approd.

Designed by	Drawn by	Checked by
CAD checked by	Approved by	
Scale 1"=40'	Date March 9, 2012	

Project Title

Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Issued for

Utility As-Built

Drawing Title

Utility Asbuilt

COMMONWEALTH OF MASSACHUSETTS
SELBY L. TURNER III
No. 40230
PROFESSIONAL LAND SURVEYOR

3/9/2012

Drawing Number

Sv-13

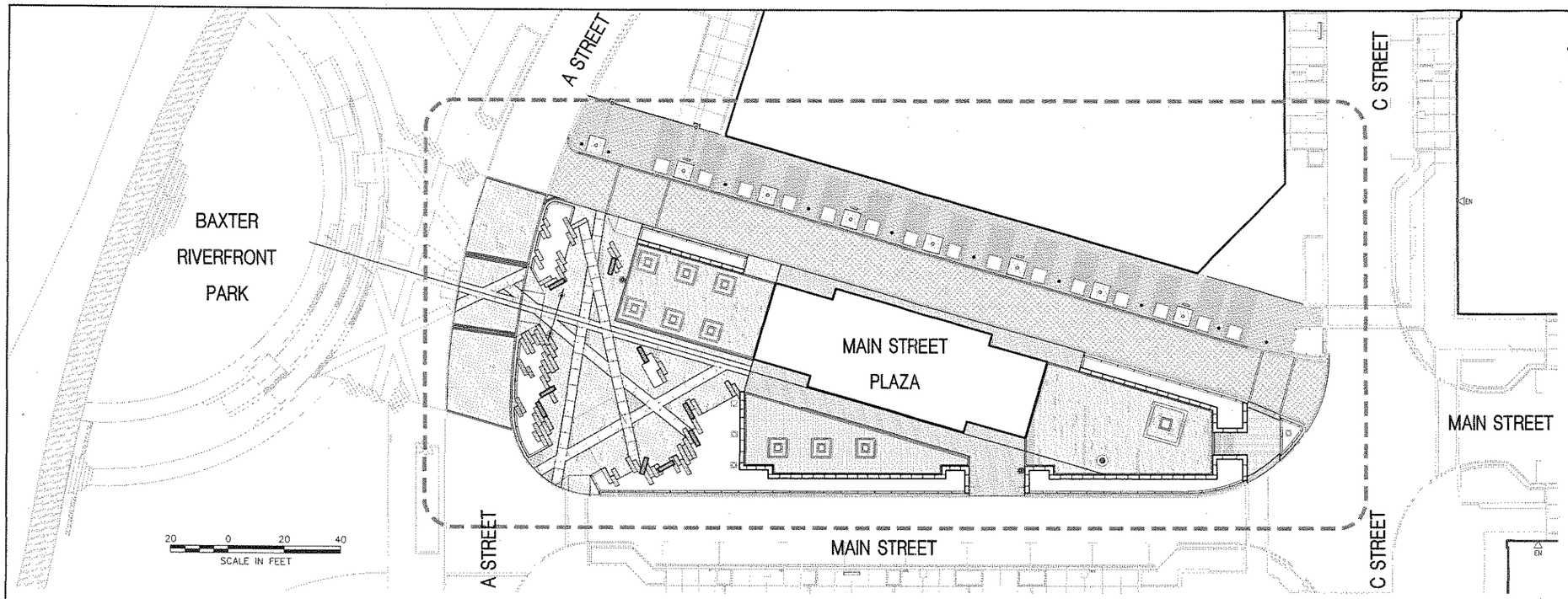
Sheet 13 of 13

Project Number

11763.00

\\MAWALD\id\11763.00\cad\sr\planset\11763.00-ASBUILT.dwg

SOMERVILLE
ASSEMBLY ROW – MAIN STREET PLAZA
OVERA SITE PLAN AND GENERAL NOES
L–100



GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS, AND NOTIFY LANDSCAPE ARCHITECT AT ONCE IN WRITING OF ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AS INDICATED ON THE PLAN AND ACTUAL FIELD CONDITIONS AND RECEIVE WRITTEN INSTRUCTIONS PRIOR TO PROCEEDING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING EXISTING GRADES TO VERIFY THEIR ACCURACY.
3. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND ELEVATIONS PRIOR TO EXCAVATION. BEFORE CONSTRUCTION STARTS ALL UTILITY COMPANIES, PUBLIC AND PRIVATE MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. CONTACT "LOCAL DIG SAFE" AND REPORT ANY DISCREPANCIES IN WRITING TO LANDSCAPE ARCHITECT AND RECEIVE WRITTEN INSTRUCTIONS PRIOR TO PROCEEDING.
4. THE CONTRACTOR SHALL ESTABLISH PERMANENT BENCH MARKS. MAINTAIN ALL ESTABLISHED BOUNDS AND BENCH MARKS AND REPLACE AS DIRECTED ANY WHICH ARE DESTROYED OR DISTURBED.
5. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS OUTSIDE OF THE CONSTRUCTION LIMIT LINE. CONTRACTOR SHALL MEET LINE AND GRADE OF EXISTING CONDITIONS AT THE CONSTRUCTION LIMIT LINE. SEE SPECIFICATIONS FOR REQUIREMENTS REGARDING THE MAINTENANCE AND PROTECTION OF EXISTING UTILITIES INSIDE AND OUTSIDE THE CONTRACT LIMIT LINE. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE OF THE CONSTRUCTION LIMIT LINE.
6. PROVIDE EXPANSION JOINTS IN BASE SLABS, AT ALL BUILDINGS, CURBS, WALLS, LIGHT POLE BASES, PULL BOXES, MANHOLES, TRAFFIC CONTROLLER BOXES AND/OR AS SHOWN ON THE DRAWINGS.
7. PROVIDE TREE PROTECTION FENCING AT AROUND ALL TREES TO REMAIN. CONTRACTOR SHALL MEET WITH LANDSCAPE ARCHITECT PRIOR TO REMOVING TREES WITHIN CONSTRUCTION LIMIT LINE.

LAYOUT NOTES

1. CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BETWEEN ALL TRADES PRIOR TO COMMENCING NEW CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY AND ALL DISCREPANCIES TO THE OWNER'S REPRESENTATIVE. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD SHALL BE PROMPTLY REPORTED BY THE CONTRACTOR TO THE OWNER'S REPRESENTATIVE AND RECORDED ON DRAWINGS.
3. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY AND ALL CONFLICTS BETWEEN PROPOSED PLAYGROUND AND WORK OF ALL OTHER TRADES.
4. EXPANSION JOINTS AT ALL VERTICAL INTERFACES, CHANGES OF MATERIALS, CONCRETE COLORS, EVERY 20' O.C., AND AS SHOWN ON THE DRAWINGS.

GRADING NOTES

1. CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BETWEEN ALL TRADES BEFORE COMMENCING NEW CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY AND ALL CONFLICTS BETWEEN PROPOSED SITE WORK AND WORK OF ALL OTHER TRADES.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD SHALL BE PROMPTLY REPORTED BY THE CONTRACTOR TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL AND RECORDED ON RECORD DRAWINGS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGE INSIDE AND OUTSIDE THE LIMIT OF WORK LINE DUE TO CONTRACT OPERATIONS. CONTRACTOR SHALL RESTORE DAMAGED AREAS BEYOND CONTRACT LIMITS TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
4. LOCATION OF EXISTING ABOVEGROUND AND UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE DIAGRAMMATIC ONLY AND DO NOT REPRESENT ACCURATE LOCATIONS. THE CONTRACTOR SHALL CONTACT THE CITY OF METHUEN AND DIGSAFE TO CONFIRM THE LOCATIONS OF ALL EXISTING UTILITES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO THE FAILURE OF THE CONTRACTOR TO CONTACT AUTHORITIES SHALL BE BORN BY THE CONTRACTOR. THE CONTRACTOR SHALL REPAIR ANY DAMAGE INCURRED DURING CONSTRUCTION TO EXISTING UTILITIES SCHEDULED TO REMAIN AT NO COST TO THE OWNER.
5. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVING AREAS MUST PITCH TO DRAIN AT MIN. PITCH OF 1/8" PER FOOT UNLESS OTHERWISE SHOWN. REPORT ANY DISCREPANCIES BETWEEN EXISTING AND PROPOSED SPOT GRADES THAT DO NOT PITCH ACCORDINGLY TO THE OWNER'S REPRESENTATIVE BEFORE COMMENCING WORK.
6. WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING SMOOTHLY WITH NEW CONSTRUCTION.
7. EXCAVATION ADJACENT TO EXISTING AND PROPOSED UTILITY LINES AND EXISTING TREES SHALL BE DONE BY HAND. CONTRACTOR SHALL PROTECT ALL EXPOSED UTILITIES.
8. CONTRACTOR SHALL PROTECT EXISTING UTILITIES, EXISTING STRUCTURES, IMPROVEMENTS, APPURTENANCES AND VEGETATION TO REMAIN. CONTRACTOR SHALL REPAIR ANY DAMAGE INCURRED AT NO COST TO OWNER.
9. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF PERMITS AND LICENSEES ISSUED BY THE FEDERAL, STATE AND LOCAL AGENCIES.
9. CONTRACTOR SHALL COORDINATE ALL SITE UTILITY IMPROVEMENTS WITH THE PROPER AUTHORITIES.
10. MAINTAIN A MAXIMUM OF 2.0% CROSS SLOPE ON ALL PAVED PATHWAYS, UNLESS OTHERWISE NOTED.
11. ALL MANHOLES, DRAINAGE STRUCTURES, STEAM MANHOLES, ELECTRIC MANHOLE FRAMES AND COVERS WITHIN THE PROJECT WORK AREA SHALL BE ADJUSTED TO FINISH GRADES UNLESS OTHERWISE NOTED.

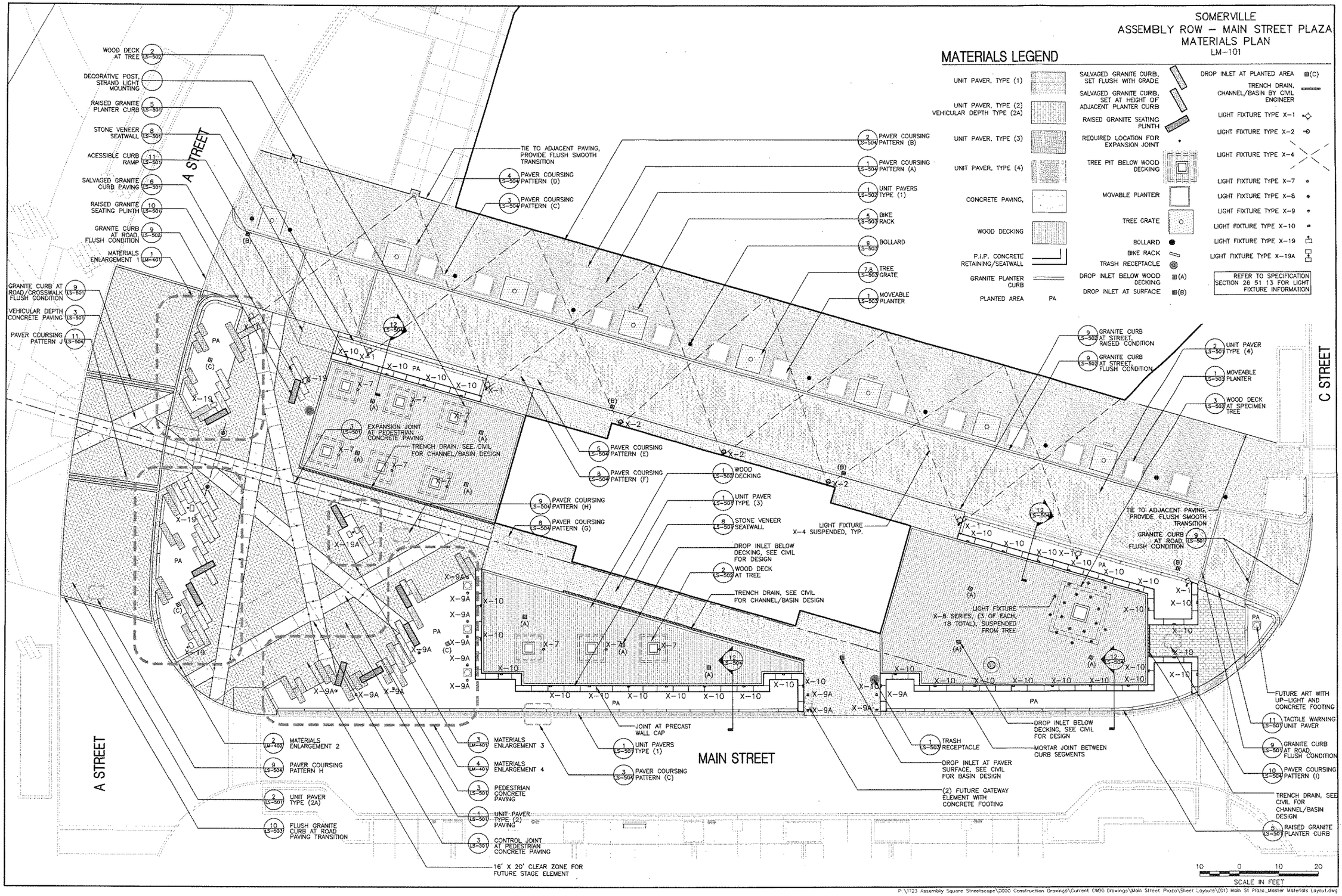
DRAWING LIST

L–100	COVER SHEET
LM–101	MATERIALS PLAN
LM–102	SITE FURNITURE PLAN
LM–401	MATERIALS ENLARGEMENT PLANS
LS–101	SITE LAYOUT PLAN
LS–401	LAYOUT ENLARGEMENT PLANS
LS–402	LAYOUT ENLARGEMENT PLANS
LG–101	GRADING PLAN
LP–101	PLANTING PLAN
LP–501	PLANTING NOTES AND SCHEDULE
LS–501	SITE DETAILS
LS–502	SITE DETAILS
LS–503	SITE DETAILS
LS–504	SITE DETAILS
IR–93	IRRIGATION PLAN
IR–94	IRRIGATION SLEEVING PLAN
IR–95	IRRIGATION DETAILS
IR–96	IRRIGATION DETAILS

Saved Wednesday, May 09, 2012 11:06:37 AM BQUNER Plotted Wednesday, May 09, 2012 2:36:33 PM Brett Oliver

Saved Wednesday, May 09, 2012 11:26:37 AM BOLDER Plotted Wednesday, May 09, 2012 3:36:44 PM Brett Oliver

SOMERVILLE
ASSEMBLY ROW – MAIN STREET PLAZA
MATERIALS PLAN
LM–101

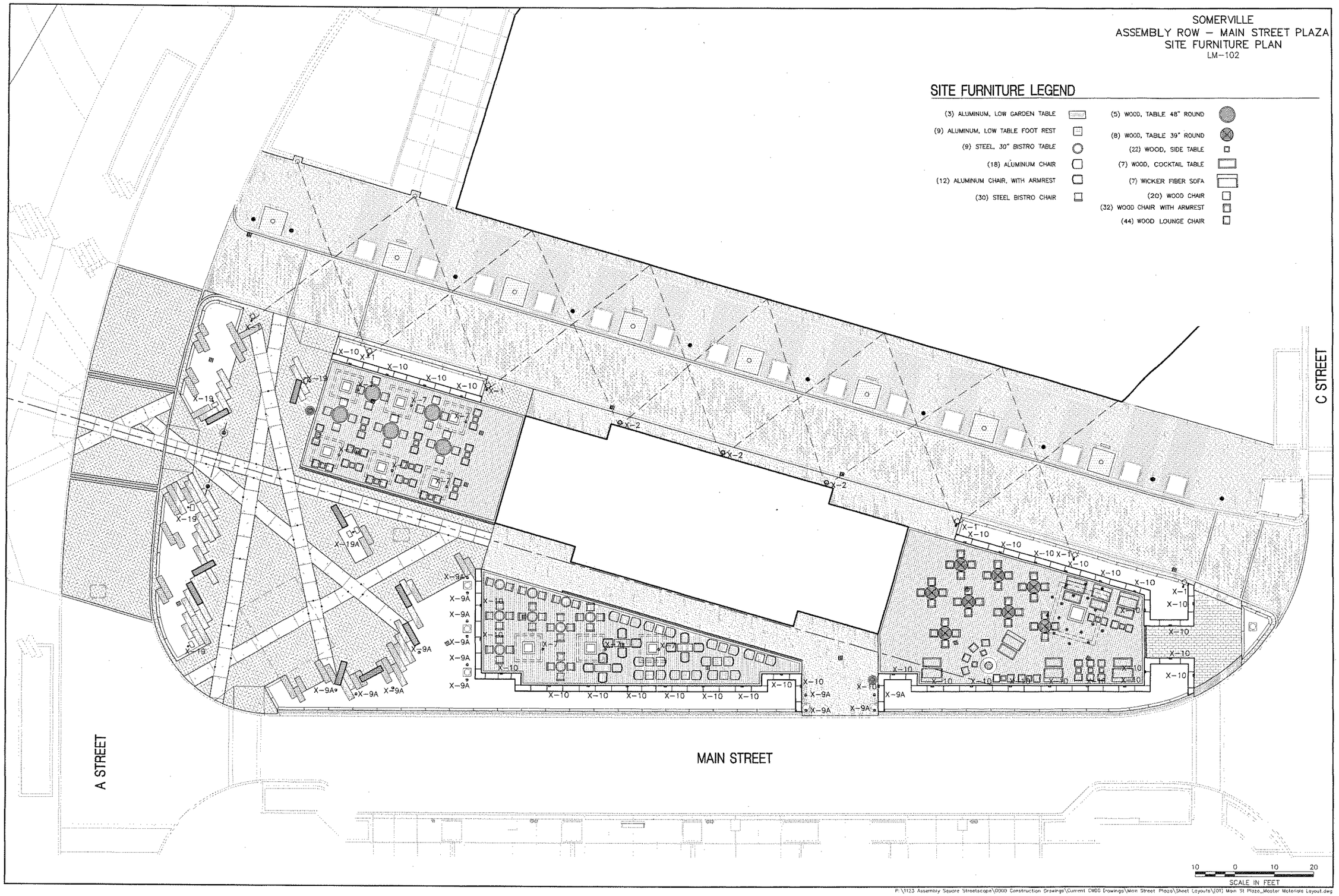


P:\1123 Assembly Square Streetscape\0000 Construction Drawings\Current CMDG Drawings\Main Street Plaza\Sheet Layouts\(01) Main St Plaza_Master Materials Layout.dwg

SOMERVILLE
ASSEMBLY ROW – MAIN STREET PLAZA
SITE FURNITURE PLAN
LM–102

SITE FURNITURE LEGEND

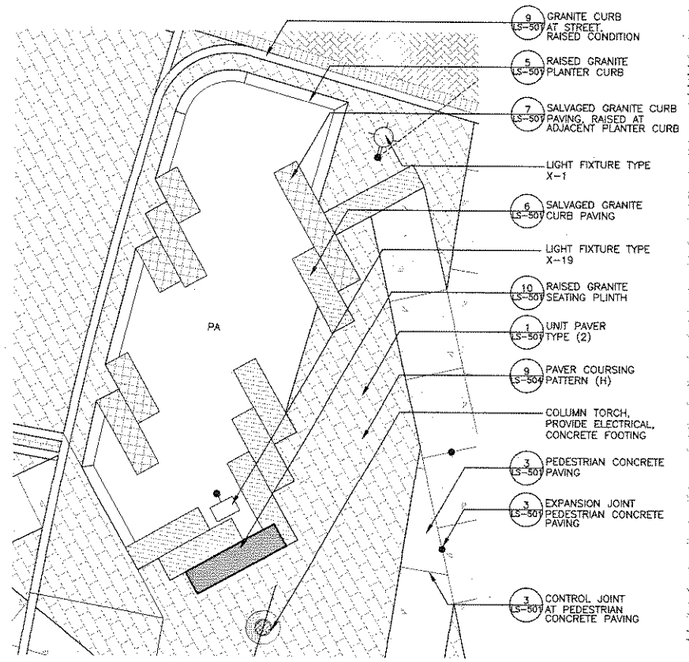
(3) ALUMINUM, LOW GARDEN TABLE	(5) WOOD, TABLE 48" ROUND
(9) ALUMINUM, LOW TABLE FOOT REST	(8) WOOD, TABLE 39" ROUND
(9) STEEL, 30" BISTRO TABLE	(22) WOOD, SIDE TABLE
(18) ALUMINUM CHAIR	(7) WOOD, COCKTAIL TABLE
(12) ALUMINUM CHAIR, WITH ARMREST	(7) WICKER FIBER SOFA
(30) STEEL BISTRO CHAIR	(20) WOOD CHAIR
	(32) WOOD CHAIR WITH ARMREST
	(44) WOOD LOUNGE CHAIR



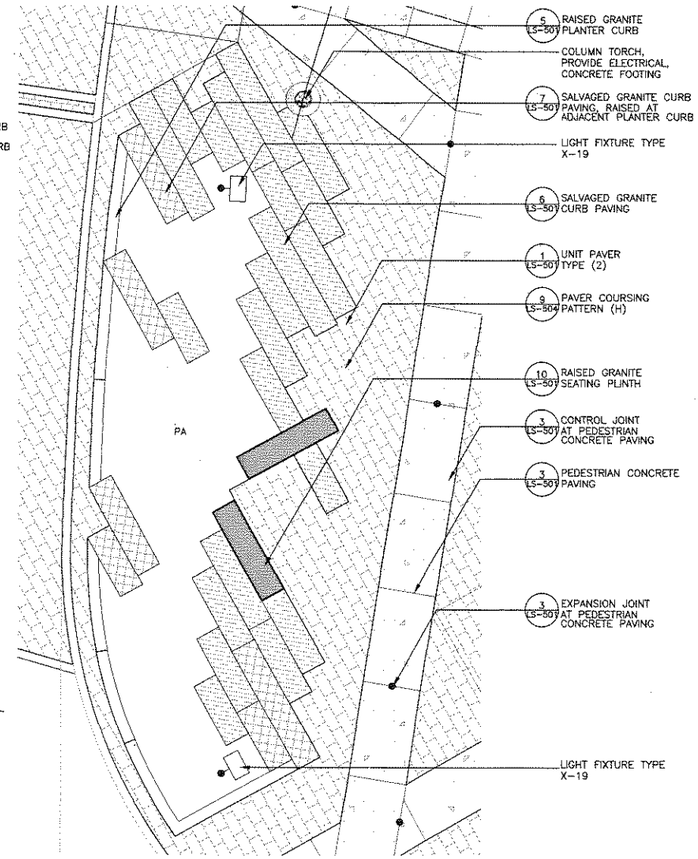
P:\1123 Assembly Square Streetscape\0000 Construction Drawings\Current CWDG Drawings\Main Street Plaza\Sheet Layouts\[01] Main St Plaza_Master Materials Layout.dwg

Saved: Wednesday, May 09, 2012 11:06:37 AM BOLIVER Plotted: Wednesday, May 09, 2012 3:36:53 PM Brett Oliver

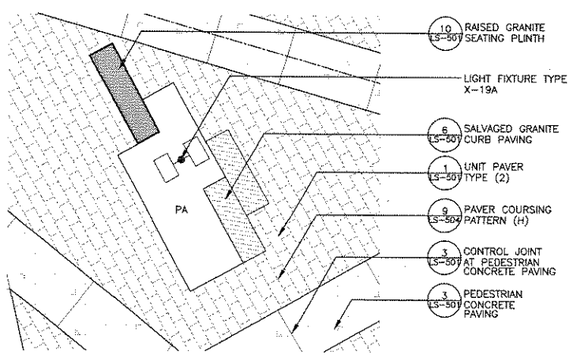
SOMERVILLE
ASSEMBLY ROW – MAIN STREET PLAZA
MATERIALS ENLARGEMENT PLAN
LM–401



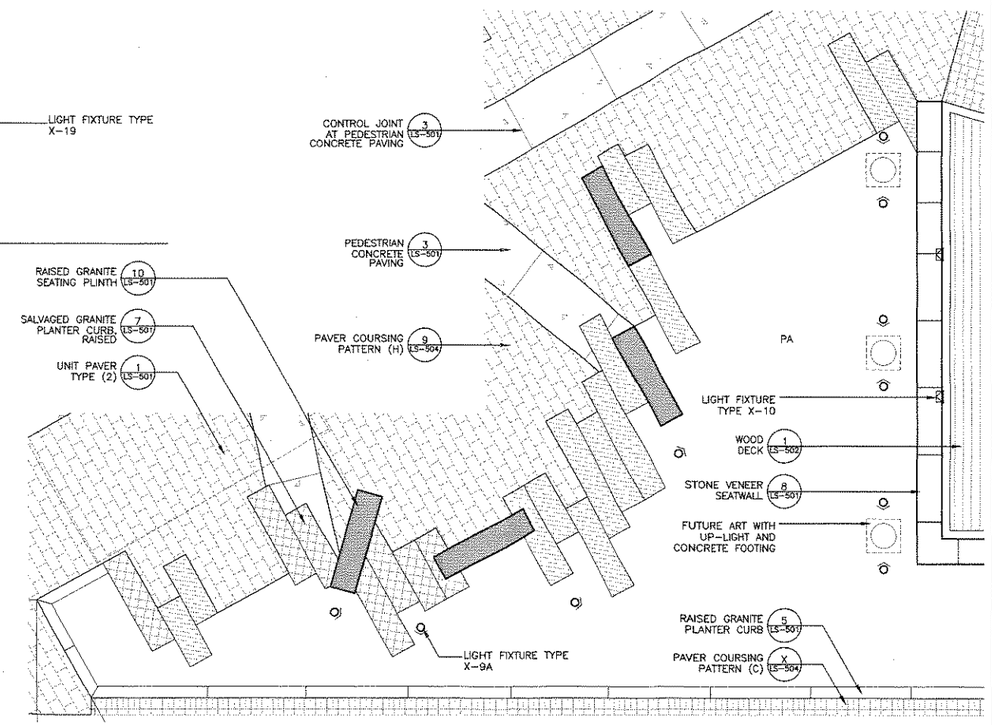
1 MATERIALS ENLARGEMENT 1
SCALE: 1/4" = 1'–0"



2 MATERIALS ENLARGEMENT 2
SCALE: 1/4" = 1'–0"



3 MATERIALS ENLARGEMENT 3
SCALE: 1/4" = 1'–0"



4 MATERIALS ENLARGEMENT 4
SCALE: 1/4" = 1'–0"

Saved Wednesday, May 09, 2012 11:06:17 AM BOLIVER Plotted Wednesday, May 09, 2012 5:17:05 PM Brett Oliver

SOMERVILLE
ASSEMBLY ROW – MAIN STREET PLAZA
GRADING PLAN
LG–101

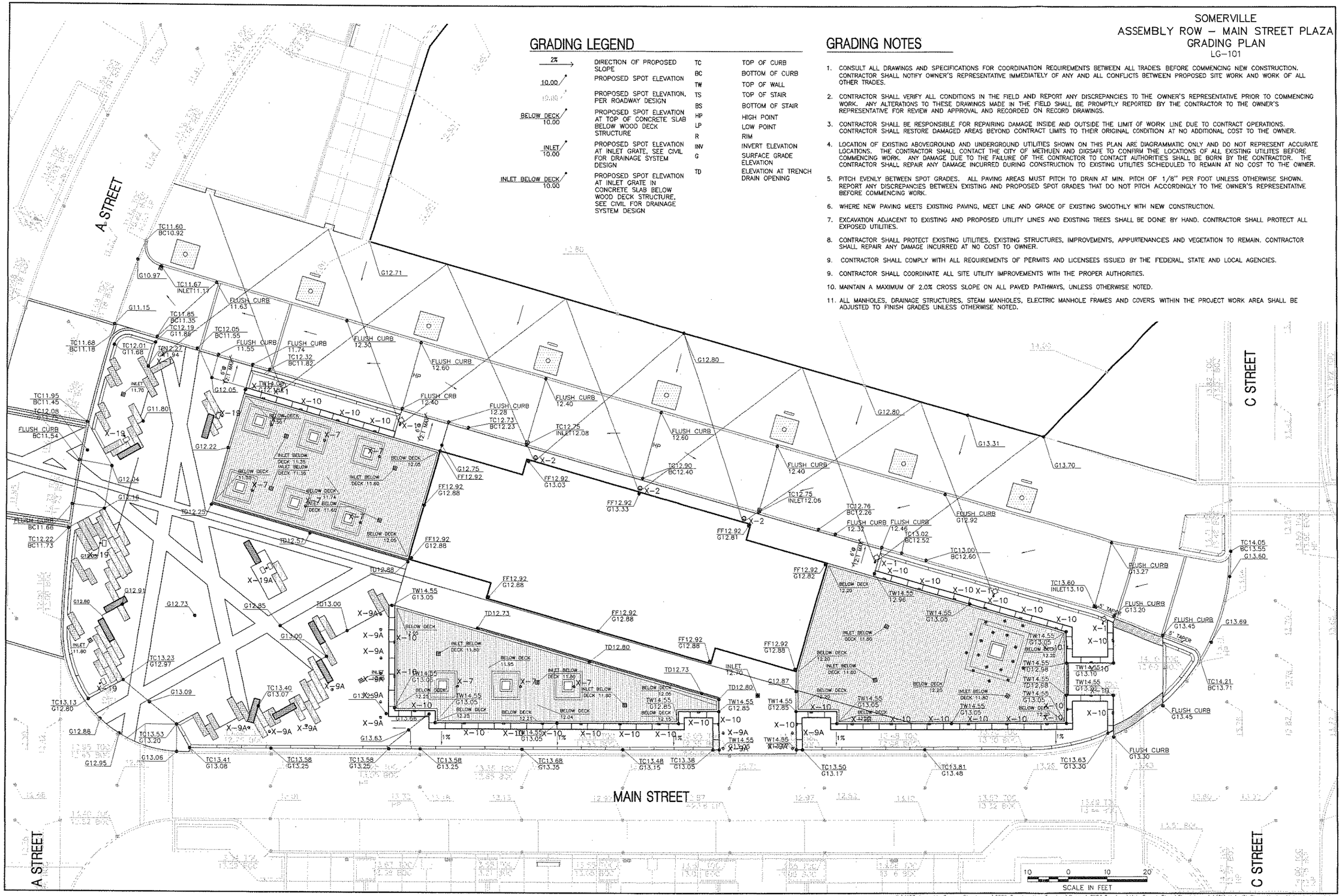
GRADING LEGEND

2%	DIRECTION OF PROPOSED SLOPE
10.00	PROPOSED SPOT ELEVATION
10.00	PROPOSED SPOT ELEVATION, PER ROADWAY DESIGN
BELOW DECK 10.00	PROPOSED SPOT ELEVATION AT TOP OF CONCRETE SLAB BELOW WOOD DECK STRUCTURE
INLET 10.00	PROPOSED SPOT ELEVATION AT INLET GRATE, SEE CIVIL FOR DRAINAGE SYSTEM DESIGN
INLET BELOW DECK 10.00	PROPOSED SPOT ELEVATION AT INLET GRATE IN CONCRETE SLAB BELOW WOOD DECK STRUCTURE, SEE CIVIL FOR DRAINAGE SYSTEM DESIGN

TC	TOP OF CURB
BC	BOTTOM OF CURB
TW	TOP OF WALL
TS	TOP OF STAIR
BS	BOTTOM OF STAIR
HP	HIGH POINT
LP	LOW POINT
R	RIM
INV	INVERT ELEVATION
G	SURFACE GRADE ELEVATION
TD	ELEVATION AT TRENCH DRAIN OPENING

GRADING NOTES

1. CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BETWEEN ALL TRADES BEFORE COMMENCING NEW CONSTRUCTION. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY AND ALL CONFLICTS BETWEEN PROPOSED SITE WORK AND WORK OF ALL OTHER TRADES.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD SHALL BE PROMPTLY REPORTED BY THE CONTRACTOR TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL AND RECORDED ON RECORD DRAWINGS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGE INSIDE AND OUTSIDE THE LIMIT OF WORK LINE DUE TO CONTRACT OPERATIONS. CONTRACTOR SHALL RESTORE DAMAGED AREAS BEYOND CONTRACT LIMITS TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
4. LOCATION OF EXISTING ABOVEGROUND AND UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE DIAGRAMMATIC ONLY AND DO NOT REPRESENT ACCURATE LOCATIONS. THE CONTRACTOR SHALL CONTACT THE CITY OF METHUEN AND DIGSAFE TO CONFIRM THE LOCATIONS OF ALL EXISTING UTILITES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO THE FAILURE OF THE CONTRACTOR TO CONTACT AUTHORITIES SHALL BE BORN BY THE CONTRACTOR. THE CONTRACTOR SHALL REPAIR ANY DAMAGE INCURRED DURING CONSTRUCTION TO EXISTING UTILITIES SCHEDULED TO REMAIN AT NO COST TO THE OWNER.
5. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVING AREAS MUST PITCH TO DRAIN AT MIN. PITCH OF 1/8" PER FOOT UNLESS OTHERWISE SHOWN. REPORT ANY DISCREPANCIES BETWEEN EXISTING AND PROPOSED SPOT GRADES THAT DO NOT PITCH ACCORDINGLY TO THE OWNER'S REPRESENTATIVE BEFORE COMMENCING WORK.
6. WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING SMOOTHLY WITH NEW CONSTRUCTION.
7. EXCAVATION ADJACENT TO EXISTING AND PROPOSED UTILITY LINES AND EXISTING TREES SHALL BE DONE BY HAND. CONTRACTOR SHALL PROTECT ALL EXPOSED UTILITIES.
8. CONTRACTOR SHALL PROTECT EXISTING UTILITIES, EXISTING STRUCTURES, IMPROVEMENTS, APPURTENANCES AND VEGETATION TO REMAIN. CONTRACTOR SHALL REPAIR ANY DAMAGE INCURRED AT NO COST TO OWNER.
9. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF PERMITS AND LICENSEES ISSUED BY THE FEDERAL, STATE AND LOCAL AGENCIES.
9. CONTRACTOR SHALL COORDINATE ALL SITE UTILITY IMPROVEMENTS WITH THE PROPER AUTHORITIES.
10. MAINTAIN A MAXIMUM OF 2.0% CROSS SLOPE ON ALL PAVED PATHWAYS, UNLESS OTHERWISE NOTED.
11. ALL MANHOLES, DRAINAGE STRUCTURES, STEAM MANHOLES, ELECTRIC MANHOLE FRAMES AND COVERS WITHIN THE PROJECT WORK AREA SHALL BE ADJUSTED TO FINISH GRADES UNLESS OTHERWISE NOTED.



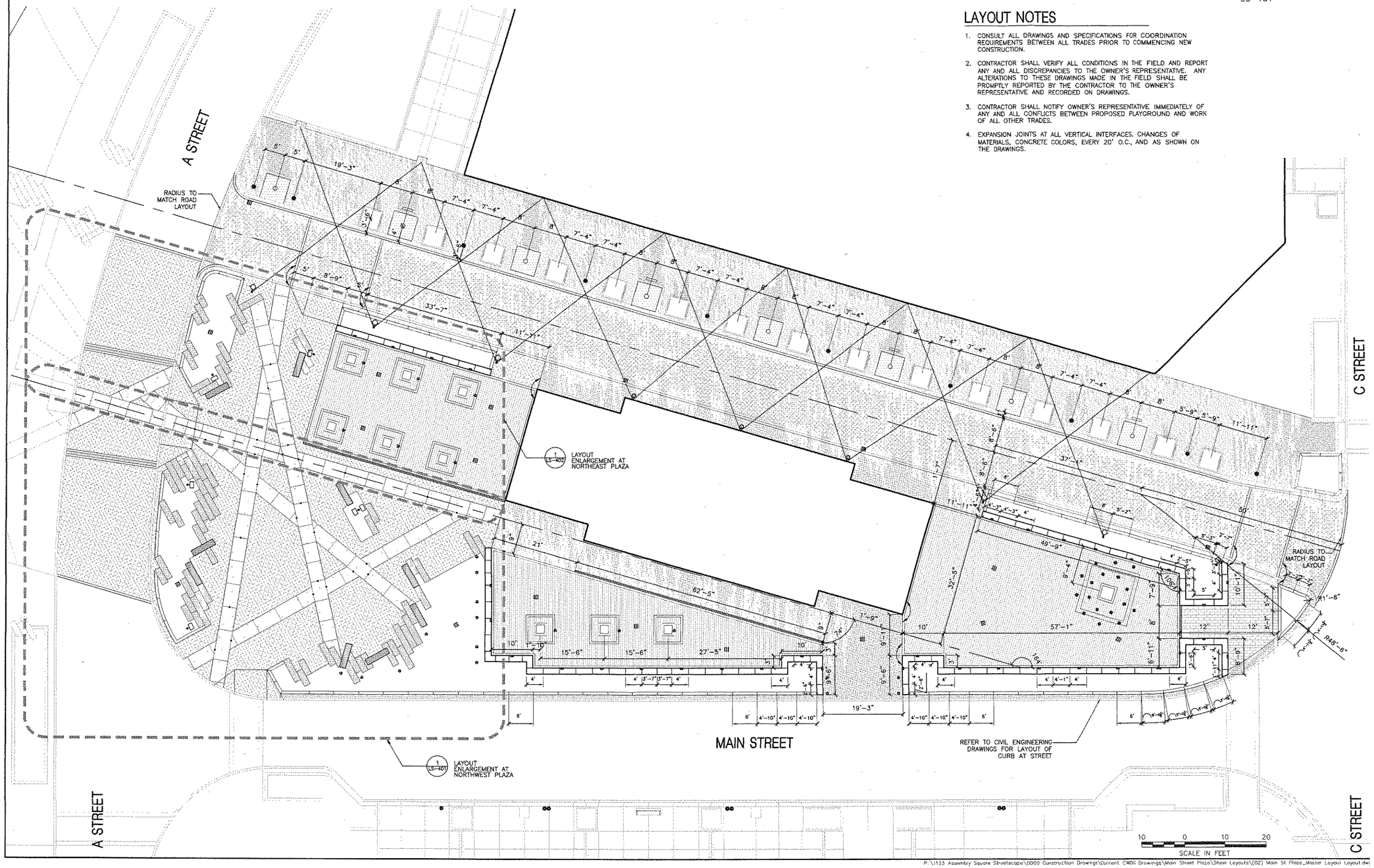
P:\1123 Assembly Square Streetscape\0000 Construction Drawings\Current CWDG Drawings\Main Street Plaza\Sheet Layouts\(01) Main St Plaza_Master Materials Layout.dwg

Saved: Wednesday, May 09, 2012 11:06:37 AM BRUNER Plotted: Wednesday, May 09, 2012 3:27:11 PM Brett Oliver

SOMERVILLE
ASSEMBLY ROW – MAIN STREET PLAZA
OVERALL LAYOUT PLAN
LS-101

LAYOUT NOTES

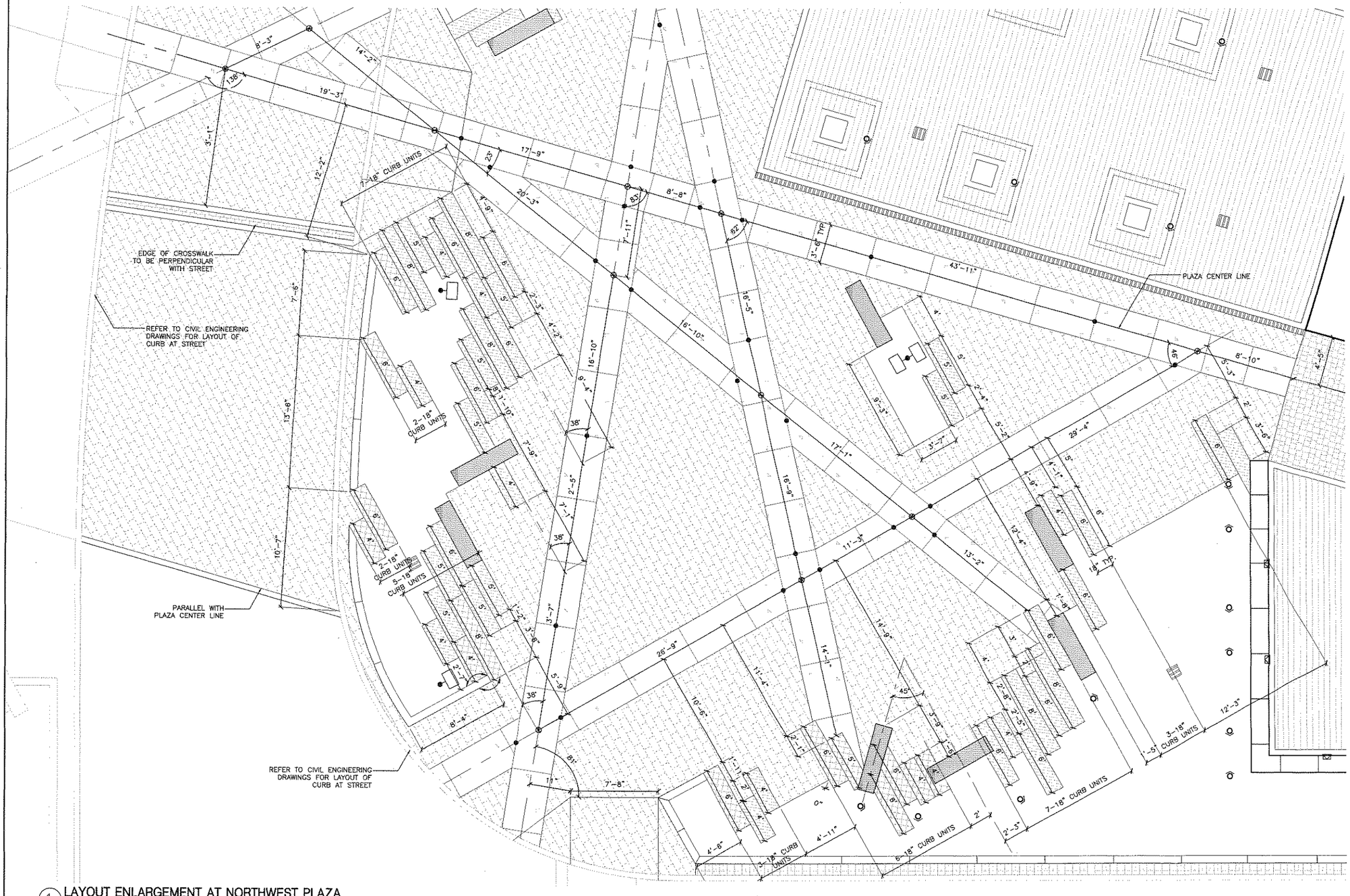
1. CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BETWEEN ALL TRADES PRIOR TO COMMENCING NEW CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY AND ALL DISCREPANCIES TO THE OWNER'S REPRESENTATIVE. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD SHALL BE PROMPTLY REPORTED BY THE CONTRACTOR TO THE OWNER'S REPRESENTATIVE AND RECORDED ON DRAWINGS.
3. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY AND ALL CONFLICTS BETWEEN PROPOSED PLAYGROUND AND WORK OF ALL OTHER TRADES.
4. EXPANSION JOINTS AT ALL VERTICAL INTERFACES, CHANGES OF MATERIALS, CONCRETE COLORS, EVERY 20' O.C., AND AS SHOWN ON THE DRAWINGS.



P:\1123 Assembly Square Streetscape\0000 Construction Drawings\Current CWDG Drawings\Main Street Plaza\Sheet Layouts\(02) Main St Plaza_Master Layout Layout.dwg

Saved: Wednesday, May 09, 2012 11:08:50 AM BOLIVER Plotted: Wednesday, May 09, 2012 1:55:49 PM Brett Oliver

SOMERVILLE
ASSEMBLY ROW – MAIN STREET PLAZA
LAYOUT ENLARGEMENT PLAN
LS-401

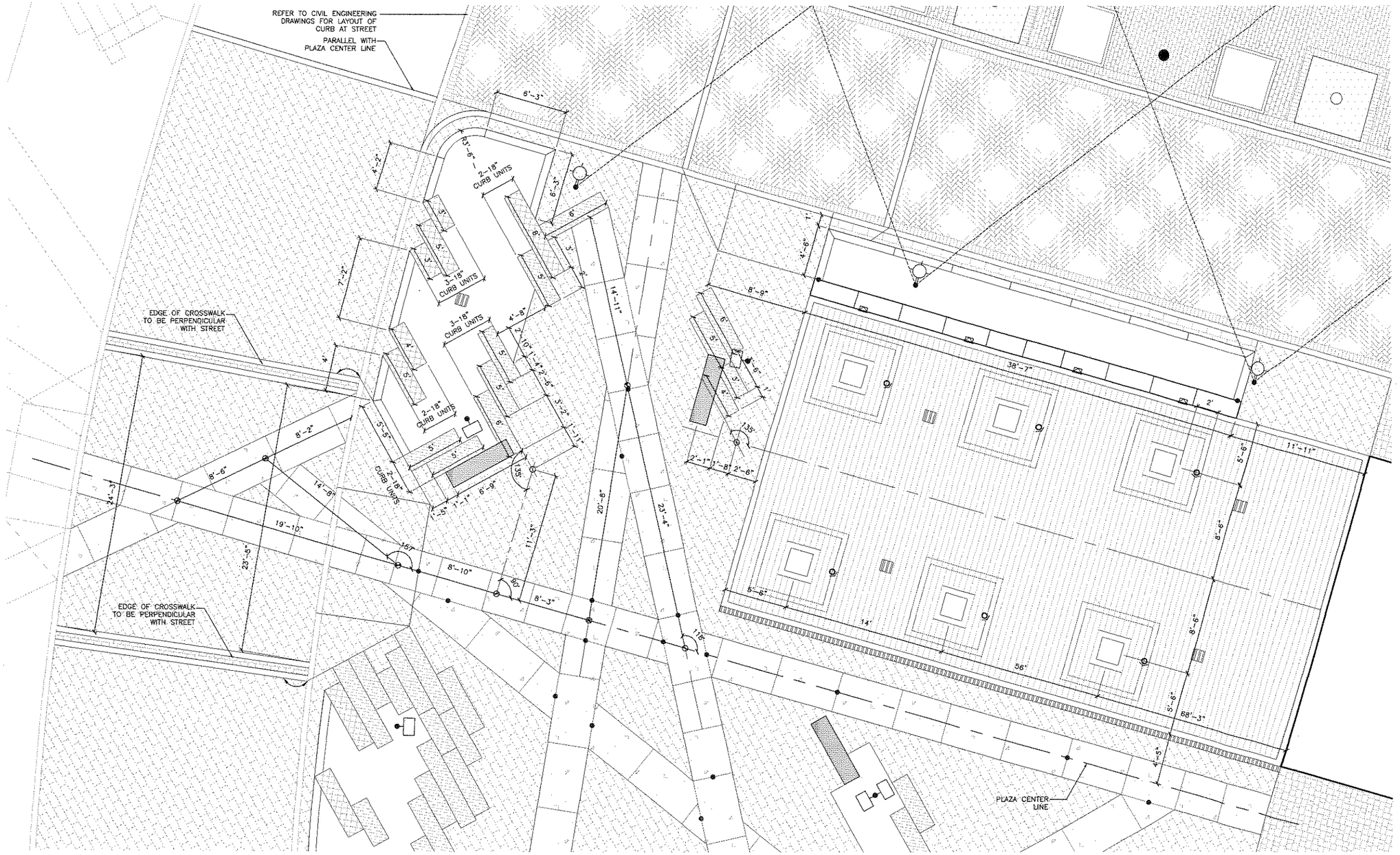


1 LAYOUT ENLARGEMENT AT NORTHWEST PLAZA
SCALE: 1/4" = 1'-0"

P:\1123 Assembly Square Streetscape\0000 Construction Drawings\Current CMOC Drawings\Main Street Plaza\Sheet Layouts\(02) Main St Plaza_Master Layout Layout.dwg

Saved Wednesday, May 09, 2012 11:08:20 AM BOLNER Plotted Wednesday, May 09, 2012 3:55:59 PM Brett Oliver

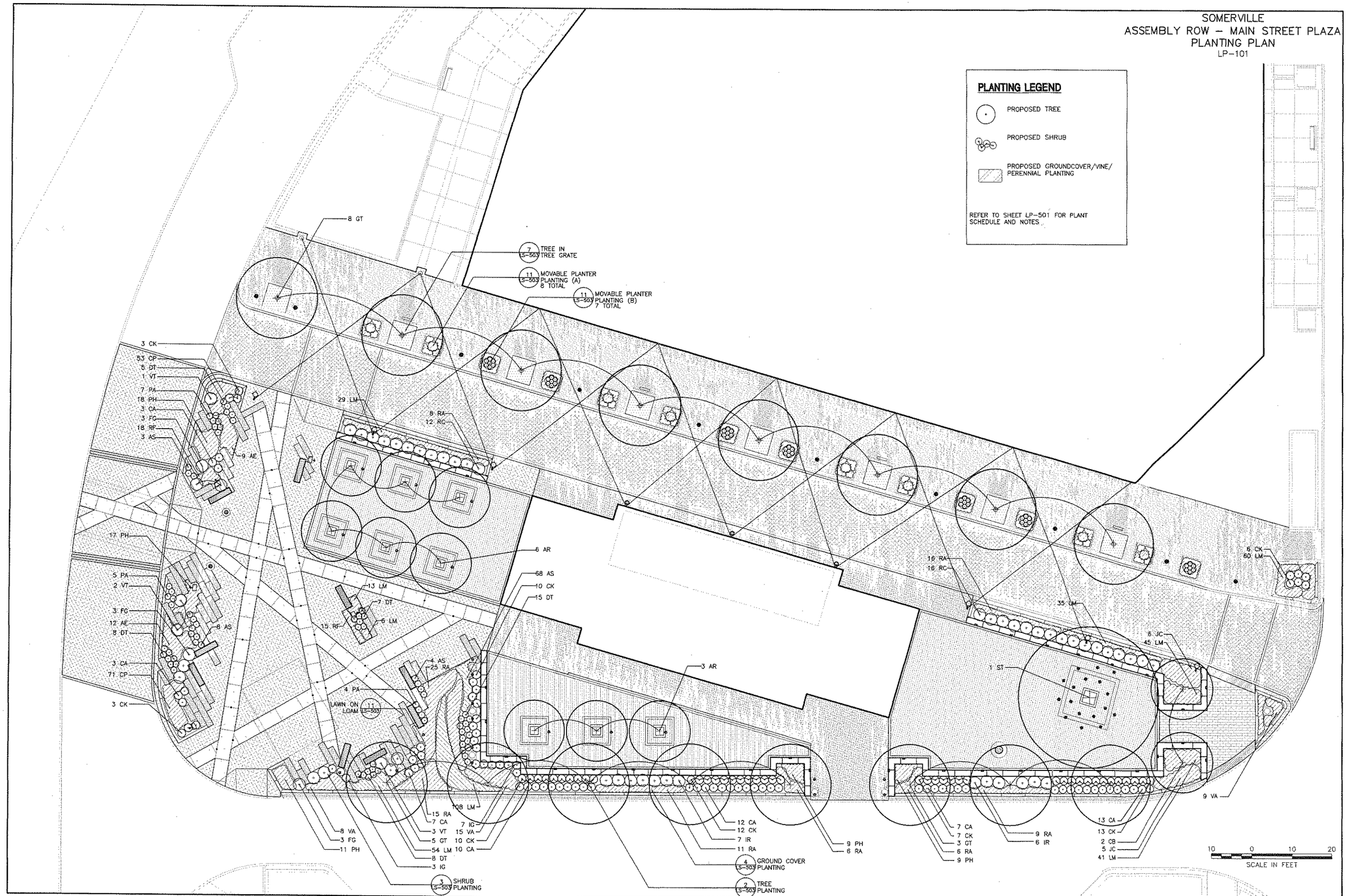
SOMERVILLE
ASSEMBLY ROW – MAIN STREET PLAZA
LAYOUT ENLARGEMENT PLAN
LS-402



1 LAOUT ENLARGEMENT AT NORTHWEST PLAZA
SCALE: 1/4 = 1'-0"

Saved Wednesday, May 09, 2012 11:08:50 AM BRAUER Plotted Wednesday, May 09, 2012 3:56:09 PM Brett Silver

SOMERVILLE
ASSEMBLY ROW – MAIN STREET PLAZA
PLANTING PLAN
LP-101



P:\123 Assembly Square Streetscape\0000 Construction Drawings\Current CWDG Drawings\Main Street Plaza\Sheet Layouts\(03) Main St Plaza_Master Planting Layout.dwg

Saved Wednesday, May 09, 2012 12:56:55 PM BOLWER Plotted Wednesday, May 09, 2012 3:56:30 PM Brett Oliver

PLANTING NOTES

1. The Contractor shall supply all plant material in quantities sufficient to complete the planting shown on drawings.

2. All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen.

3. All plants to be tagged at an approved nursery by the Landscape Architect prior to delivery to the site.

4. Stake location of all proposed plant material for the approval of the Landscape Architect prior to the beginning of planting.

5. All trees and shrubs shall bear the same relationship to grade as to the original grade before digging.

6. The Contractor must be extremely cautious while planting in order to avoid damaging existing or proposed utilities. The Contractor shall be responsible for any such damage to utilities.

7. All plant beds for massed shrubs or groundcover planting shall receive a continuous overall application of bark mulch as specified.

8. All disturbed areas to receive loam (6" minimum depth) and seed unless otherwise indicated.

9. All new plant beds and seeded grass are to receive a minimum depth of loam.

10. Install erosion control matting on all slopes greater than 3:1.

11. Plan symbols and areas supercede schedule when discrepancies in quantity occur.

POTS AND SEASONAL ROTATIONS

1. 40 pots to be supplied by Owner. Final locations to be determined by the Owner, pots to be placed by the Contractor.

2. See plant schedule for seasonal rotations to be provided by the Contractor for ALL pots on site. Contractor to provide 4 seasonal rotations per the schedule for 1 full year from the acceptance period.

PLANT LIST

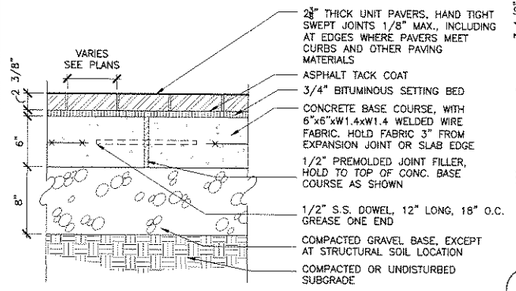
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	COMMENTS	NOTES
TREES					ALL TREES to match in overall appearance, have a straight trunk, and strong central leader(s). Trees should have a full crown and be well rooted. ALL CONTAINER PLANTS to have a full dense mass and be well rooted. All species substitutions must be approved by Landscape Architect Provide 1,000 C.F. of structural soil per tree. OR as details and plans notes. Whichever is greater.
AR	9	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	5.5"–6" CAL B&B., SPECIMEN, MATCHED	
CB	2	CARPINUS BETULUS 'FRANZ FONTAINE'	FRANZ FONTAINE EUROPEAN HORNBEAM	5.5"–6" CAL B&B., SPECIMEN, MATCHED	
GT	16	GLEDITSIA TRIACANTHOS V. INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	5.5"–6" CAL B&B., SPECIMEN, MATCHED	
1 ST	SPECIMEN TREE, ALTERNATES BASE ON AVAILABILITY				
		QUERCUS COCCINEA	SCARLET OAK	10"–12" CAL B&B., SPECIMEN, SPECIMEN	
		QUERCUS RUBRA	RED OAK	10"–12" CAL B&B., SPECIMEN, SPECIMEN	
		ULMUS AMERICANA 'PRINCETON'	PRINCETON ELM	10"–12" CAL B&B., SPECIMEN, SPECIMEN	
SHRUBS					
CA	55	COMPTONIA PEREGRINA	SWEETFERN	#2 GC 24" O.C.	
CK	64	CORNUS SERICEA 'KELSEYI'	RED TWIG DOGWOOD	#5 GC 30" O.C.	
FG	9	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	#5 GC 36" O.C.	
IG	10	ILEX GLABRA 'SHAMROCK'	INKBERRY	#3 GC 24" O.C.	
IR	13	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	#5 GC 36" O.C.	
JC	11	JUNIPER CHINENSIS 'SEAGREEN'	CHINESE JUNIPER	#1 GC, 36" O.C.	
RA	96	RHUS AROMATICA 'GRO–LOW'	GRO–LOW FRAGRANT SUMAC	#2 GC 24" O.C.	
RC	28	RHODODENDRON 'CHIONOIDES'	CHIONOIDES RHODODENDRON	#5 GC 36" O.C.	
VA	32	VACCINIUM ANGUSTIFOLIUM	LOWBUSH BLUEBERRY	#1 GC 24" O.C.	
VT	6	VIBURNUM TRILOBUM 'COMPACTUM'	DWARF CRANBERRYBUSH VIBURNUM	#5 GC 36" O.C.	
PERENNIALS/GROUNDCOVER					
AC	230	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	4" CONT. 12" O.C.	
AE	21	ASTER NOVAE–ANGLIAE	NEW ENGLAND ASTER	#1 GC, 24" O.C.	
AS	64	ASTILBE CHINENSIS 'VISIONS PURPLE'	PURPLE ASTILBE	#1 GC, 12" O.C.	
CP	124	CAREX PENSYLVANICA	PENNSYLVANIA SEDGE	#1 GC, 10" O.C.	
DT	43	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	#1 GC, 24" O.C.	
LM	391	LIROPE MUSCARI 'BIG BLUE'	BIG BLUE LIRIOPE	#1 GC, 12" O.C.	
LC	40	LOBELLIA CARDINALIS	CARDINAL FLOWER	#1 GC, 12" O.C.	
PA	16	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE'	RUSSIAN SAGE	#2 GC, 18" O.C.	
PH	64	PENNISETUM ALOPECURIODES 'HAMELN'	DWARF FOUNTAIN GRASS	#2 GC, 18" O.C.	
RF	113	RUDBECKIA FULGIDA VAR. SULLIVANTII 'GOLDSTURM'	BLACK–EYED SUSAN	#1 GC, 12" O.C.	

SEASONAL ROTATIONS

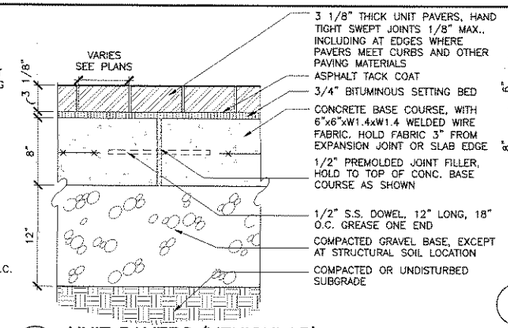
SYM	QTY.	BOTANICAL NAME	COMMON NAME	COMMENTS
SEASONAL PLANTING – SPRING ROTATION APRIL 1ST THROUGH MAY 15TH				
	125 SF	DAFFODILIS – YELLOW AND WHITE, 50%; TULIPS – WHITE EMPEROR, 50% PANSYS – 50% 'CLEAR SKY PURPLE' AND 50% 'INSPIRE WHITE'		6" O.C.
SEASONAL PLANTING – SUMMER ROTATION MAY 15TH THROUGH SEPTEMBER 1ST (OWNER TO SELECT COLOR); ALTERNATE COLOR BY PLANTER; 2 FLOWERING ANNUALS, 1 VINE, 1 GRASS				
	125 SF	PETUNIA – 1 COLOR CALIBRACHOA – 1 COLOR	IPOMOEA BATATAS VINCA MINOR	PENNISETUM S.'RED RIDING HOOD' PENNISETUM P.'VERTIGO' 6" O.C.
SEASONAL PLANTING – FALL ROTATION SEPTEMBER 1ST THROUGH DECEMBER 1ST (OWNER TO SELECT COLOR)				
	125 SF	CHRYSANTHEMUM – TWO COLORS, ALTERNATE COLOR BY PLANTER		1 GAL POT 15" O.C.
SEASONAL PLANTING – WINTER ROTATION DECEMBER 1ST THROUGH APRIL 1ST (OWNER TO APPROVE FINAL DISPLAY; PROVIDE SAMPLE)				
	125 SF	25% RED TWIG DOGWOOD BRANCHES, 25% WHITE BIRCH BRANCHES, 25% EVERGREEN MATERIAL, 25% HOLLY BRANCHES WITH BERRIES		FILL POTS; SUBMIT MOCKUP FOR APPROVAL

Saved Wednesday, May 09, 2012 12:56:55 PM BOLNER Plotted Wednesday, May 09, 2012 3:56:33 PM Brett Glover

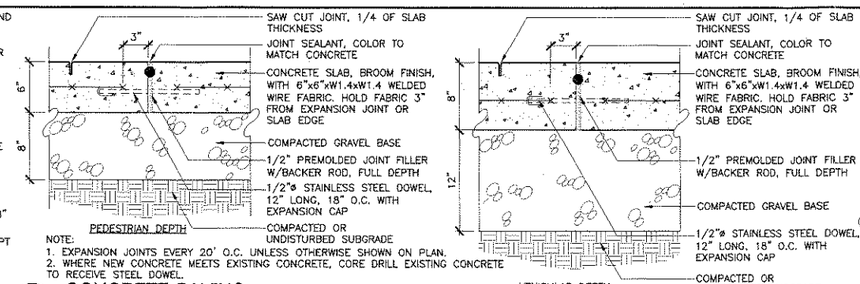
SOMERVILLE
ASSEMBLY ROW – MAIN STREET PLAZA
SITE DETAILS
LS-501



1 UNIT PAVERS (PEDESTRIAN)
SCALE: 1-1/2"=1'-0"

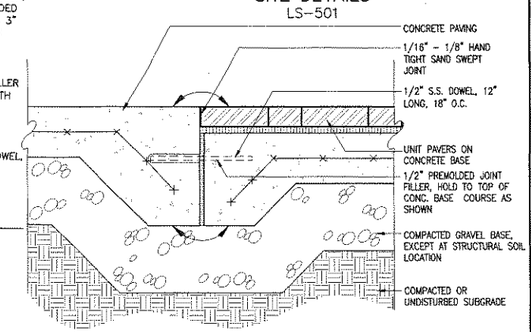


2 UNIT PAVERS (VEHICULAR)
SCALE: 1-1/2"=1'-0"

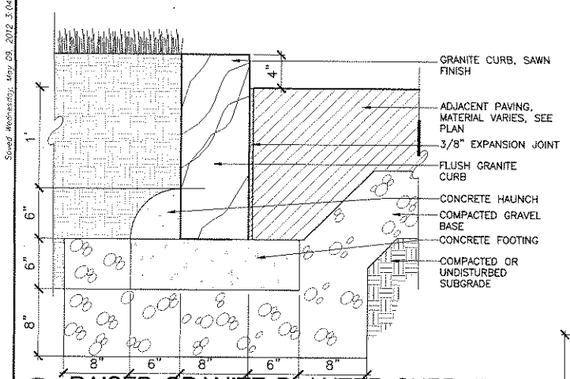


NOTE:
1. EXPANSION JOINTS EVERY 20' O.C. UNLESS OTHERWISE SHOWN ON PLAN.
2. WHERE NEW CONCRETE MEETS EXISTING CONCRETE, CORE DRILL EXISTING CONCRETE TO RECEIVE STEEL DOWEL.

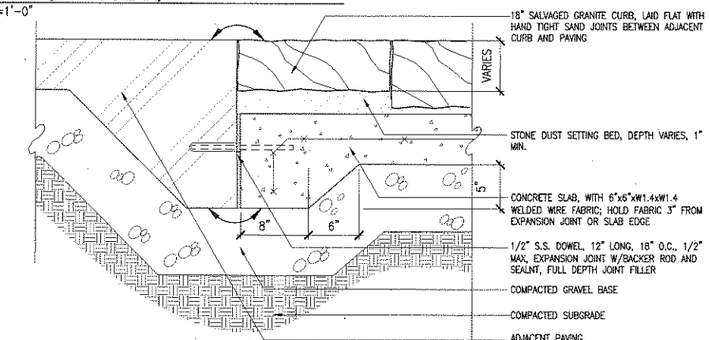
3 CONCRETE PAVING
SCALE: 1-1/2"=1'-0"



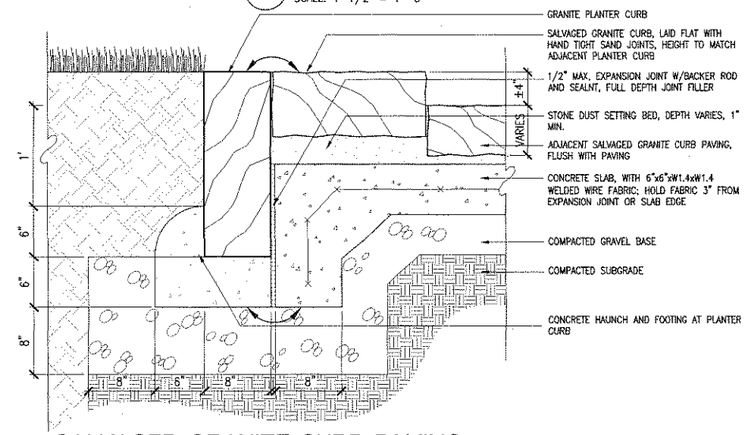
4 CONCRETE PAVING AT UNIT PAVERS
SCALE: 1-1/2" = 1'-0"



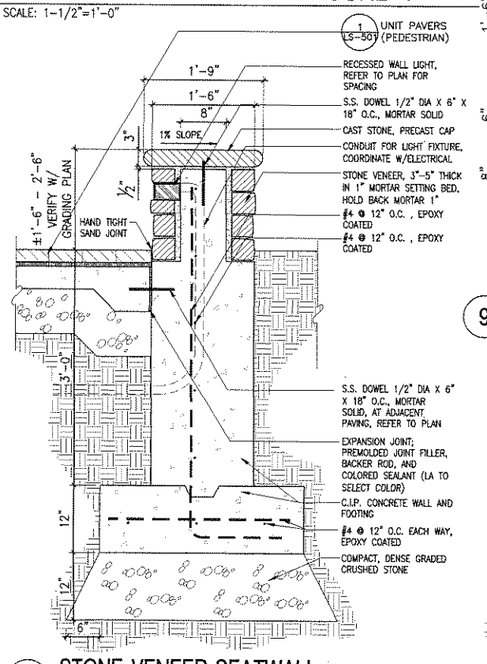
5 RAISED GRANITE PLANTER CURB-4"
SCALE: 1-1/2"=1'-0"



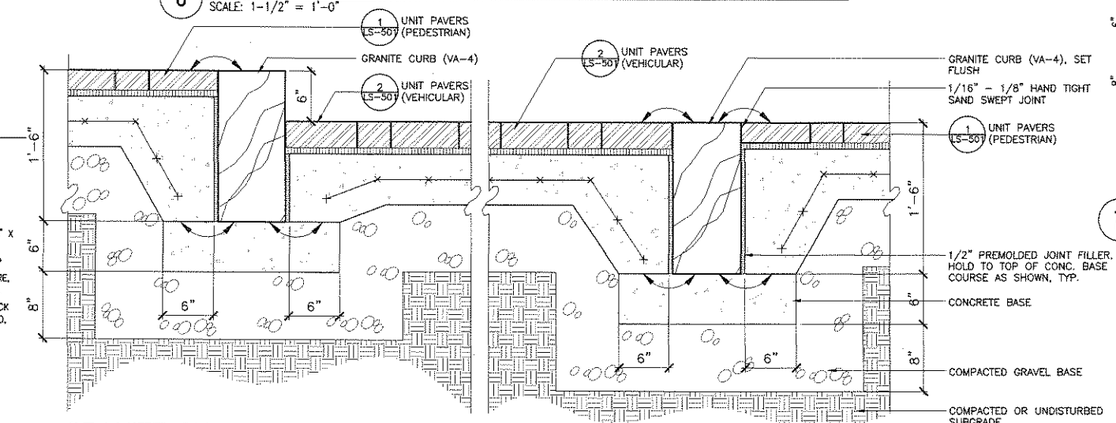
6 SALVAGED GRANITE CURB PAVING
SCALE: 1-1/2" = 1'-0"



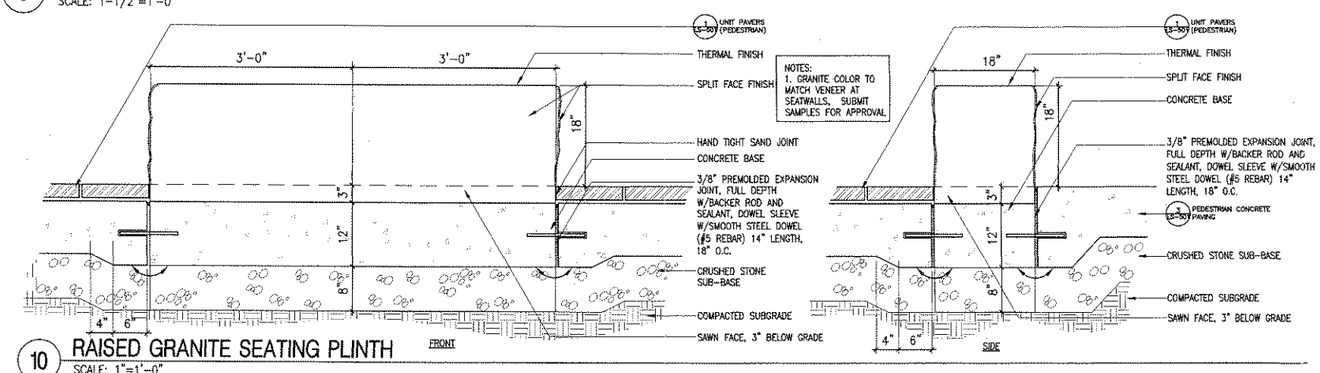
7 SALVAGED GRANITE CURB PAVING, RAISED AT ADJACENT PLANTER CURB
SCALE: 1-1/2" = 1'-0"



8 STONE VENEER SEATWALL
SCALE: 1"=1'-0"

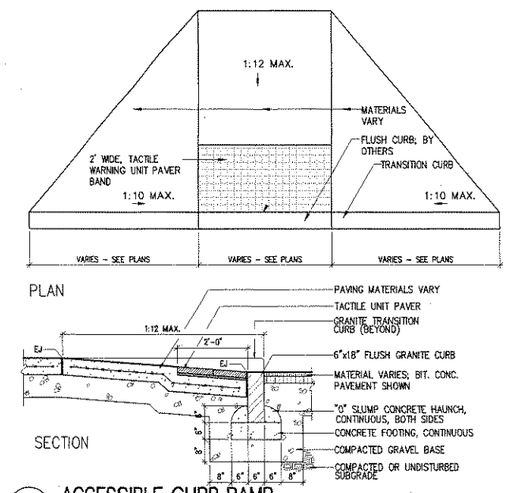


9 GRANITE CURB AT STREET, RAISED AND FLUSH CONDITION
SCALE: 1-1/2"=1'-0"



NOTES:
1. GRANITE COLOR TO MATCH VENEER AT SEATWALLS. SUBMIT SAMPLES FOR APPROVAL.

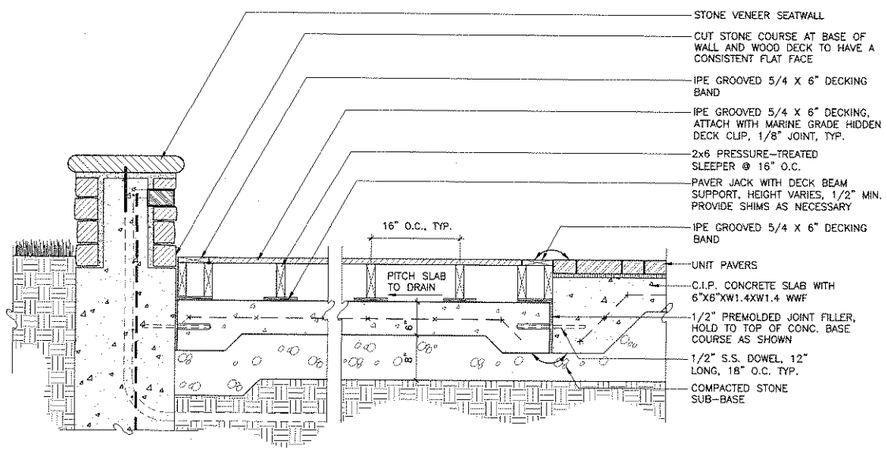
10 RAISED GRANITE SEATING PLINTH
SCALE: 1"=1'-0"



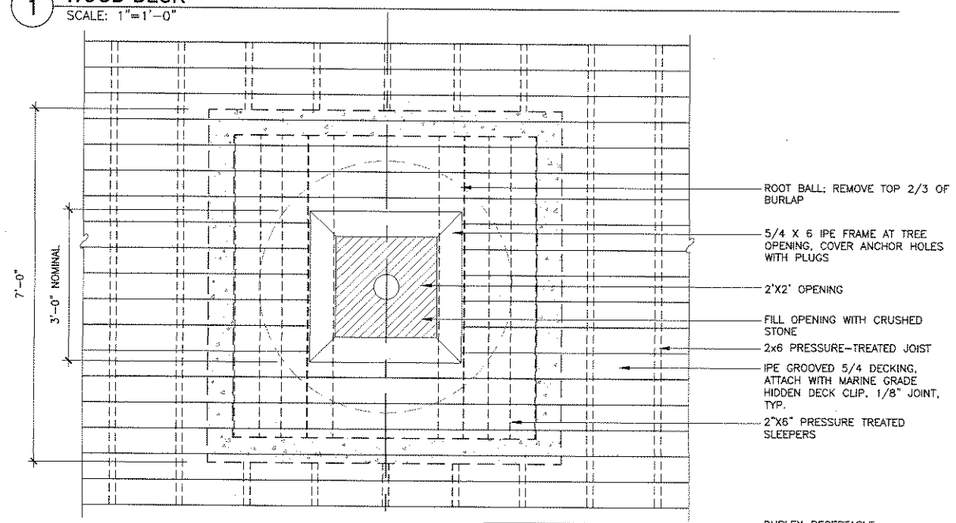
11 ACCESSIBLE CURB RAMP
SCALE: 1/2"=1'-0"

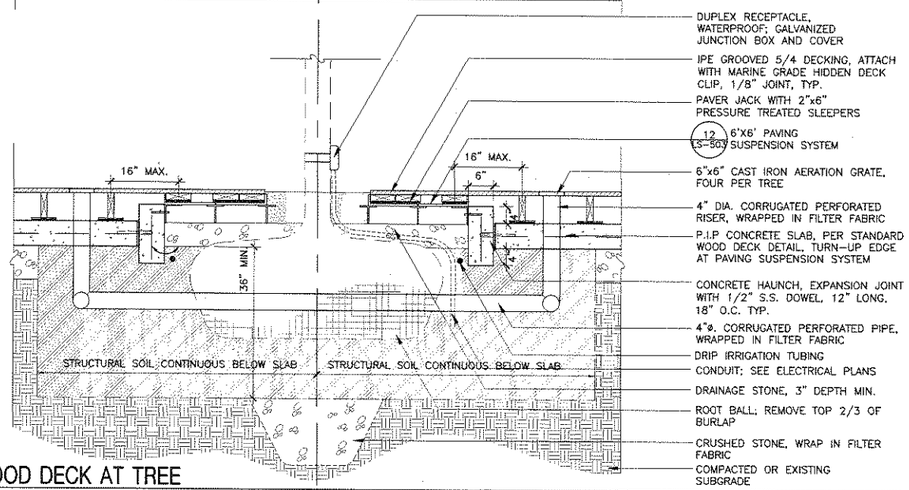
Saved Wednesday, May 09, 2012 5:04:18 PM BROWER Plotted Wednesday, May 09, 2012 3:34:47 PM Brett Oliver

SOMERVILLE
ASSEMBLY ROW – MAIN STREET PLAZA
SITE DETAILS
LS–502

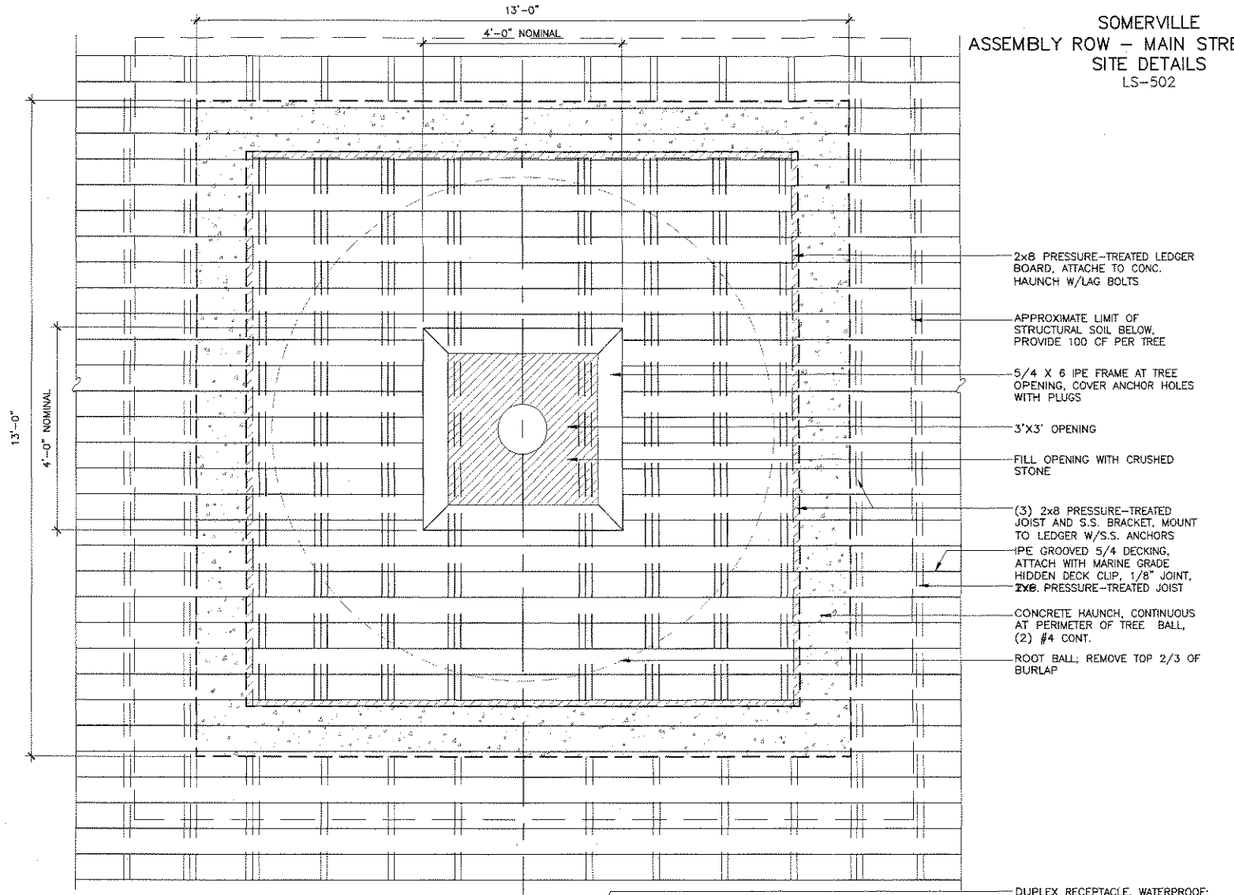


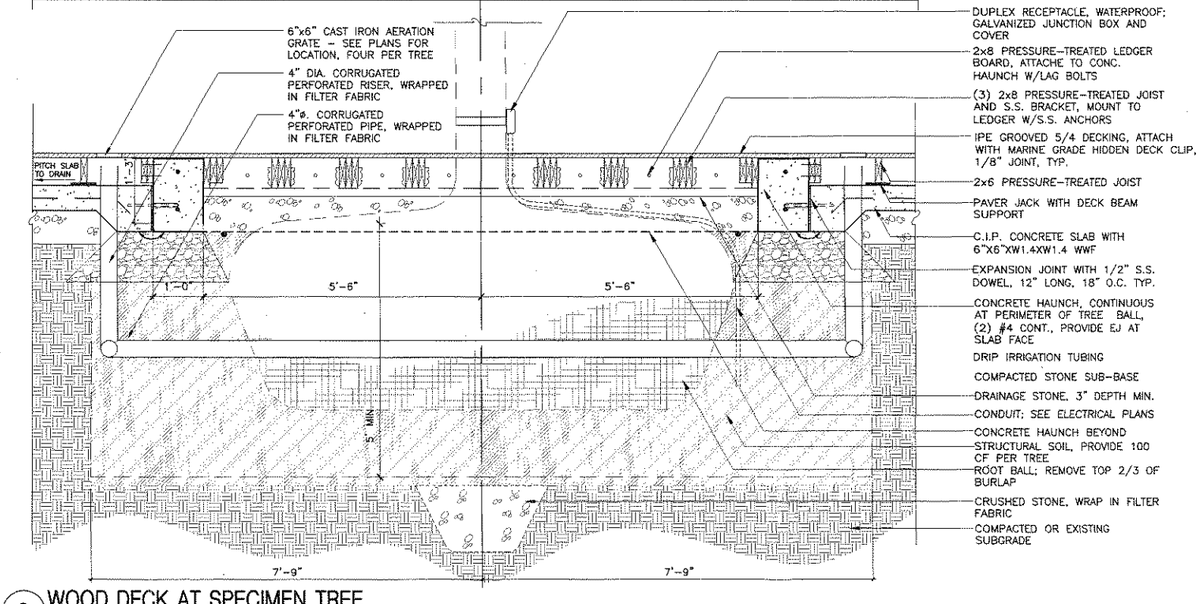
1 WOOD DECK
SCALE: 1"=1'–0"





2 WOOD DECK AT TREE
SCALE: 3/4" = 1'–0"

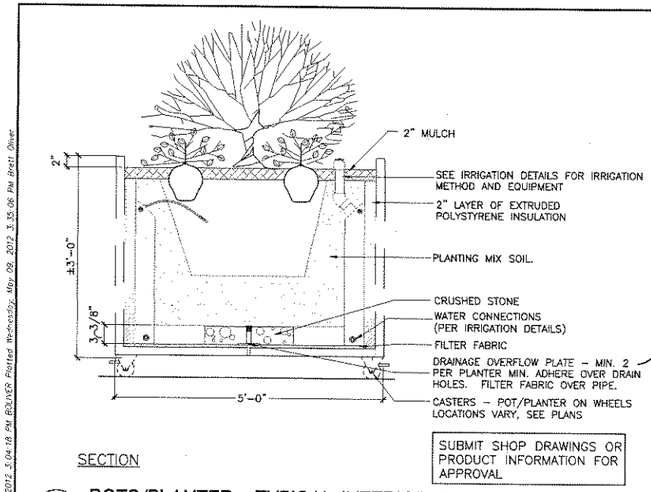




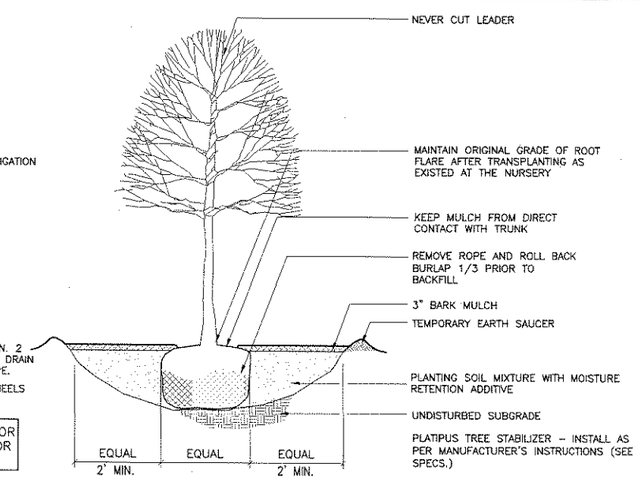
3 WOOD DECK AT SPECIMEN TREE
SCALE: 3/4" = 1'–0"

Saved Wednesday, May 09, 2012 3:04:18 PM BGUYER Plotted Wednesday, May 09, 2012 3:31:57 PM Brett Glover
P:\1123 Assembly Square Streetscape\0000 Construction Drawings\Current CWDG Drawings\Main Street Plaza\Sheet Layouts\(04)Main St Plaza_Master Details.dwg

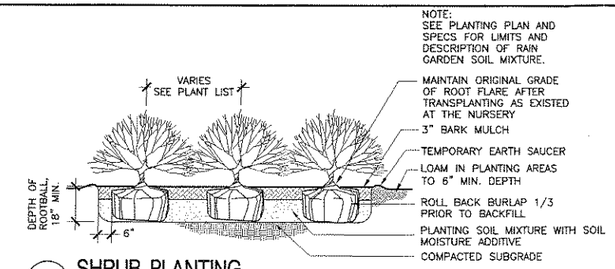
SOMERVILLE
ASSEMBLY ROW – MAIN STREET PLAZA
SITE DETAILS
LS-503



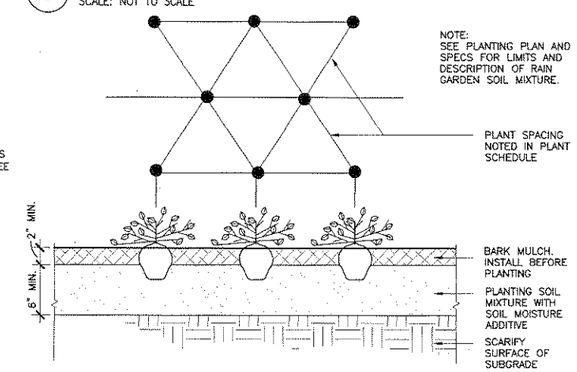
1 POTS/PLANTER - TYPICAL INTERIOR PLANTING
SCALE: 1"=1'-0"



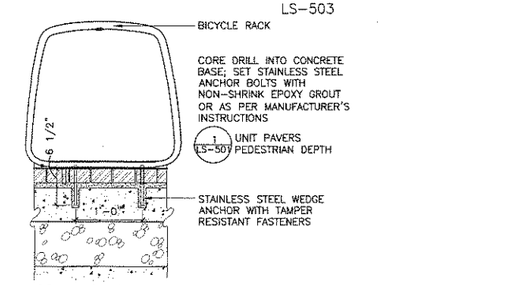
2 DECIDUOUS TREE PLANTING
SCALE: NOT TO SCALE



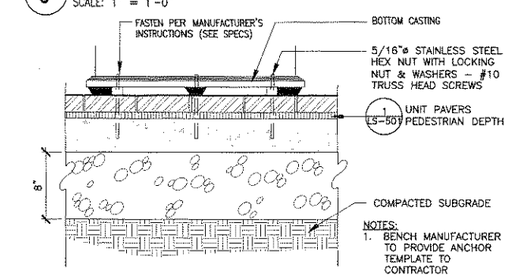
3 SHRUB PLANTING
SCALE: NOT TO SCALE



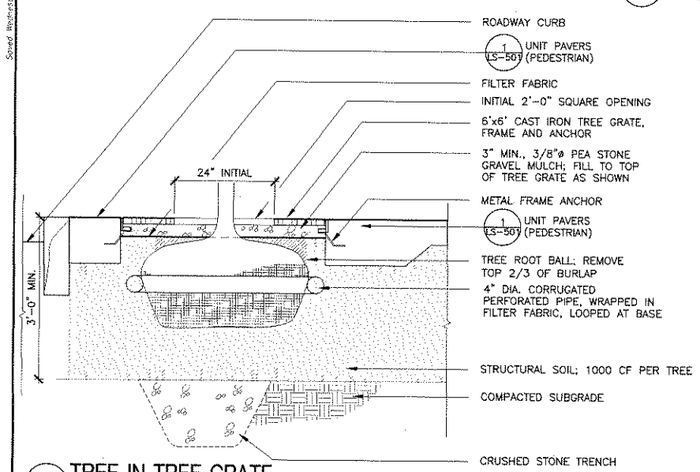
4 GROUNDCOVER/VINE PLANTING
NOT TO SCALE



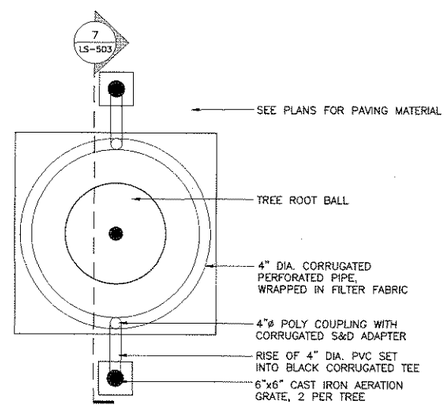
5 BICYCLE RACK MOUNTING
SCALE: 1" = 1'-0"



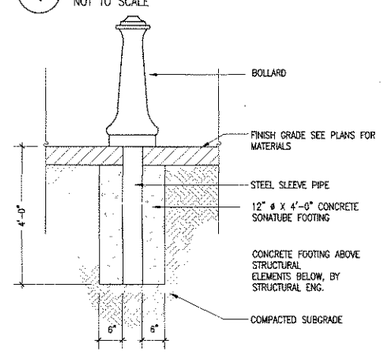
6 LITTER RECEPTACLE MOUNTING
SCALE: 1-1/2"=1'-0"



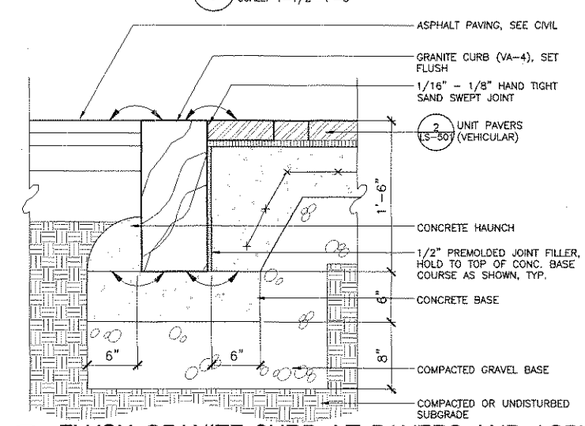
7 TREE IN TREE GRATE
SCALE: 3/4" = 1'-0"



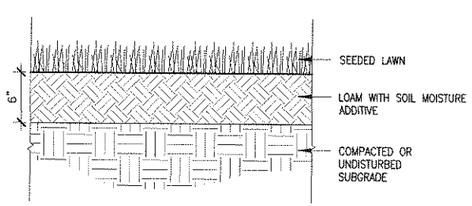
8 TREE AERATION (DIAGRAM PLAN)
SCALE: 1/2" = 1'-0"



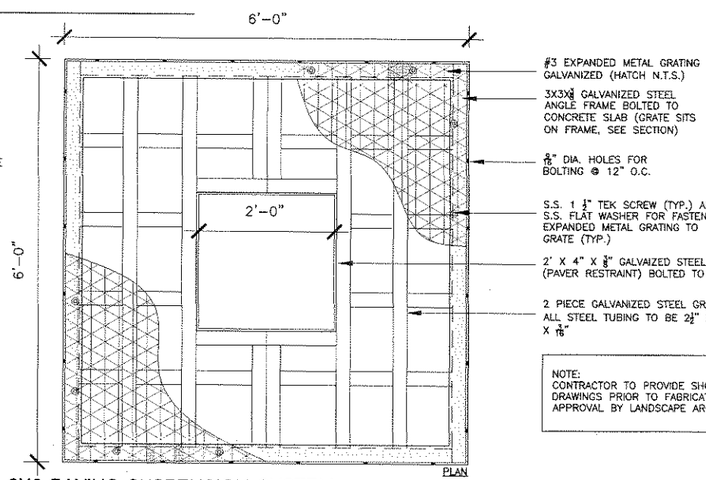
9 BOLLARD MOUNTING
SCALE: 1"=1'-0"



10 FLUSH GRANITE CURB AT PAVERS AND ASPHALT
SCALE: 1-1/2"=1'-0"



11 LAWN ON LOAM
SCALE: 1-1/2"=1'-0"

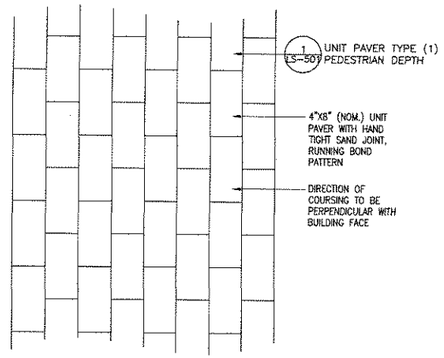


NOTE:
CONTRACTOR TO PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION FOR APPROVAL BY LANDSCAPE ARCHITECT.

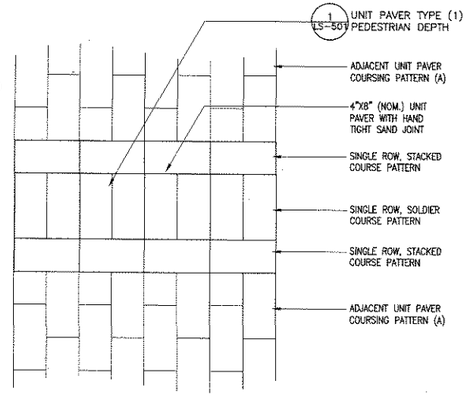
12 6X6 PAVING SUSPENSION SYSTEM
SCALE: 1" = 1'-0"

Saved: Wednesday, May 09, 2012 3:04:18 PM BOUVIER Plotted: Wednesday, May 09, 2012 3:15:06 PM Brett Oliver

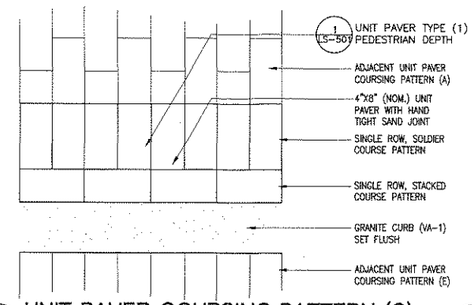
SOMERVILLE
ASSEMBLY ROW – MAIN STREET PLAZA
SITE DETAILS
LS-504



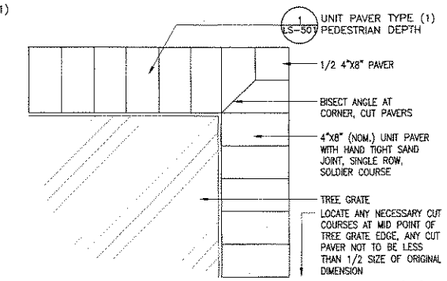
1 UNIT PAVER COURSING PATTERN (A)
SCALE: 1-1/2" = 1'-0"



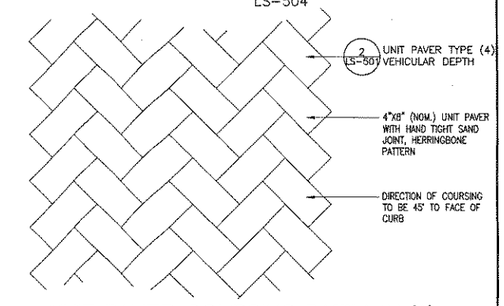
2 UNIT PAVER COURSING PATTERN (B)
SCALE: 1-1/2" = 1'-0"



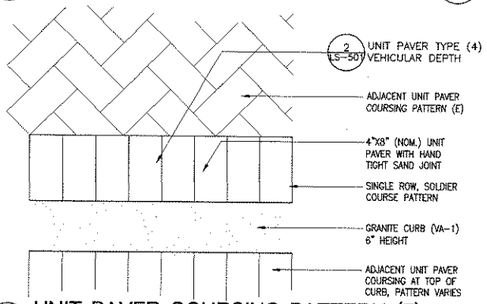
3 UNIT PAVER COURSING PATTERN (C)
SCALE: 1-1/2" = 1'-0"



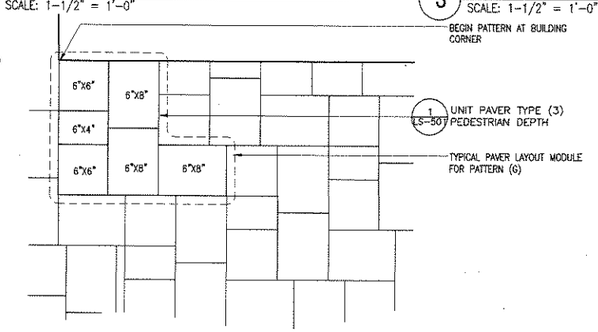
4 UNIT PAVER COURSING PATTERN (D)
SCALE: 1-1/2" = 1'-0"



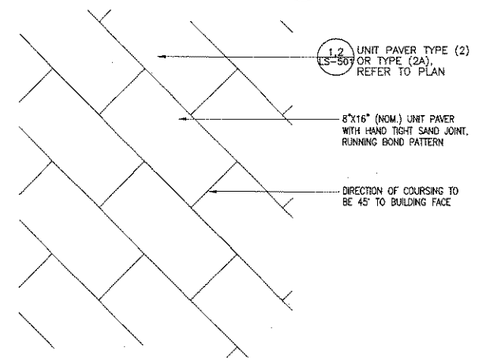
5 UNIT PAVER COURSING PATTERN (E)
SCALE: 1-1/2" = 1'-0"



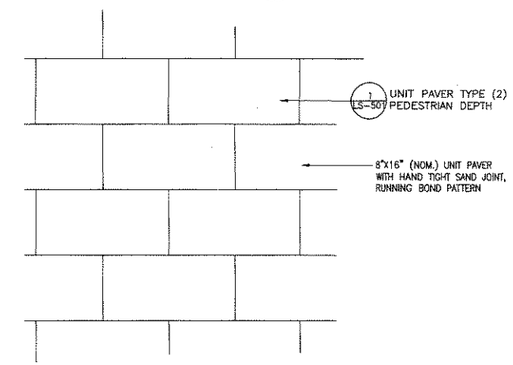
6 UNIT PAVER COURSING PATTERN (F)
SCALE: 1-1/2" = 1'-0"



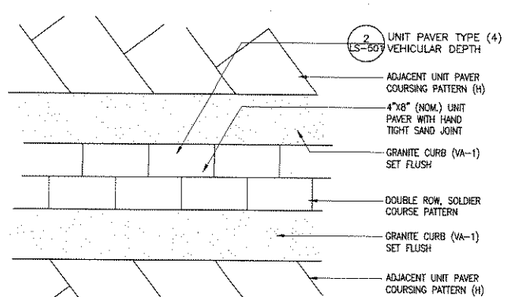
8 UNIT PAVER COURSING PATTERN (G)
SCALE: 1-1/2" = 1'-0"



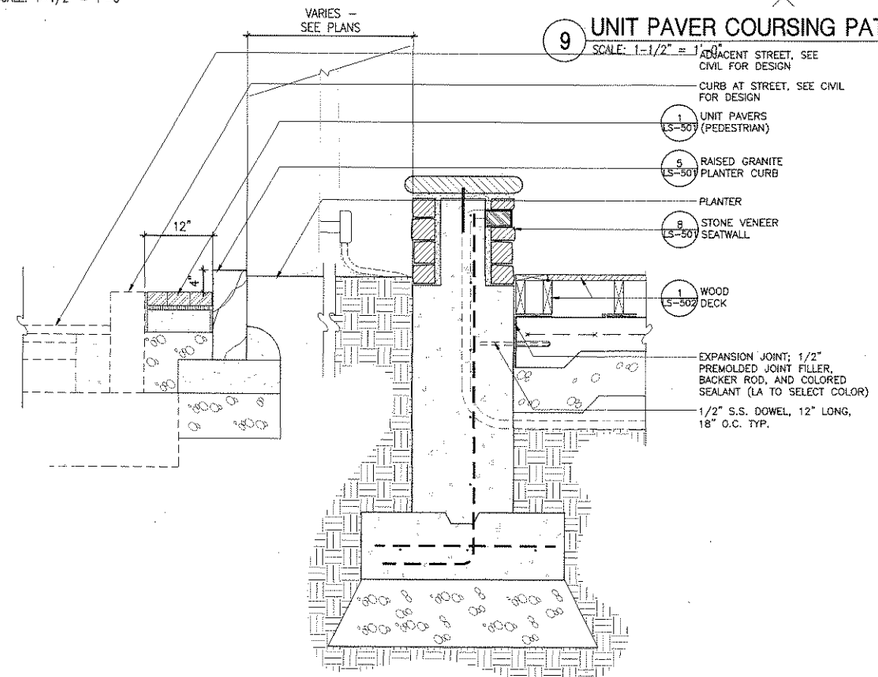
9 UNIT PAVER COURSING PATTERN (H)
SCALE: 1-1/2" = 1'-0"



10 UNIT PAVER COURSING PATTERN (I)
SCALE: 1-1/2" = 1'-0"



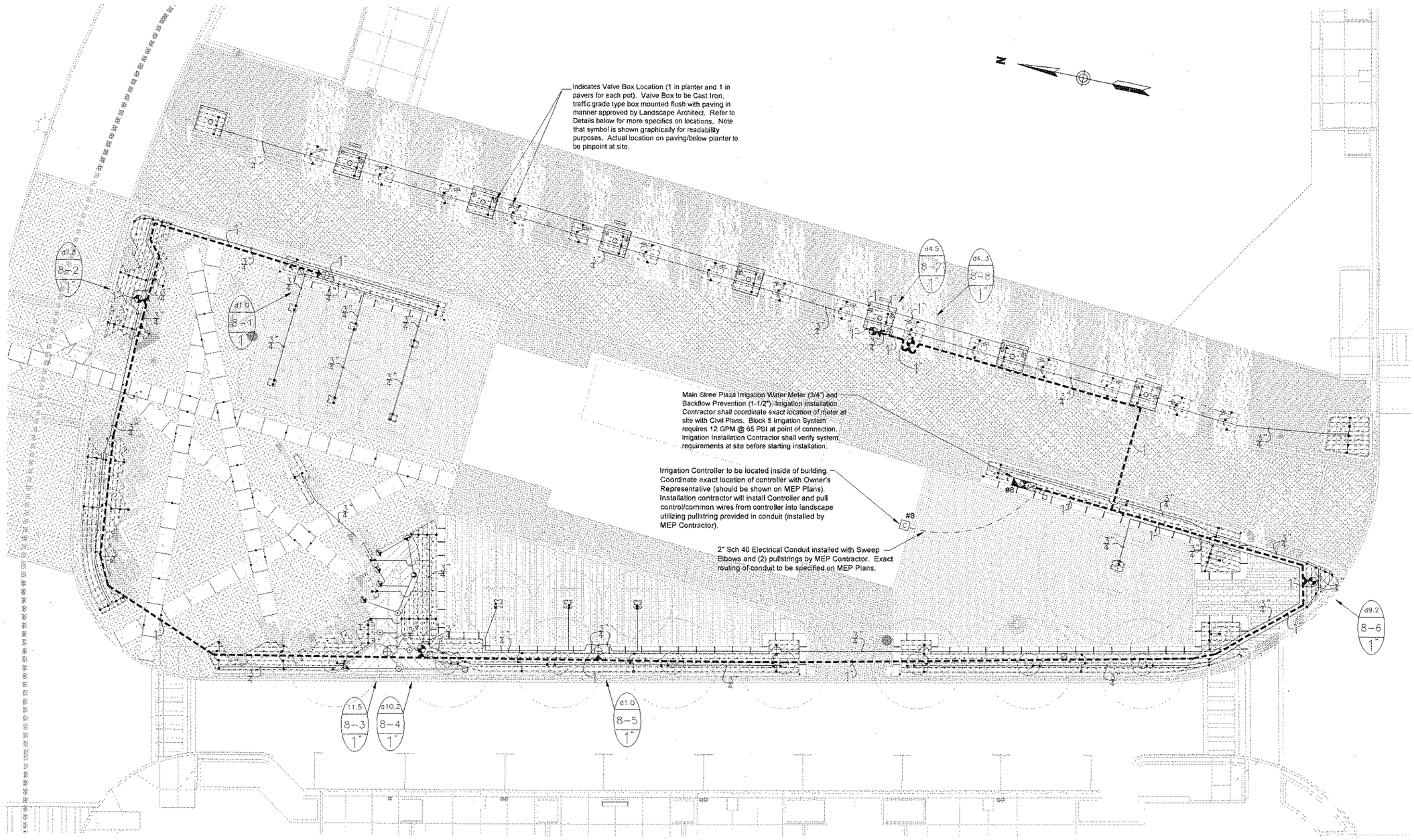
11 UNIT PAVER COURSING PATTERN (J)
SCALE: 1-1/2" = 1'-0"



12 SECTION AT SEATWALL AND PLANTER CURB
SCALE: 1"=1'-0"

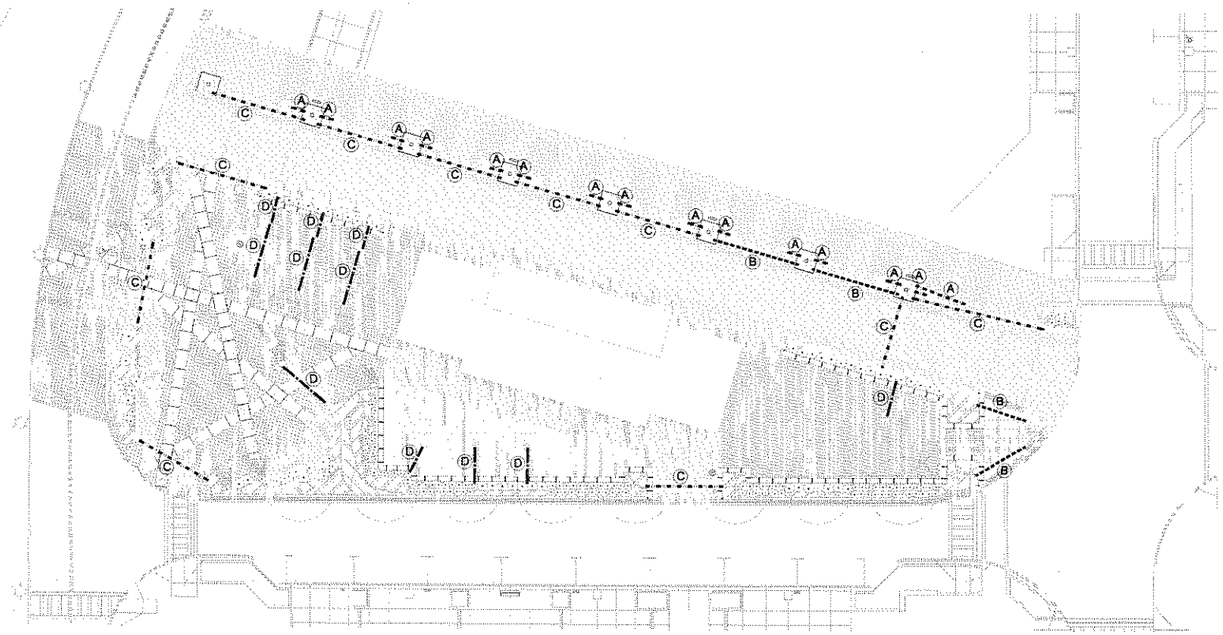
Saved Wednesday, May 09, 2012 3:04:18 PM BRUNER Plotted Wednesday, May 09, 2012 3:35:16 PM Brett Silver

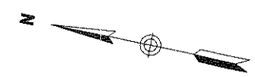
SOMERVILLE
ASSEMBLY ROW – MAIN STREET PLAZA
IRRIGATION PLAN
IR-93



C:\Working\AssemblyRow\120507ib.dwg

SOMERVILLE
ASSEMBLY ROW – MAIN STREET PLAZA
IRRIGATION SLEEVING PLAN
IR-94

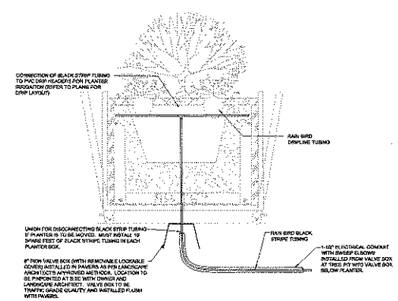




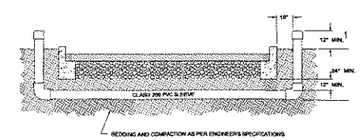
SLEEVING LEGEND

- (A) POT IRRIGATION SLEEVE
- (B) 6" CLASS 200 PVC IRRIGATION SLEEVE
- (C) 4" CLASS 200 PVC IRRIGATION SLEEVE
- (D) 3" CLASS 200 PVC IRRIGATION SLEEVE

NOTE: INSTALLER OF SLEEVES SHALL BE RESPONSIBLE TO LOCATE SLEEVES IF NOT PROPERLY INSTALLED.



POT IRRIGATION SLEEVE
NTS

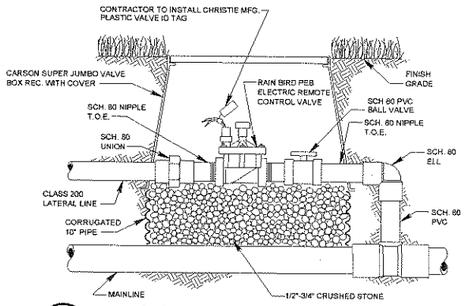


SLEEVING
NTS

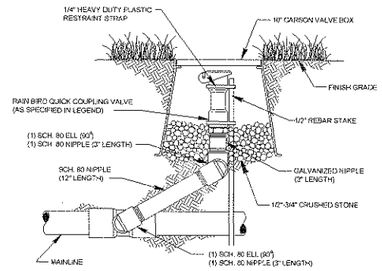
20 0 20 40
SCALE IN FEET

C:\Working\Assemblyrow\120507ib.dwg

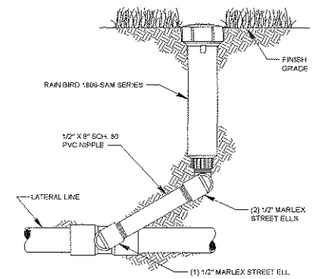
SOMERVILLE
ASSEMBLY ROW – MAIN STREET PLAZA
IRRIGATION DETAILS (1 OF 2)
IR–95



A CONTROL VALVE
NTS



B QUICK COUPLING VALVE
NTS



C LAWN SPRAY
NTS

IRRIGATION LEGEND

#6 3/4" WATER METER, SYSTEM REQUIRES 12 GPM @ 65 PSI. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE SYSTEM REQUIREMENTS AT SITE BEFORE STARTING CONSTRUCTION. REFER TO CIVIL PLANS FOR EXACT LOCATION OF IRRIGATION WATER METER.

#8 WATTS #007-M1-QT-11/2", 1-1/2" DOUBLE CHECK ASSEMBLY BACKFLOW PREVENTER. DETAIL-F.

MANUAL DRAIN VALVE. SCH 80 PVC BALL VALVE. DETAIL-E.

#8 WINTERIZATION ASSEMBLY. DETAIL-E.

#8 C RAIN BIRD ESP-12-LXME CONTROLLER; 12 STATION, MODULAR CONTROLLER, FOUR PROGRAMS, WALL MOUNTED. DETAIL-J
IRRIGATION CONTRACTOR SHALL ALSO INSTALL A WIRELESS MINII CLIK II RAIN SENSOR AND A FREEZE-CLIK DEVICE FOR EACH CONTROLLER.

NOTES:
1. IRRIGATION INSTALLATION CONTRACTOR MUST COORDINATE EXACT LOCATION OF CONTROLLERS AT SITE WITH OWNER'S REPRESENTATIVE.
2. IF WIRELESS SIGNAL CANNOT REACH CONTROLLERS, WIRED RAIN/FREEZE SENSOR MUST BE UTILIZED.

RAIN BIRD 150-PEB OR 200-PEB PLASTIC ELECTRIC REMOTE CONTROL VALVE, 11/2" OR 2" SIZE, MOUNTED WITH SCH 80 PVC BALL VALVE, DETAIL-A.

RAIN BIRD 100-PEB PLASTIC ELECTRIC REMOTE CONTROL VALVE, 1" SIZE, MOUNTED WITH SCH 80 PVC BALL VALVE, DETAIL-A.

RAIN BIRD 1806-SAM, 6" POP-UP LAWN SPRAY SPRINKLER, 12' RADIUS, FULL-2.0 GPM, HALF-1.0 GPM, QUARTER-0.5 GPM, 30 PSI. DETAIL-C.

RAIN BIRD 1806-SAM, 6" POP-UP LAWN SPRAY SPRINKLER, 15' RADIUS, FULL-4.0 GPM, HALF-2.0 GPM, QUARTER-1.0 GPM, 30 PSI. DETAIL-C.

RAIN BIRD 1806-SAM, 6" LAWN POP-UP SIDE STRIP SPRAY SPRINKLER, 9' X 18' RADIUS, 1.5 GPM, 30 PSI. DETAIL-C.

RAIN BIRD 1806-SAM, 6" LAWN SIDE STRIP SPRAY SPRINKLER, 4' X 30' RADIUS, 1.5 GPM, 30 PSI. DETAIL-C.

RAIN BIRD 1806-SAM, 6" LAWN END STRIP SPRAY SPRINKLER, 4' X 15' RADIUS, 1.0 GPM, 30 PSI. DETAIL-C.

RAIN BIRD 1806-SAM WITH 1404 BUBBLER NOZZLE AND PA-80 ADAPTER. 6" POP-UP TREE BUBBLER, 1.0 GPM, DETAIL-C.

HUNTER INDUSTRIES MP ROTATOR SERIES 3000, MOUNTED ON RAIN BIRD 1806-SAM SPRINKLER IN LAWN, 30' RADIUS, FULL-4.0 GPM, HALF-2.0 GPM, QUARTER-1.0 GPM, 40 PSI, DETAIL-C.

HUNTER INDUSTRIES MP ROTATOR SERIES 2000, MOUNTED ON RAIN BIRD 1806-SAM SPRINKLER IN LAWN, 20' RADIUS, FULL-2.0 GPM, HALF-1.0 GPM, QUARTER-0.5 GPM, 40 PSI, DETAIL-C.

RAIN BIRD #5 QUICK COUPLING VALVE 1" SIZE. CONTRACTOR TO SUPPLY TWO QCV KEYS AND MATCHING HOSE SWIVELS. DETAIL-B.

SCH 80 PVC BALL VALVE, SIZED SAME AS MAINLINE, MOUNTED IN CARSON VALVE BOX, DETAIL-D.

RAIN BIRD DRIP ZONE ASSEMBLY KIT, MODEL #XCZ-100-PRB-COM OR XCZ-150-PRB-COM. 1" OR 1-1/2" SIZE, SIZE NOTED ON PLANS. DETAIL-L.

RAIN BIRD DRIP ZONE ASSEMBLY KIT, MODEL #XCZ-LF-100-PRF LOW FLOW (0-3 GPM) VALVE. 1" SIZE DETAIL-L.

POINT OF CONNECTION - DRIP LINE TUBING TO PVC PIPE, DETAIL-M,N.

IRRIGATION CONNECTION POINT/VALVE BOX FROM PVC PIPE TO FLEXIBLE PIPE/TUBING. REFER TO NOTES/DETAILS ON PLANS.

DRIP TUBING: RAIN BIRD XFS DRIPLINE DRIP TUBING, .6 GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4', INSTALL RAIN BIRD AIR RELIEF VALVE KIT IN 6" CIRCULAR VALVE BOX AT HIGH POINT OF ZONE. DETAIL-M,N,P,Q,R.

TREE DRIP TUBINGRING : RAIN BIRD XFS DRIPLINE DRIP TUBING, .6 GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4', INSTALL RAIN BIRD AIR RELIEF VALVE KIT IN 6" CIRCULAR VALVE BOX AT HIGH POINT OF ZONE. DETAIL-M,N,P,Q,R.

MAINLINE PIPE: 1" SIZE IF NOT NOTED. CLASS 200 PVC.

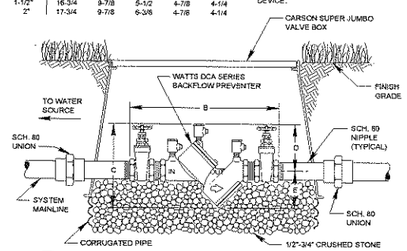
IRRIGATION SLEEVE: CLASS 200 PVC, REFER TO SLEEVING PLANS. DETAIL-H.

LATERAL LINE PIPE: CLASS 200 PVC, SIZE NOTED.

2" ELECTRICAL CONDUIT SLEEVE.

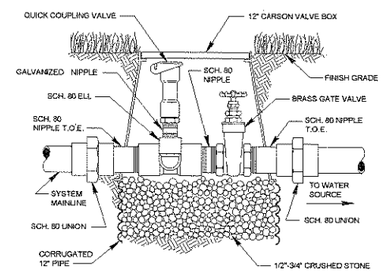
	DIMENSIONS (INCHES)				
	B	C	D	E	WIDTH
	12-3/4	6-7/8	4	2-7/8	2-3/4
1"	13-3/4	6-7/8	4-3/8	2-7/8	3-3/4
1-1/2"	16-3/4	9-7/8	5-1/2	4-7/8	4-1/4
2"	17-3/4	9-7/8	6-3/8	4-7/8	4-1/4

CONTRACTOR TO COMPLY WITH ALL LOCAL CODES AND ORDINANCES IN REFERENCE TO INSTALLATION AND VENTING OF BACKFLOW PREVENTION DEVICE.

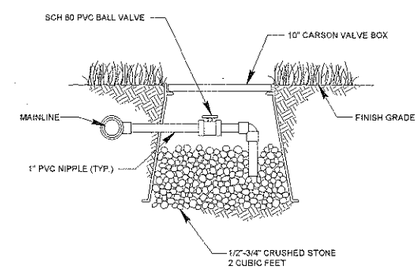


F BACKFLOW PREVENTER
NTS

✳ IRRIGATION CONTACTOR SHALL SUBMIT BACKFLOW DETAIL TO LOCAL AUTHORITIES FOR APPROVAL BEFORE STARTING CONSTRUCTION.



D WINTERIZATION ASSEMBLY
NTS



E MANUAL DRAIN VALVE
NTS

NOTES:

1. ALL SPRINKLERS WILL BE MOUNTED ON (3) MARLEX STREET ELLS WITH A SCHED. 80 NIPPLE SIZE OF SPRINKLER INLET.
2. CONTRACTOR TO UTILIZE A AUTOMATIC DRAIN CHECK VALVE DEVICE WHERE LOW HEAD DRAINAGE MAY OCCUR.
3. ALL WIRE WILL BE COLOR CODED DIRECT BURIAL UL/UF WIRE: COMMON (WHITE) #12-1, CONTROL (RED) #14-1.
4. ALL PIPING AND WIRING UNDER HARDTOPS WILL BE IN CLASS 200 PVC PIPE SLEEVE.

TYPICAL VALVE INDICATOR

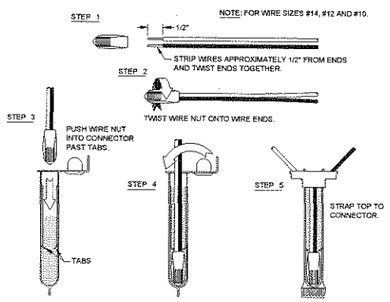
28.5 GALLONS PER MIN.
10 STATION NUMBER
1½ VALVE SIZE

GENERAL NOTES

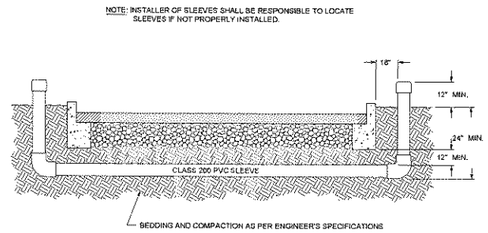
1. ALL MAINLINES TO HAVE A MINIMUM OF 18" OF COVER. (CLASS 200 PVC PIPE).
2. ALL LATERAL AND SUB-MAIN PIPE TO HAVE A MINIMUM OF 12" OF COVER. (CLASS 200 PVC PIPE).
3. NO ROCKS, BOULDER, OR OTHER EXTRANEOUS MATERIALS TO BE USED IN BACKFILLING OF TRENCH.
4. ALL PIPE TO BE INSTALLED AS PER MANUFACTURERS' SPECIFICATIONS.
5. ALL THREADED JOINTS TO BE COATED WITH TEFLON TAPE OR LIQUID TEFLON.
6. ALL LINES TO BE THOROUGHLY FLUSHED BEFORE INSTALLATION OF SPRINKLER HEADS.
7. SPRINKLER AND RELATED EQUIPMENT TO BE INSTALLED AS PER DETAILS
8. ALL ELECTRICAL JOINTS TO BE MADE USING WATERPROOF CONNECTIONS AS SHOWN ON DETAILS.
9. ALL EQUIPMENT NOT SPECIFIED IN THE LEGEND SHALL BE DETERMINED AND FURNISHED BY THE CONTRACTOR.
10. NO ELECTRICAL CONNECTIONS SHALL BE MADE IN THE FIELD EXCEPT AT A VALVE CONTROL BOX OR ANOTHER VALVE BOX SPECIFICALLY FOR CONNECTIONS.
11. ANY DISCREPANCY BETWEEN THIS SHEET AND OTHERS IN THIS SET MUST BE REFERRED TO THE IRRIGATION CONSULTANT BY THE CONTRACTOR FOR CLARIFICATION BEFORE PRECEEDING WITH THE WORK.
12. ALL 24 VOLT WIRE SHALL BE #12 UF/UL FOR COMMON WIRE, AND #14 UF/UL FOR CONTROL WIRES, DIRECT BURIAL, SOLID COPPER.
13. CONTRACTOR TO BE RESPONSIBLE FOR PROPER COVERAGE OF AREAS TO BE WATERED, I.E. ADJUST HEADS WITH INSUFFICIENT COVERAGE DUE TO BLOCKAGE BY EXISTING OR PROPOSED SITE FEATURES.
14. CONTRACTOR TO REFER TO LANDSCAPE PLAN TO KEEP SPRINKLER EQUIPMENT AND ACCESSORY MATERIAL FROM INTERFERING WITH PROPER PLANTING, i.e. VERIFY ROOT BALL SIZE FOR PLANTING
15. CONTRACTOR SHALL PROVIDE EXPANSION COILS AT EACH WIRE CONNECTION IN VALVE BOX (WRAP AROUND 3/4" PIPE 12 TIMES).
16. CONTRACTOR TO UTILIZE APPROPRIATE AUTOMATIC DRAIN DEVICE WHERE LOW HEAD DRAINAGE MAY OCCUR.
17. ALL SPRINKLERS TO BE MOUNTED ON SWING JOINTS - REFER TO DETAILS.
18. CONTRACTOR SHALL UTILIZE VALVE I.D. TAGS ON ALL REMOTE CONTROL VALVES.
19. 24 VOLT WIRE SHALL BE COLOR CODED, COMMON-WHITE, CONTROL-RED.
20. CONTRACTOR SHALL INSTALL MANUFACTURERS' RECOMMENDED GROUNDING EQUIPMENT FOR POWER SUPPLY AND VALVE OUTPUT WITH (2) 5/8" COPPER CLAD GROUND RODS.
21. CONTRACTOR SHALL INSTALL MANUFACTURERS' RECOMMENDATION ON FAULT GROUND AND LIGHTNING PROTECTION.
22. ALL MATERIAL TO BE SUPPLIED BY CONTRACTOR TO OWNER:
    A. TWO WRENCHES FOR DISASSEMBLING AND ADJUSTING EACH TYPE OF SPRINKLER HEADS AND VALVE SUPPLIED.
    B. TWO KEYS FOR EACH OF THE AUTOMATIC CONTROLLERS.
    C. TWO QUICK COUPLER KEYS WITH MATCHING HOSE SWIVELS.
23. SYSTEM IS DIAGRAMMATIC TO IMPROVE CLARITY. ALL MAINLINE PIPING ELECTRIC VALVES AND WIRING ARE TO BE INSTALLED IN LANDSCAPE AREAS AND WITHIN PROPERTY BOUNDARIES. CONTRACTOR SHALL REFERENCE THE LANDSCAPE PLAN PRIOR TO THE INSTALLATION OF PIPING TO AVOID CONTACT WITH PLANT MATERIALS EXISTING OR NEW.
24. CONTRACTOR TO ADD EXTENSION RISER TO POP-UP HEADS WHEN NEEDED FOR PROPER COVERAGE.
25. CONTRACTOR SHALL INSTALL SPRINKLER EQUIPMENT 12" FROM FOUNDATIONS. ALSO INSTALL SPRINKLERS 4" FROM CURB OR WALKS.
26. PRIOR TO BID IRRIGATION CONTRACTOR SHALL VERIFY RIGHT-OF-WAY AND BACKFLOW REQUIREMENTS. NO LATER THAN FIVE DAYS BEFORE BID SUBMITTALS CONTRACTOR SHALL NOTIFY CONSULTANT OF ANY CHANGES FROM PLANS AND SPECIFICATIONS.
27. IRRIGATION CONTRACTOR SHALL PROVIDE THE OWNER AND LANDSCAPE ARCHITECT WITH A REPRODUCIBLE CROSS MEASURED AS-BUILT DRAWING OF THE INSTALLED IRRIGATION SYSTEM IN AUTOCAD 2004 FORMAT BEFORE FINAL ACCEPTANCE.
28. A 1-YEAR WARRANTY PERIOD SHALL BE PROVIDED FOR SYSTEM AFTER SUBSTANTIAL COMPLETION IS ACCEPTED. START UP AND ADJUSTING OF SYSTEM IN SPRING TIME SHALL BE INCLUDED IN WARRANTY.
29. PRIOR TO BID, CONTRACTOR SHALL VERIFY THAT ALL MATERIALS, INSTALLATION PARAMETERS AND OPERATIONS CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. NO LATER THAN FIVE DAYS BEFORE BID SUBMITTALS CONTRACTOR SHALL NOTIFY IRRIGATION CONSULTANT/DESIGNER OF ANY CHANGES REQUIRED DUE TO CURRENT CODE OR ORDINANCE DISCREPANCIES. IF CONTRACTOR DOES NOT COMPLY TO THIS NOTIFICATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY INSTALLATION CHANGE AND REDESIGN COSTS FOR NON-COMPLIANCE.

C:\Working\Assemblyflow\1205076.dwg

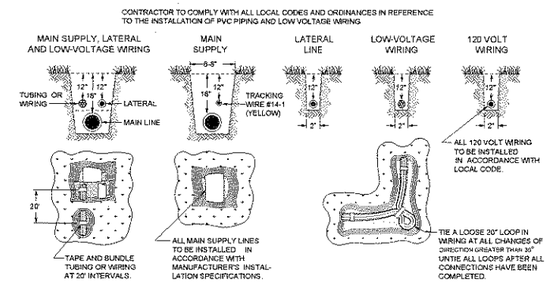
SOMERVILLE
ASSEMBLY ROW – MAIN STREET PLAZA
IRRIGATION DETAILS (2 OF 2)
IR–96



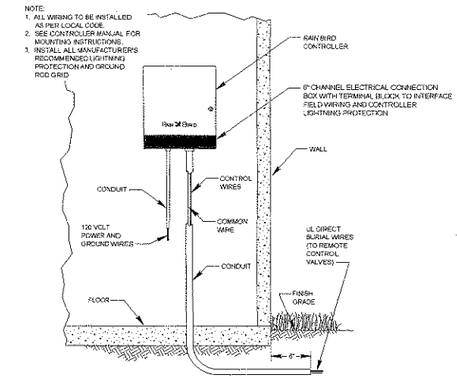
G WIRE CONNECTION
NTS
3M-DBR/Y



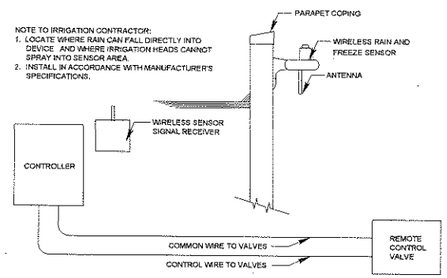
H SLEEVING
NTS



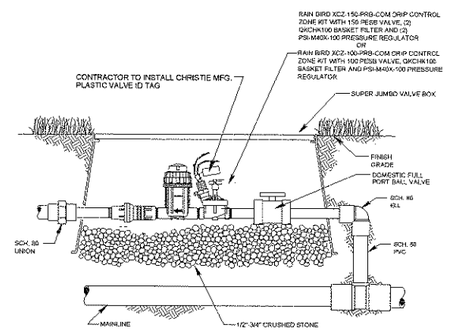
I TRENCHING
NTS



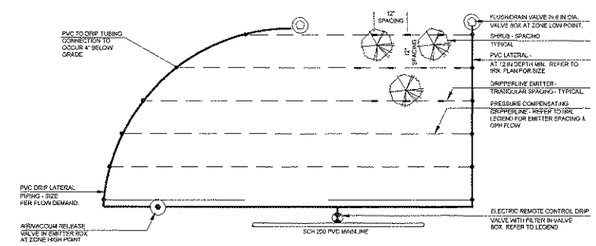
J CONTROLLER
NTS



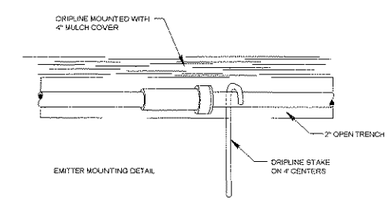
K RAIN SENSOR
NTS



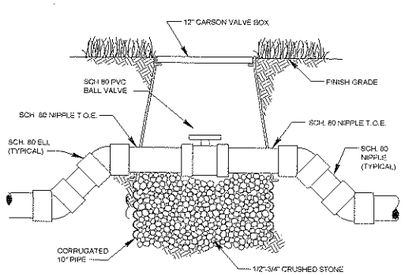
L DRIP ASSEMBLY
NTS



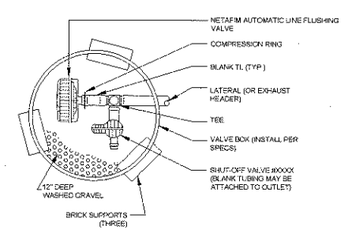
M IRRIGATION DRIPLINE
NTS



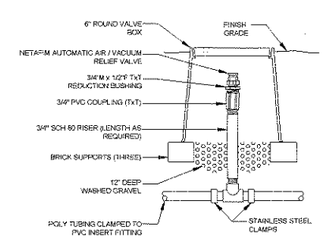
N DRIP EMITTER
NTS



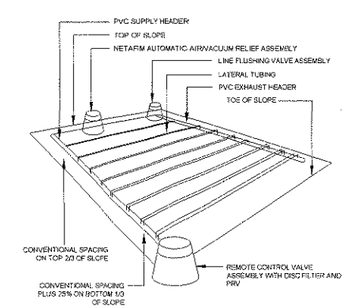
O ISOLATION BALL VALVE
NTS



P LINE FLUSHING VALVE
NTS

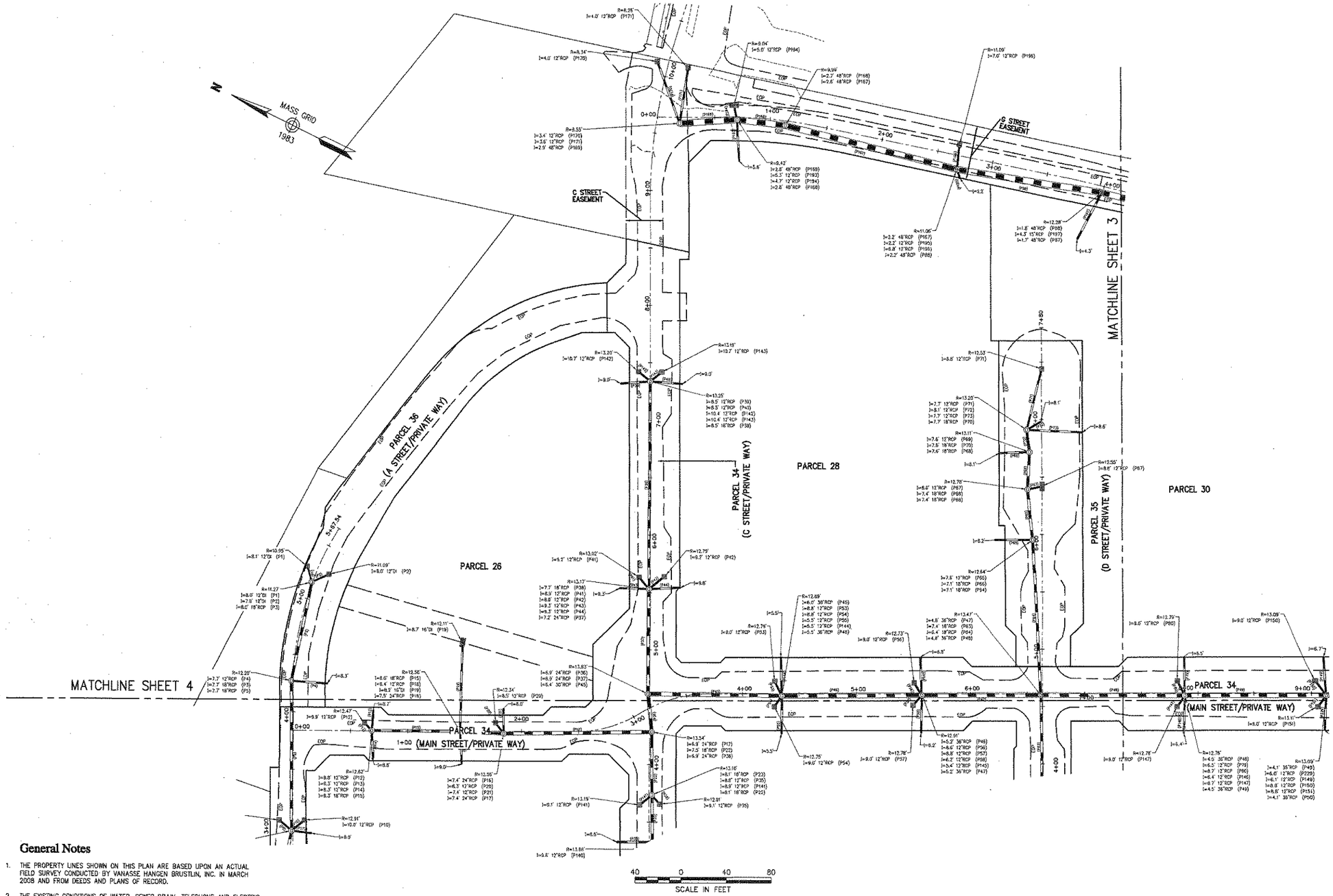


Q AIR/VACUUM RELIEF
NTS



R DRIP TUBING
NTS
SLOPED FEED LAYOUT

C:\Working\AssemblyRow\120507ib.dwg



General Notes

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.

VHB

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HH HAND HOLE
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- FLOOD LIGHT
- WELL
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- F.F.E.=45.27' FINISHED FLOOR ELEVATION
- EOP EDGE OF PAVEMENT
- CC CONCRETE CURB
- VGC VERTICAL GRANITE CURB
- SGE SLOPED GRANITE EDGE
- BB BITUMINOUS BERM
- BC BITUMINOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OHW OVERHEAD WIRE
- E UNDERGROUND ELECTRIC
- T TELEPHONE LINE
- G GAS LINE
- W WATER LINE
- STONE WALL
- TREE LINE
- 100'BZ 100-FT BUFFER ZONE
- 100'RA 100-FT RIVER FRONT AREA
- 200'RA 200-FT RIVER FRONT AREA
- MHW=100' LIMIT MEAN ANNUAL HIGH WATER
- BF=100' LIMIT OF BANK
- WF=100' VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appvd.

Designed by	Drawn by	Checked by	
CAD checked by		Approved by	
Scale 1"=40'		Date March 9, 2012	

Project Title

Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Issued for

Utility As-Built

Drawing Title

Drain Asbuilt

COMMONWEALTH OF MASSACHUSETTS
SELBY L. TURNER JR.
No. 46280
PROFESSIONAL LAND SURVEYOR

3/9/2012

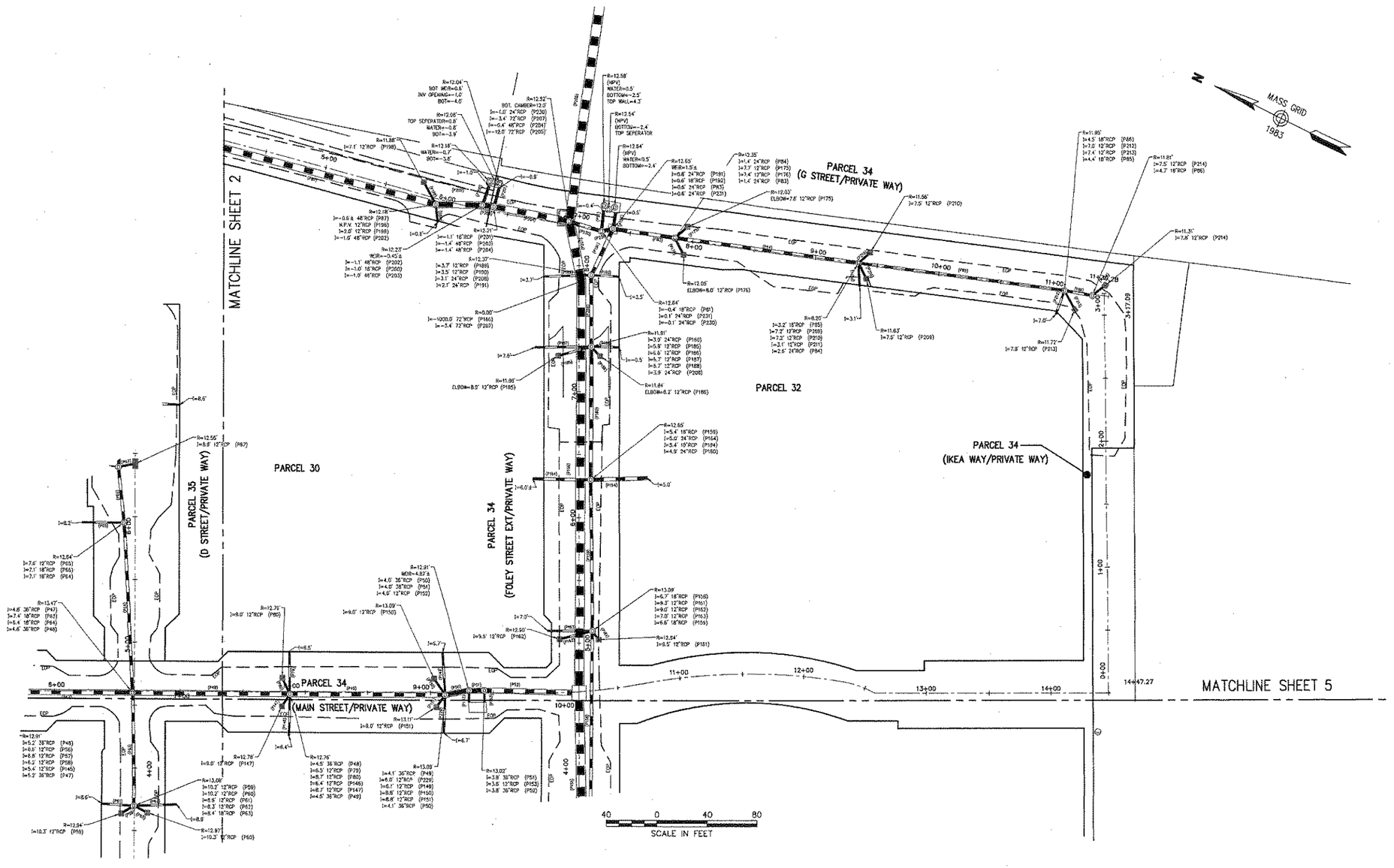
Drawing Number

Sv-2

Sheet 2 of 13

Project Number
11763.00

\\MAWALD\d\11763.00\cad\sr\planset\11763.00-ASBUILT.dwg



General Notes

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.

VHB

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HAND HOLE
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- FLOOD LIGHT
- WELL
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- F.F.E.=45.27' FINISHED FLOOR ELEVATION
- EDGE OF PAVEMENT
- CONCRETE CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE EDGE
- BITUMINOUS BERM
- BITUMINOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- TELEPHONE LINE
- GAS LINE
- WATER LINE
- STONE WALL
- TREE LINE
- 100'BZ — 100-FT BUFFER ZONE
- 100'RA — 100-FT RIVER FRONT AREA
- 200'RA — 200-FT RIVER FRONT AREA
- BHW=100 — LIMIT MEAN ANNUAL HIGH WATER
- BB=100 — LIMIT OF BANK
- WF=100 — VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appvd.

Designed by | Drawn by | Checked by
CAD checked by | Approved by
Scale 1"=40' | Date March 9, 2012

Project Title

Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Issued for

Utility As-Built

Drawing Title

Drain Asbuilt

Drawing Number

Sv-3

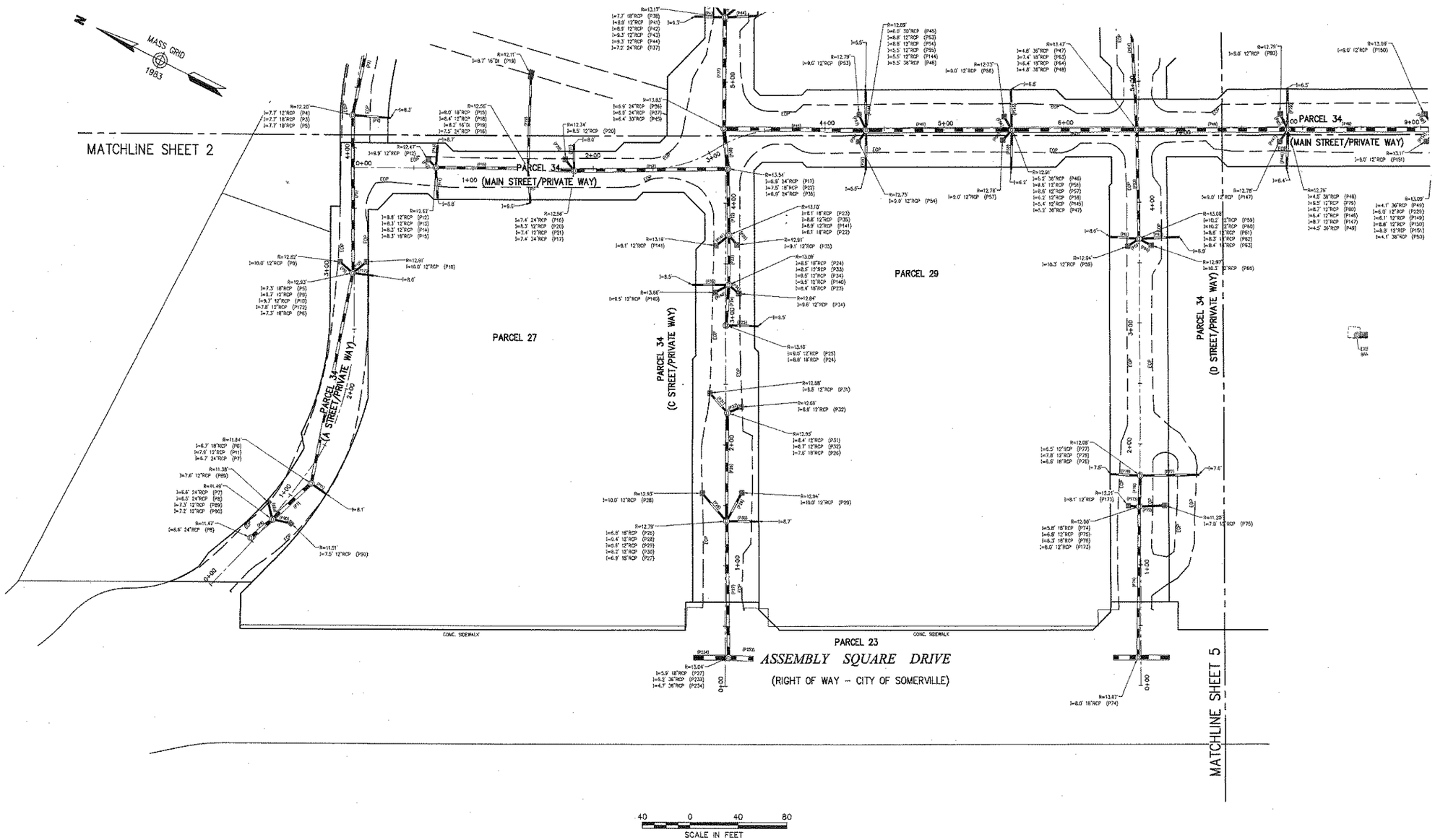
Sheet 3 of 13

Project Number 11763.00

COMMONWEALTH OF MASSACHUSETTS
SELBY A. TURNER III
No. 49230
PROFESSIONAL LAND SURVEYOR

3/9/2012

\\MAWALD\ld\11763.00\cad\dr\planset\11763.00-ASBUILT.dwg



General Notes

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.

VHB

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HAND HOLE
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- FLOOD LIGHT
- WELL
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- F.F.E.=45.27' FINISHED FLOOR ELEVATION
- EDGE OF PAVEMENT
- CONCRETE CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE EDGE
- BITUMINOUS BERM
- BITUMINOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- TELEPHONE LINE
- GAS LINE
- WATER LINE
- STONE WALL
- TREE LINE
- 100-FT BUFFER ZONE
- 100-FT RIVER FRONT AREA
- 200-FT RIVER FRONT AREA
- LIMIT MEAN ANNUAL HIGH WATER
- LIMIT OF BANK
- VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appvd.

Designed by | Drawn by | Checked by
CAD checked by | Approved by
Scale 1"=40' | Date March 9, 2012

Project Title
Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Issued for
Utility As-Built

Drawing Title
Drain Asbuilt

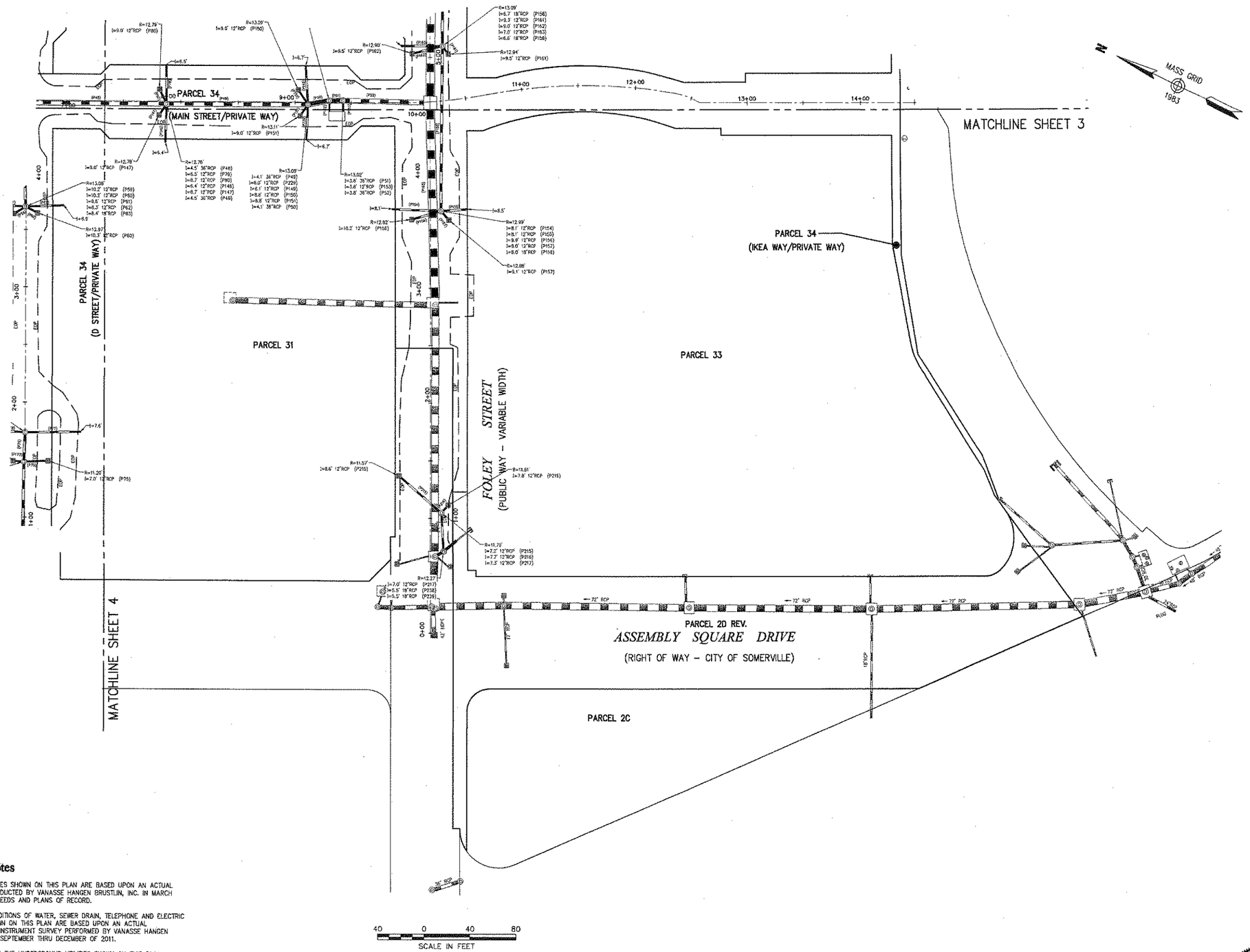
COMMONWEALTH OF MASSACHUSETTS
SELBY L. TURNER III
No. 46230
PROFESSIONAL LAND SURVEYOR
5/8/12

Drawing Number
Sv-4

Sheet 4 of 13

Project Number
11763.00

\\MAWALD\jd\11763.00\cad\sr\plonset\11763.00-ASBUILT.dwg



General Notes

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.

VHB

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HH HAND HOLE
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- FLOOD LIGHT
- WELL
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- F.F.E.=45.27' FINISHED FLOOR ELEVATION
- EOP EDGE OF PAVEMENT
- CC CONCRETE CURB
- VGC VERTICAL GRANITE CURB
- SGE SLOPED GRANITE EDGE
- BB BITUMINOUS BERM
- BC BITUMINOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OHW OVERHEAD WIRE
- E UNDERGROUND ELECTRIC
- T TELEPHONE LINE
- G GAS LINE
- W WATER LINE
- STONE WALL
- TREE LINE
- 100'BZ 100-FT BUFFER ZONE
- 100'RA 100-FT RIVER FRONT AREA
- 200'RA 200-FT RIVER FRONT AREA
- MHW-100' LIMIT MEAN ANNUAL HIGH WATER
- BH-100' LIMIT OF BANK
- WPT-100' VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appvd.

Designed by | Drawn by | Checked by
CAD checked by | Approved by
Scale 1"=40' | Date March 9, 2012

Project Title

Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Issued for

Utility As-Built

Drawing Title

Drain Asbuilt

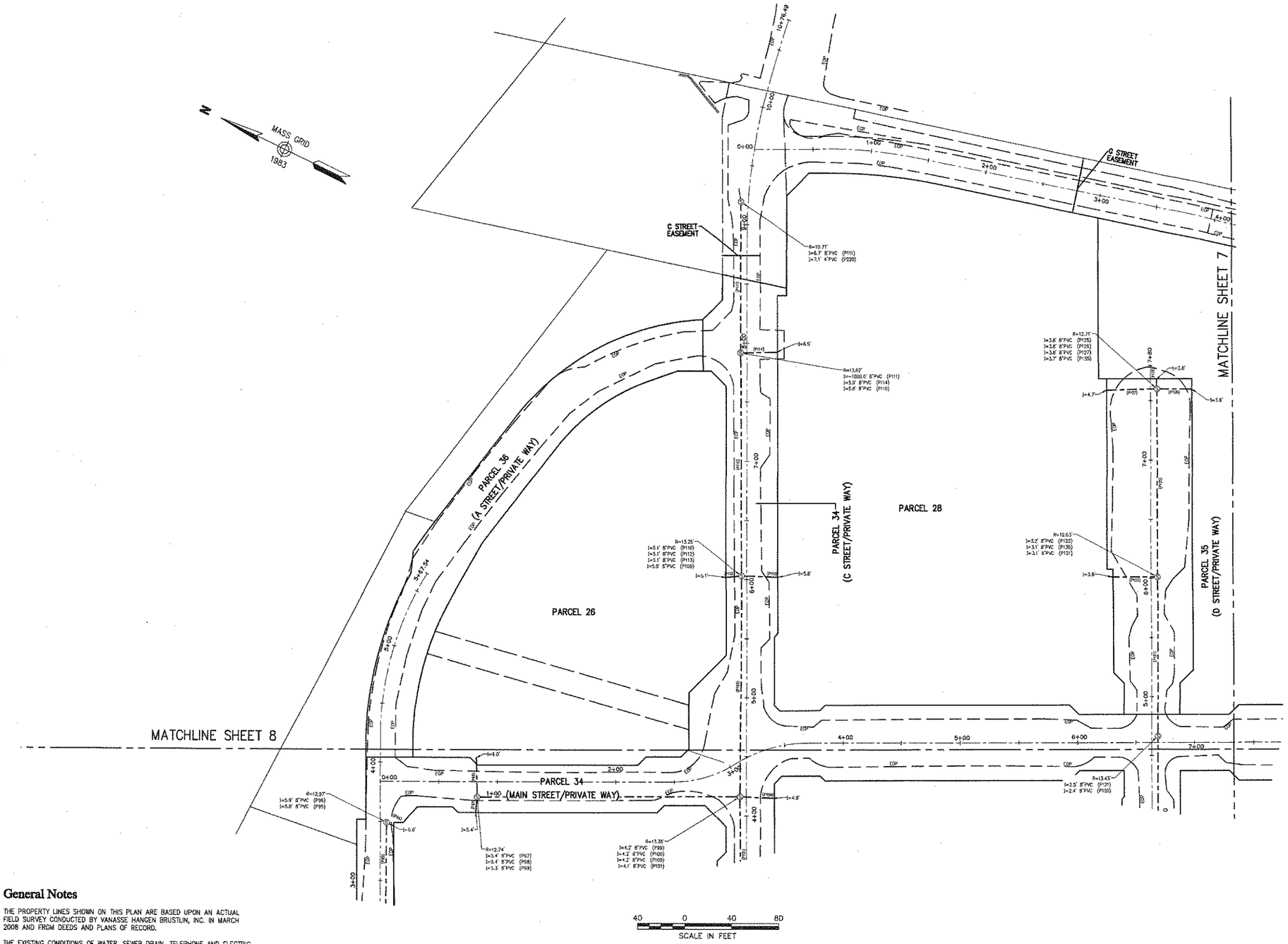
COMMONWEALTH OF MASSACHUSETTS
SELBY L. TURNER III
No. 49230
PROFESSIONAL LAND SURVEYOR

Drawing Number
Sv-5

Sheet 5 of 13

Project Number
11763.00

\\MAWALD\id\11763.00\cad\sr\plansnt\11763.00-ASBUILT.dwg



General Notes

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.

VHB

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HAND HOLE
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- FLOOD LIGHT
- WELL
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- F.F.E.=45.27' FINISHED FLOOR ELEVATION
- EDGE OF PAVEMENT
- CONCRETE CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE EDGE
- BITUMINOUS BERM
- BITUMINOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- TELEPHONE LINE
- GAS LINE
- WATER LINE
- STONE WALL
- TREE LINE
- 100-FT BUFFER ZONE
- 100-FT RIVER FRONT AREA
- 200-FT RIVER FRONT AREA
- LIMIT MEAN ANNUAL HIGH WATER
- LIMIT OF BANK
- VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appvd.

Designed by | Drawn by | Checked by
CAD checked by | Approved by
Scale 1"=40' | Date March 9, 2012

Project Title
Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Issued for
Utility As-Built

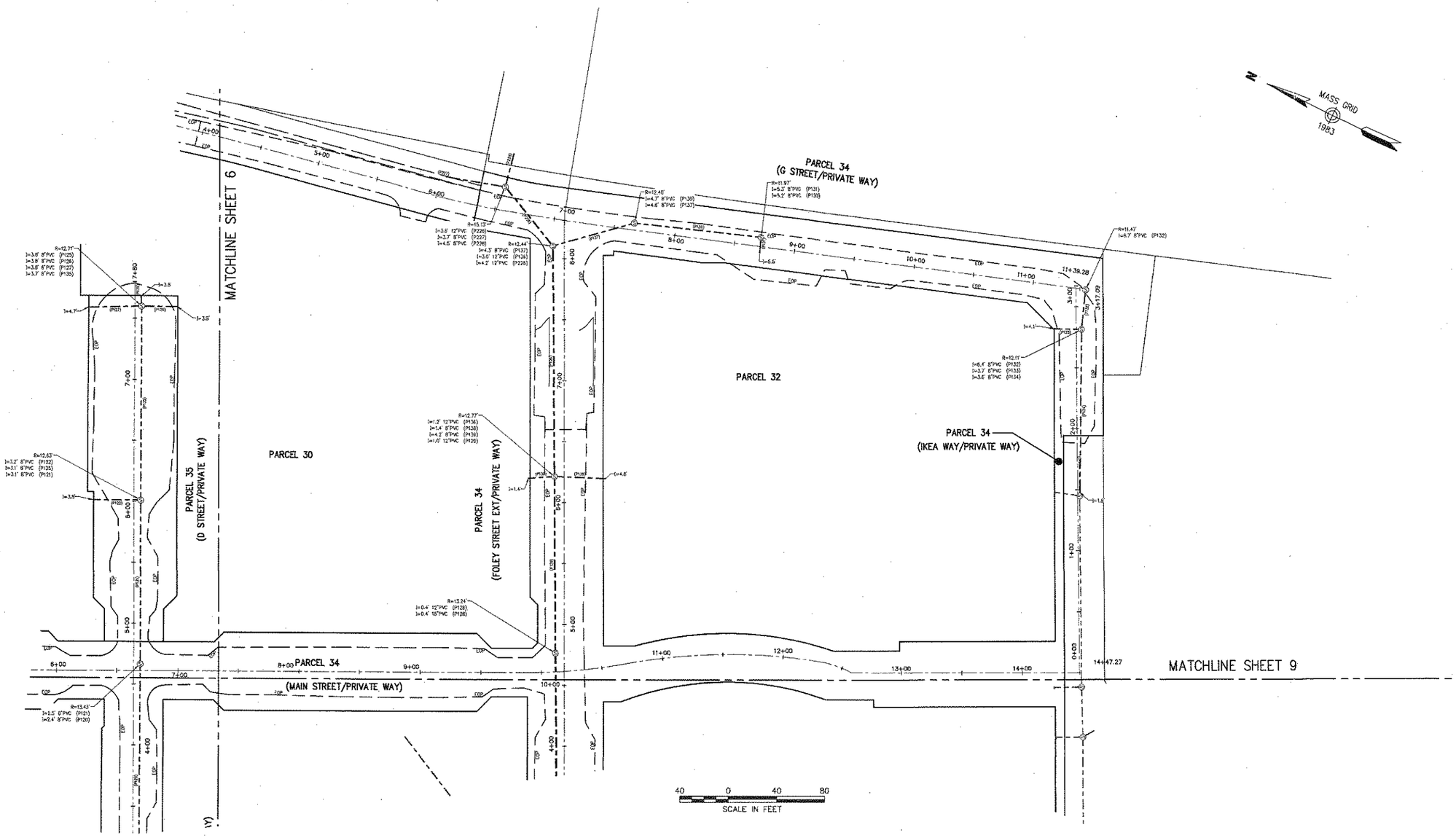
Drawing Title
Sewer Asbuilt

Drawing Number
Sv-6

Sheet 6 of 13

Project Number
11763.00

\\MAWALD\d\11763.00\cad\sr\plansht\11763.00-ASBUILT.dwg



General Notes

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.

VHB

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HH HAND HOLE
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- FLOOD LIGHT
- WELL
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- F.F.E.=45.27' FINISHED FLOOR ELEVATION
- EDGE OF PAVEMENT
- CONCRETE CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE EDGE
- BITUMINOUS BERM
- BITUMINOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OHW OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- T TELEPHONE LINE
- G GAS LINE
- W WATER LINE
- STONE WALL
- TREE LINE
- 100'BZ 100-FT BUFFER ZONE
- 100'RA 100-FT RIVER FRONT AREA
- 200'RA 200-FT RIVER FRONT AREA
- LIMIT MEAN ANNUAL HIGH WATER
- LIMIT OF BANK
- VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appvd.

Designed by | Drawn by | Checked by
CAD checked by | Approved by
Scale 1"=40' | Date March 9, 2012

Project Title
Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Issued for
Utility As-Built

Drawing Title
Sewer Asbuilt

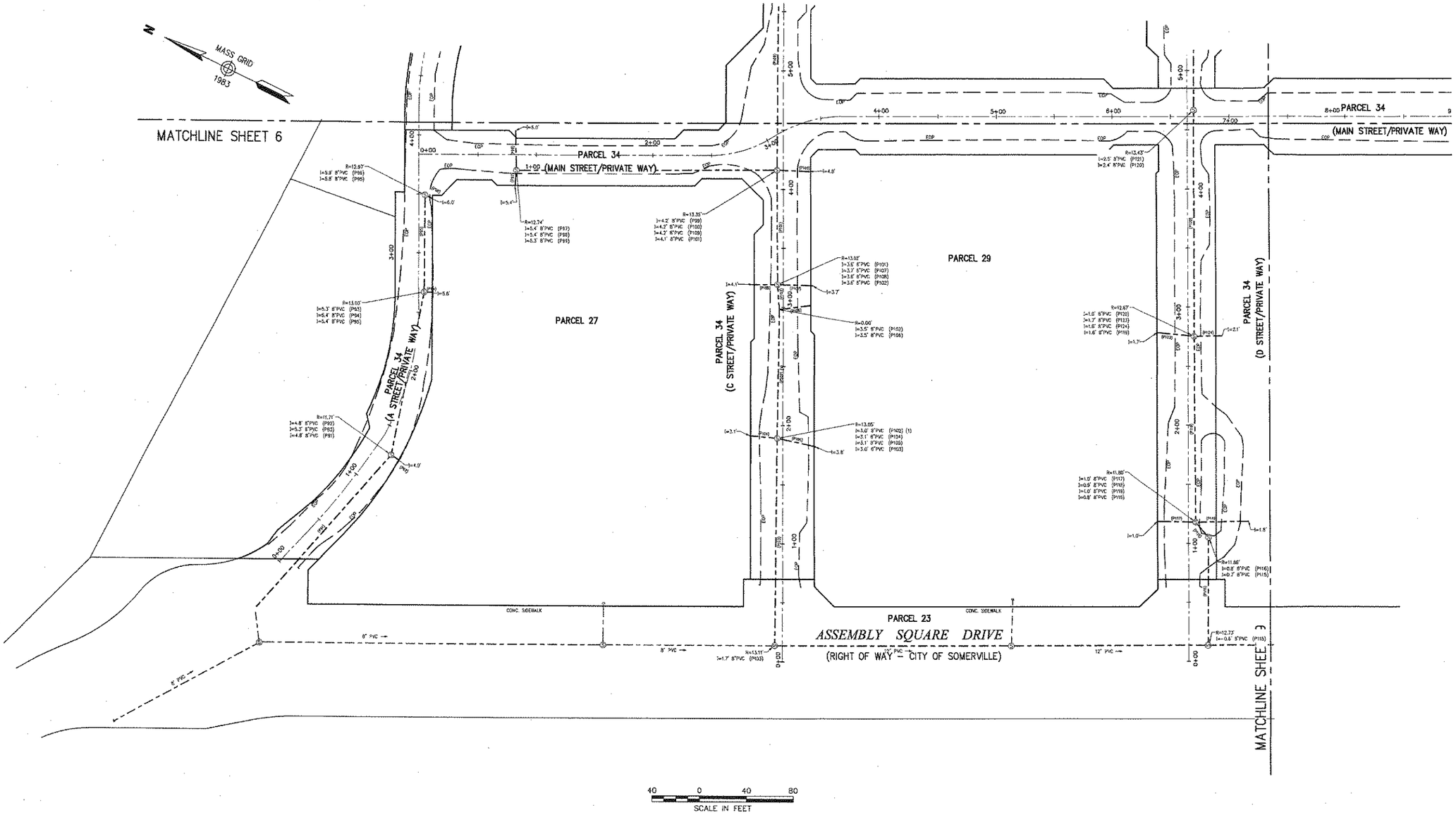
COMMONWEALTH OF MASSACHUSETTS
SELBY E. TURNER III
No. 48250
PROFESSIONAL LAND SURVEYOR

Drawing Number
Sv-7

Sheet 7 of 13

Project Number
11763.00

\\MAWALD\jd\11763.00\cad\cr\planset\11763.00-ASBUILT.dwg



General Notes

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.

VHB

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HH HAND HOLE
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MW MONITORING WELL
- FLOOD LIGHT
- WELL
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- F.F.E.=45.27' FINISHED FLOOR ELEVATION
- EDP EDGE OF PAVEMENT
- CC CONCRETE CURB
- VGC VERTICAL GRANITE CURB
- SGE SLOPED GRANITE EDGE
- BB BITUMINOUS BERM
- BC BITUMENOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OHW OVERHEAD WIRE
- E UNDERGROUND ELECTRIC
- T TELEPHONE LINE
- G GAS LINE
- W WATER LINE
- STONE WALL
- TREE LINE
- 100/B2 100-FT BUFFER ZONE
- 100/RA 100-FT RIVER FRONT AREA
- 200/RA 200-FT RIVER FRONT AREA
- MHW/MLW LIMIT MEAN ANNUAL HIGH WATER
- BF1-100 LIMIT OF BANK
- WT1-100 VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appvd.

Designed by	Drawn by	Checked by
CAD checked by	Approved by	
Scale 1"=40'	Date March 9, 2012	

Project Title

Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Issued for

Utility As-Built

Drawing Title

Sewer Asbuilt

COMMONWEALTH OF MASSACHUSETTS
SELBY L. TURNER III
NO. 48230
PROFESSIONAL LAND SURVEYOR

5/9/2012

Drawing Number

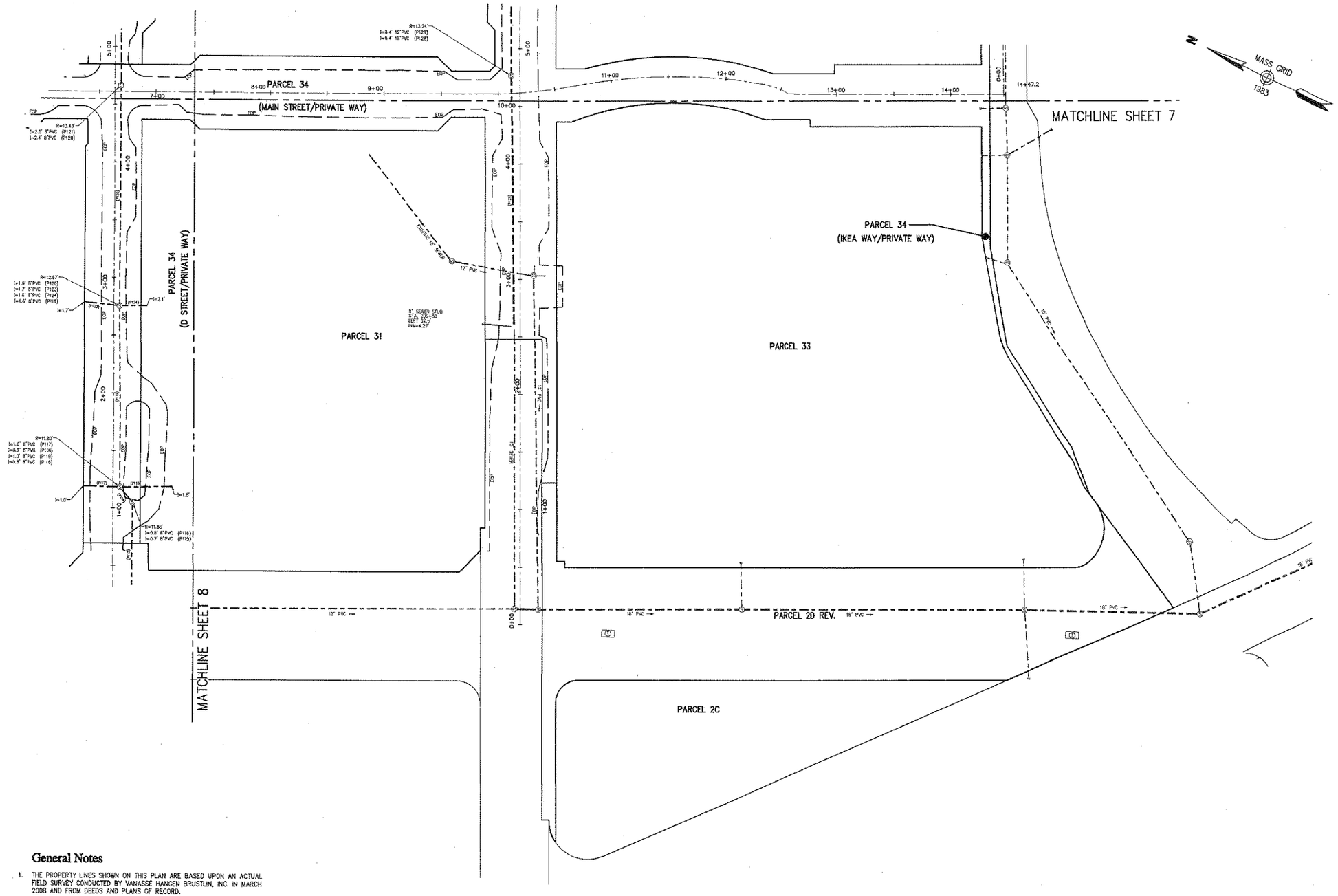
Sv-8

Sheet 8 of 13

Project Number

11763.00

\\MAWALD\id\11763.00\cad\dr\planset\11763.00-ASBUILT.dwg



General Notes

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.

VHB

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HAND HOLE
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- FLOOD LIGHT
- WELL
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- F.F.E.=45.27' FINISHED FLOOR ELEVATION
- EDGE OF PAVEMENT
- CONCRETE CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE EDGE
- BITUMINOUS BERM
- BITUMINOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- TELEPHONE LINE
- GAS LINE
- WATER LINE
- STONE WALL
- TREE LINE
- 100-FT BUFFER ZONE
- 100-FT RIVER FRONT AREA
- 200-FT RIVER FRONT AREA
- LIMIT MEAN ANNUAL HIGH WATER
- LIMIT OF BANK
- VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appvd.

Designed by | Drawn by | Checked by
CAD checked by | Approved by
Scale 1"=40' | Date March 9, 2012

Project Title

Assembly Row
Assembly Square
PUD

Somerville, Massachusetts

Issued for

Utility As-Built

Drawing Title

Sewer Asbuilt

COMMONWEALTH OF MASSACHUSETTS
SELBY L TURNER III
No. 49830
PROFESSIONAL LAND SURVEYOR

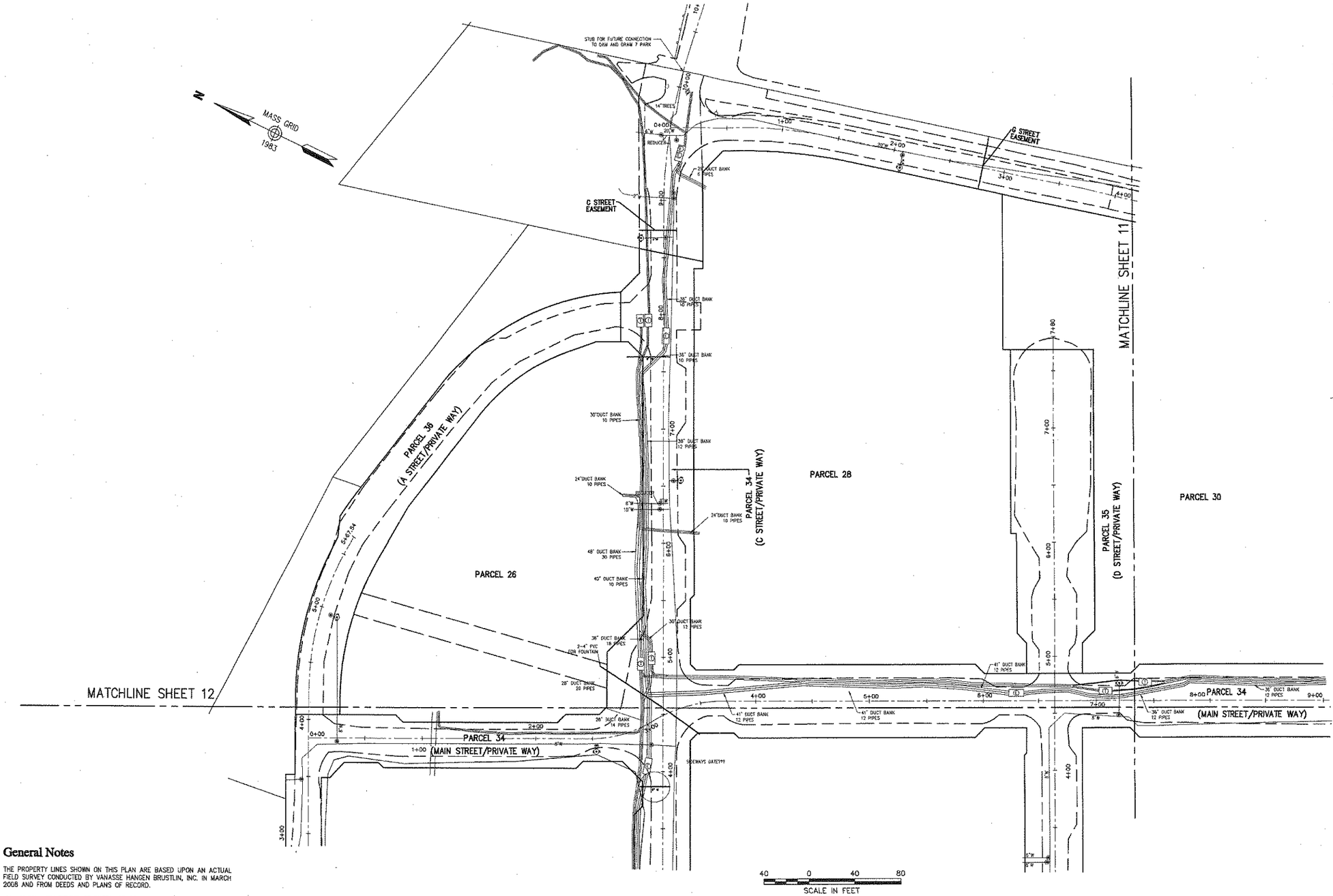
3/9/2012

Drawing Number
Sv-9

Sheet 9 of 13

Project Number
11763.00

\\MAWALD\d\11763.00\cad\sr\planset\11763.00-ASBUILT.dwg



General Notes

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.

VHB

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HAND HOLE
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- FLOOD LIGHT
- WELL
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- F.F.E.=45.27' FINISHED FLOOR ELEVATION
- EOP — EDGE OF PAVEMENT
- CC — CONCRETE CURB
- VGC — VERTICAL GRANITE CURB
- SGE — SLOPED GRANITE EDGE
- BB — BITUMINOUS BERM
- BC — BITUMINOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OHW — OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- T — TELEPHONE LINE
- G — GAS LINE
- W — WATER LINE
- STONE WALL
- TREE LINE
- 100'BZ — 100-FT BUFFER ZONE
- 100'RA — 100-FT RIVER FRONT AREA
- 200'RA — 200-FT RIVER FRONT AREA
- BKF=100' — LIMIT MEAN ANNUAL HIGH WATER
- BB=100' — LIMIT OF BANK
- WF1=100 — VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appvd.

Designed by	Drawn by	Checked by
CAD checked by	Approved by	
Scale 1"=40'	Date March 9, 2012	

Project Title

Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Issued for

Utility As-Built

Drawing Title

Utility Asbuilt

COMMONWEALTH OF MASSACHUSETTS
SELBY L. TURNER III
No. 39291
REGISTERED LAND SURVEYOR

5/7/2012

Drawing Number

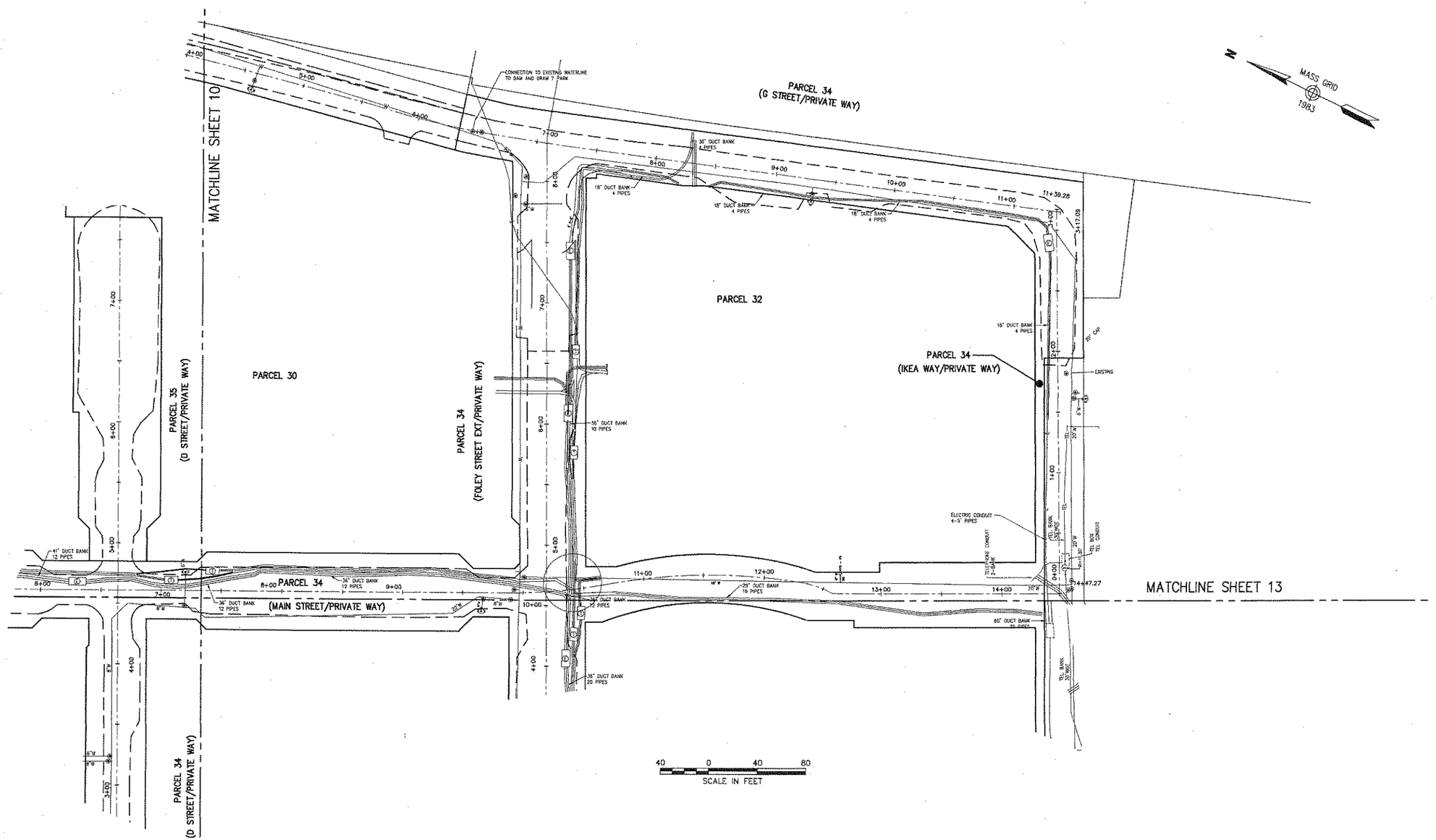
Sv-10

Sheet 10 of 13

Project Number

11763.00

\\MAWALD\jd\11763.00\cad\sr\planset\11763.00-ASBUILT.dwg



General Notes

1. THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN MARCH 2008 AND FROM DEEDS AND PLANS OF RECORD.
2. THE EXISTING CONDITIONS OF WATER, SEWER DRAIN, TELEPHONE AND ELECTRIC DUCT BANKS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN SEPTEMBER THRU DECEMBER OF 2011.
3. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF EXPOSED ANGLE POINTS AND PARTIAL INSTALLMENTS DURING CONSTRUCTION. VHB DID NOT OBSERVE ALL LOCATIONS OF UNDERGROUND LINES OR LINES OF SIGHT DURING INSTALLMENT.
4. HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.

VHB

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471-9151
617 924 1770 • FAX 617 924 2286

Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HAND HOLE
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- FLOOD LIGHT
- WELL
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- F.F.E.=45.27' FINISHED FLOOR ELEVATION
- EDGE OF PAVEMENT
- CONCRETE CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE EDGE
- BITUMINOUS BERM
- BITUMINOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- TELEPHONE LINE
- GAS LINE
- WATER LINE
- STONE WALL
- TREE LINE
- 100-FT BUFFER ZONE
- 100-FT RIVER FRONT AREA
- 200-FT RIVER FRONT AREA
- LIMIT MEAN ANNUAL HIGH WATER
- LIMIT OF BANK
- VEGETATED WETLAND BOUNDARY

No.	Revision	Date	Appvd.

Designed by | Drawn by | Checked by

CAD checked by | Approved by

Scale 1"=40' | Date March 9, 2012

Project Title

Assembly Row
Assembly Square
PUD
Somerville, Massachusetts

Issued for

Utility As-Built

Drawing Title

Utility Asbuilt

COMMONWEALTH OF MASSACHUSETTS
SELBY L. TURNER III
No. 48208
PROFESSIONAL LAND SURVEYOR
7/9/2012

Drawing Number
Sv-11

Sheet 11 of 13

Project Number
11763.00

\\MAWALD\id\11763.00\cad\sr\planset\11763.00-ASBUILT.dwg