

Site Plans

Issued for: **Final Level PUD Approval - Final Submission**

Date Issued: May 20, 2011

Latest Issue: June 15, 2011

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Reference Drawings

Sv-1	Existing Conditions Plan of Land	5/2009
SL-1	Site Lighting Plan	5/20/2011

Bound Separately

Architectural Plans	6/15/2011
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Assembly Square Block 10

Assembly Square Drive
Somerville, Massachusetts



Site Location Map

Property Information

Federal Realty
INVESTMENT TRUST



Owner/Applicant:
FR Assembly Square, LLC
1626 East Jefferson Street
Rockville, MD 20852
(P) 617-684-1500



30 Glenn Street
White Plains, NY 10603
(P) 914-949-10603

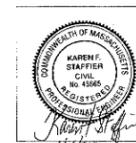
CHANNEL
BUILDING COMPANY

355 Middlesex Avenue
Wilmington, MA 01887-2163
(P) 978-657-7300



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Legend

Legend table with columns: Exist., Prop., Description, and Matchline. Includes symbols for property lines, easements, curbs, fences, and various structures.

Abbreviations

Abbreviations table with columns: General, Description, and Abbreviation. Lists terms like ABANDON, ACCESSIBLE CURB RAMP, ADJUST, etc.

Notes:

- Notes section containing 13 numbered items detailing construction requirements, utility handling, erosion control, and existing conditions information.

Revision table with columns: No., Description, Date, and Initials. Includes entries for design and check dates.

Assembly Square
Block 10
Assembly Square Drive
Somerville, Massachusetts
Final Level
PUD Approval
Final Submission
Not Approved for Construction

Legend and General Notes

Professional seal for Robert Steaffler, Civil Engineer, No. 43568, State of Massachusetts, dated 5/19/2011. Includes sheet number C-1 of 12 and project number 08518.05.

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No.	Revised	Date	Approved

Designed by: [] Drawn by: M/V/C Checked by: L/T/M
CAD checked by: [] Approved by: KFS
Scale: 1"=100' Date: May 26, 2011
Project Title:

**Assembly Square
Block 10**

Assembly Square Drive
Somerville, Massachusetts

Drawn for:
Final Level
PUD Approval
Final Submission
Not Approved for Construction

**Neighborhood
Context Map 2**



Sheet Number
C-3
Sheet 3 of 12
Project Number
08518.05
0851805_NCM.DWG

Parking Summary Chart

Description	Size		Office Required	Retail Required	Restaurant Required	Residential Required	Hotel Required	Cinema Required	IKEA		Mall	
	Required	Provided							Required	Provided	Required	Provided
STANDARD SPACES	9' x 18'	9' x 18'	1,722	324	230	2,058	96	80	332	1,264	1,038	1,100
STANDARD ACCESSIBLE SPACES*	13' x 18'	14' x 18'	23	6	5	35	3	2	7	20	17	17
VAN ACCESSIBLE SPACES*	18' x 18'	17' x 18'	9	2	2	7	1	1	3	4	6	6
TOTAL SPACES			1,750	332	237	2,100	100	83	340	1,287	1,059	1,123
LOADING BAYS**	12'x30'x14'	12'x30'x14'	12	9	5	-	1	1	9	9	9	15

Mixed Use Area Loading Requirements:

OFFICE:	0 - 10,000 SF	(0)	= 12
	10,001 - 100,000 SF	(1)	
	EACH ADDL. 150,000 SF	(1)	
RETAIL:	0 - 5,000 SF	(1)	= 9
	5,001 - 20,000 SF	(2)	
	20,001 - 35,000 SF	(3)	
	35,001 - 50,000 SF	(4)	
	EACH ADDL. 50,000 SF	(1)	
RESTAURANT:	0 - 4,000 SF	(1)	= 5
	4,001 - 6,000 SF	(2)	
	6,001 - 10,000 SF	(3)	
	10,001 - 40,000 SF	(4)	
	EACH ADDL. 40,000 SF	(1)	
HOTEL:	AS NEEDED	(0)	= 1
CINEMA:	AS NEEDED	(0)	= 1
TOTAL LOADING REQUIRED =			28
TOTAL LOADING PROVIDED =			28

IKEA Loading Requirements:

RETAIL:	0 - 5,000 SF	(0)	= 9
	5,001 - 20,000 SF	(1)	
	20,001 - 35,000 SF	(2)	
	35,001 - 50,000 SF	(3)	
	EACH ADDL. 50,000 SF	(1)	
TOTAL LOADING REQUIRED =			9
TOTAL LOADING PROVIDED =			9

Mixed Use Area Parking Requirements:

OFFICE	1,750,000 SF x 1 SPACE / 1,000 SF = 1,750
RETAIL	331,392 SF x 1 SPACE / 1,000 SF = 332
RESTAURANT	118,258 SF x 1 SPACE / 500 SF = 237
CINEMA	62,350 SF x 1 SPACE / 1,000 SF = 63
RESIDENTIAL	2,100 UNITS x 1 SPACE / UNIT = 2,100
HOTEL	200 GUEST ROOMS x 0.5 SPACES/GUEST ROOM = 100
TOTAL PARKING REQUIRED =	4,582
TOTAL PARKING PROVIDED =	7,658

Mixed Use Area Parking Requirements - Assumptions:

- 1 PARKING SPACE PER DWELLING UNIT (DU)
- 1 PARKING SPACE PER 1000 SF OF CINEMA GSF
- 1 PARKING SPACE PER 1000 SF OF OFFICE GSF
- 1 PARKING SPACE PER 1000 SF OF RETAIL GSF
- 1 PARKING SPACE PER 500 SF OF RESTAURANT GSF
- 1 PARKING SPACE PER 5 HOTEL ROOMS (200 ROOMS)
- RESTAURANT SF BASED ON 25% OF TOTAL RETAIL SF
- TOTAL PARKING PROVIDED = 7,658
- (INCLUDES 190 ON-STREET PARKING SPACES)

*RETAIL AREA MAY BE RE-ALLOCATED TO OFFICE OR RESIDENTIAL USES AT ANY TIME, SO LONG AS ALSO PERMITTED BY NEW OR MODIFIED APPLICABLE ENTITLEMENTS. NO OTHER USE MAY BE CONVERTED.

RESIDENTIAL AREA MAY BE RE-ALLOCATED TO OFFICE USE AT ANY TIME, SO LONG AS ALSO PERMITTED BY NEW OR MODIFIED APPLICABLE ENTITLEMENTS, AND

UP TO 400,000 SQUARE FEET OF THE NON-RESIDENTIAL USES (E.G. OFFICE, RETAIL, AND HOSPITALITY) MAY BE RE-ALLOCATED TO RESIDENTIAL USE, BUT NO SOONER THAN 10 YEARS FROM THE DATE THE PUD PLAN IS APPROVED, SO LONG AS PERMITTED BY NEW OR MODIFIED APPLICABLE ENTITLEMENTS.

IKEA Parking Requirements:

RETAIL	340,000 SF x 1 SPACE / 1000 SF = 340
TOTAL PARKING REQUIRED =	340
TOTAL PARKING PROVIDED =	1,287

Mall Parking Requirements:

RETAIL (ZONING)	328,806 SF x 1 SPACE / 1000 SF = 329
BLOCK 10 (MAX. ZONING)	4,500 SF x 1 SPACE / 500 SF = 9
RETAIL (LEASE)	328,806 SF x 3.22 SPACE / 1000 SF = 1,059
MAXIMUM PARKING REQUIRED (ZONING/LEASE) =	1,068
TOTAL PARKING PROVIDED =	1,123

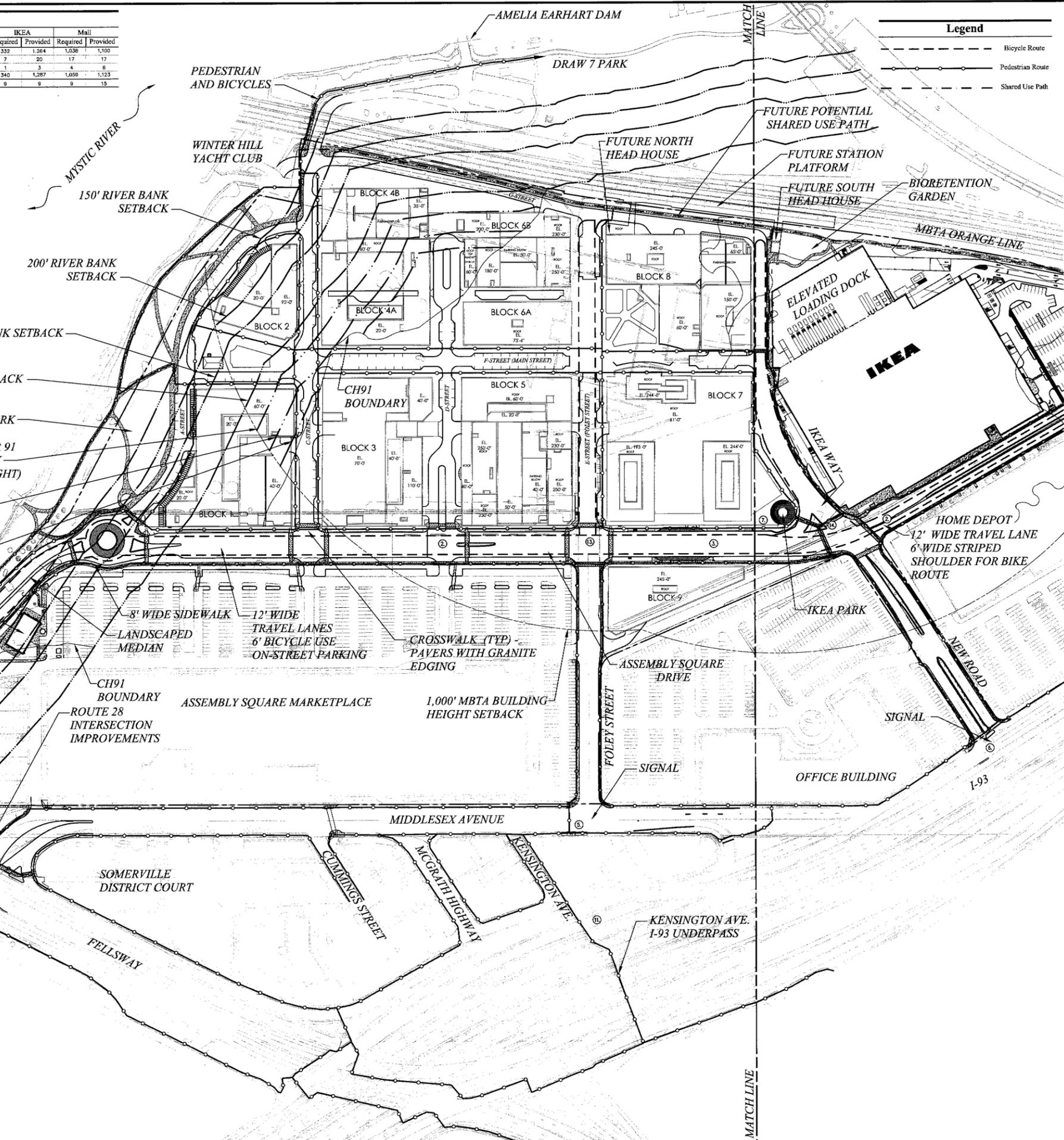
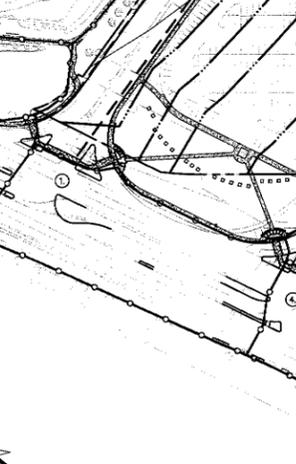
Zoning Summary Chart

Zoning District(s): Assembly Square Mixed-Use District (ASMD)
 Overlay District(s): Planned Unit Development Overlay District A (PUD-A), Waterfront Overlay District

Zoning Regulation Requirements	Required	Provided
MIN. LOT AREA	20,000 SF	58.2± AC
FRONT YARD SETBACK	NO MINIMUM	0 FT
SIDE YARD SETBACK	NO MINIMUM	0 FT
REAR YARD SETBACK	NO MINIMUM	0 FT
MAX. FLOOR AREA RATIO	10.0	2.1
MAX. BUILDING HEIGHT	< 150' OF MYSTIC RIVER BANK	NONE
	BETWEEN 150' AND 250'	70 FT*
	BETWEEN 250' AND 350'	90 FT*
WITHIN 1,000' OF MBTA ENTRANCE	250 FT	250 FT
ALL OTHER LOCATIONS	125 FT	80 FT
TOTAL OPEN SPACE	25%	23.1%
USEABLE OPEN SPACE	12.5%	18.0%

* BLOCK 2 HEIGHT ALLOWED UP TO 90 FT (P982008-56/707-2010)

* BLOCK 2 HEIGHT ALLOWED UP TO 90 FT (P982008-56/707-2010)



Legend

- Bicycle Route
- Pedestrian Route
- Shared Use Path

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NO.	DESC	COMMENTS	REVISOR	DATE	BY
1	DISC	COMMENTS		6/15/2011	KFS

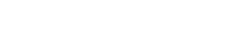
Designed by: [] Drawn by: **MVG** Checked by: **LTM**
 CAD checked by: [] Approved by: **KFS**
 Scale: 1"=100' Date: May 20, 2011
 Project Title: Assembly Square Block 10

Assembly Square Block 10
 Assembly Square Drive
 Somerville, Massachusetts
 Final Level
 PUD Approval
 Final Submission
 Not Approved for Construction
 Drawing Title
 Overall Site Plan 1

Drawing Number: **C-4**
 Sheet 4 of 12
 Project Number: 08518.05
 6/15/2011

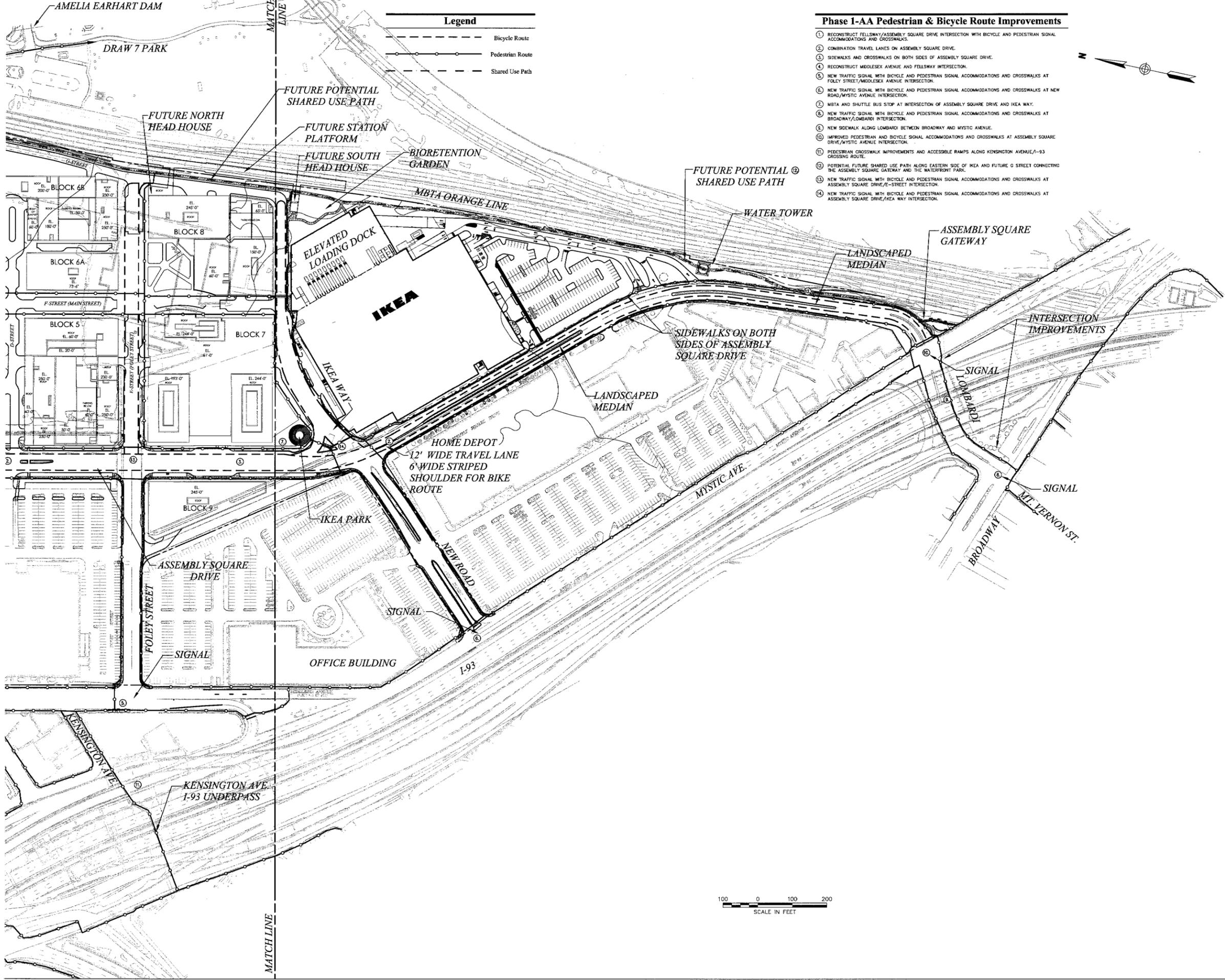


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Legend

- Bicycle Route
- Pedestrian Route
- Shared Use Path

Phase I-AA Pedestrian & Bicycle Route Improvements

- 1 RECONSTRUCT FELLOWSY/ASSEMBLY SQUARE DRIVE INTERSECTION WITH BICYCLE AND PEDESTRIAN SIGNAL ACCOMMODATIONS AND CROSSWALKS.
- 2 COMBINATION TRAVEL LANES ON ASSEMBLY SQUARE DRIVE.
- 3 SIDEWALKS AND CROSSWALKS ON BOTH SIDES OF ASSEMBLY SQUARE DRIVE.
- 4 RECONSTRUCT MIDDLESEX AVENUE AND FELLOWSY INTERSECTION.
- 5 NEW TRAFFIC SIGNAL WITH BICYCLE AND PEDESTRIAN SIGNAL ACCOMMODATIONS AND CROSSWALKS AT FOLEY STREET/MIDDLESEX AVENUE INTERSECTION.
- 6 NEW TRAFFIC SIGNAL WITH BICYCLE AND PEDESTRIAN SIGNAL ACCOMMODATIONS AND CROSSWALKS AT NEW ROAD/MYSTIC AVENUE INTERSECTION.
- 7 MBTA AND SHUTTLE BUS STOP AT INTERSECTION OF ASSEMBLY SQUARE DRIVE AND IKEA WAY.
- 8 NEW TRAFFIC SIGNAL WITH BICYCLE AND PEDESTRIAN SIGNAL ACCOMMODATIONS AND CROSSWALKS AT BROADWAY/LOMBARDI INTERSECTION.
- 9 NEW SIDEWALK ALONG LOMBARDI BETWEEN BROADWAY AND MYSTIC AVENUE.
- 10 IMPROVED PEDESTRIAN AND BICYCLE SIGNAL ACCOMMODATIONS AND CROSSWALKS AT ASSEMBLY SQUARE DRIVE/MYSTIC AVENUE INTERSECTION.
- 11 PEDESTRIAN CROSSWALK IMPROVEMENTS AND ACCESSIBLE RAMPS ALONG KENSINGTON AVENUE/I-93 CROSSING ROUTE.
- 12 POTENTIAL FUTURE SHARED USE PATH ALONG EASTERN SIDE OF IKEA AND FUTURE G STREET CONNECTING THE ASSEMBLY SQUARE GATEWAY AND THE WATERFRONT PARK.
- 13 NEW TRAFFIC SIGNAL WITH BICYCLE AND PEDESTRIAN SIGNAL ACCOMMODATIONS AND CROSSWALKS AT ASSEMBLY SQUARE DRIVE/E-STREET INTERSECTION.
- 14 NEW TRAFFIC SIGNAL WITH BICYCLE AND PEDESTRIAN SIGNAL ACCOMMODATIONS AND CROSSWALKS AT ASSEMBLY SQUARE DRIVE/KEA WAY INTERSECTION.

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No.	Revised	Date	By

Assembly Square Block 10
 Assembly Square Drive
 Somerville, Massachusetts
 Final Level
 PUD Approval
 Final Submission
 Not Approved for Construction
 Drawing Title

Overall Site Plan 2

Drawing Number

C-5

Sheet 5 of 12

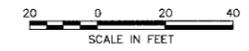
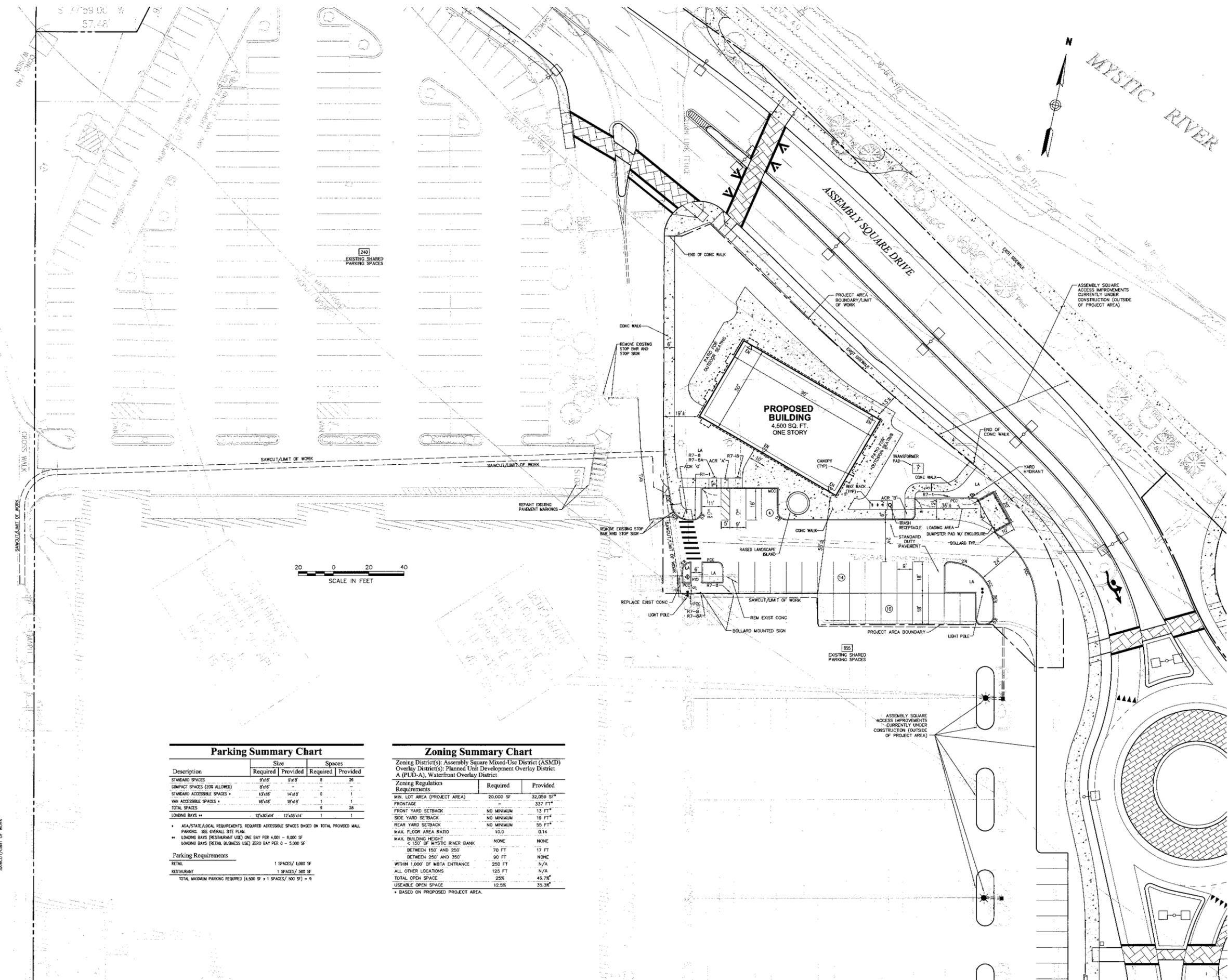
Project Number 08518.05

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Sign Summary			
M.U.T.C. D. Number	Specification Width	Height	Desc.
R1-1	30"	30"	STOP
R7-8	12"	18"	NO PARKING ANY TIME
R7-8A	12"	6"	NO PARKING ANY TIME
R7-1	12"	18"	NO PARKING ANY TIME



Description	Size		Spaces	
	Required	Provided	Required	Provided
STANDARD SPACES	8'x16'	8'x16'	8	26
COMPACT SPACES (SIDE ALLOWED)	8'x16'	-	-	-
STANDARD ACCESSIBLE SPACES *	13'x18'	14'x18'	0	1
VAN ACCESSIBLE SPACES *	16'x18'	18'x18'	1	1
TOTAL SPACES			9	28
LOADING BAYS **	12'x30'x14'	12'x35'x14'	1	1

* ADA/STATE/LOCAL REQUIREMENTS. REQUIRED ACCESSIBLE SPACES BASED ON TOTAL PROVIDED MAJOR PARKING. SEE OVERALL SITE PLAN.
 ** LOADING BAYS (RESTAURANT USE) ONE BAY PER 4,000 - 6,000 SF
 LOADING BAYS (RETAIL BUSINESS USE) ZERO BAY PER 0 - 5,000 SF

Parking Requirements

RETAIL	1 SPACES/1,000 SF
RESTAURANT	1 SPACES/500 SF

TOTAL MAJOR PARKING REQUIRED (4,500 SF x 1 SPACES/500 SF) = 9

Zoning Regulation Requirements	Required	Provided
MIN. LOT AREA (PROJECT AREA)	20,000 SF	32,059 SF*
FRONTAGE	-	337 FT*
FRONT YARD SETBACK	NO MINIMUM	13 FT*
SIDE YARD SETBACK	NO MINIMUM	19 FT*
REAR YARD SETBACK	NO MINIMUM	55 FT*
MAX. FLOOR AREA RATIO	10.0	0.14
MAX. BUILDING HEIGHT < 150' OF MYSTIC RIVER BANK	NONE	NONE
BETWEEN 150' AND 250'	70 FT	17 FT
BETWEEN 250' AND 350'	90 FT	NONE
WITHIN 1,000' OF METRA ENTRANCE	250 FT	N/A
ALL OTHER LOCATIONS	125 FT	N/A
TOTAL OPEN SPACE	25%	46.7%
USEABLE OPEN SPACE	12.5%	39.3%

* BASED ON PROPOSED PROJECT AREA.

NO.	DESC	DATE	BY
1	DRG COMMENTS & STRIPING UPDATES	6/15/2011	KFS

Designed by *RPM* Drawn by *MVG* Checked by *LTM*
 CAD checked by *KFS*
 Scale 1"=20'
 Date May 20, 2011

Assembly Square Block 10
 Assembly Square Drive
 Somerville, Massachusetts
 Final Level
 PUD Approval
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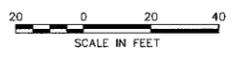
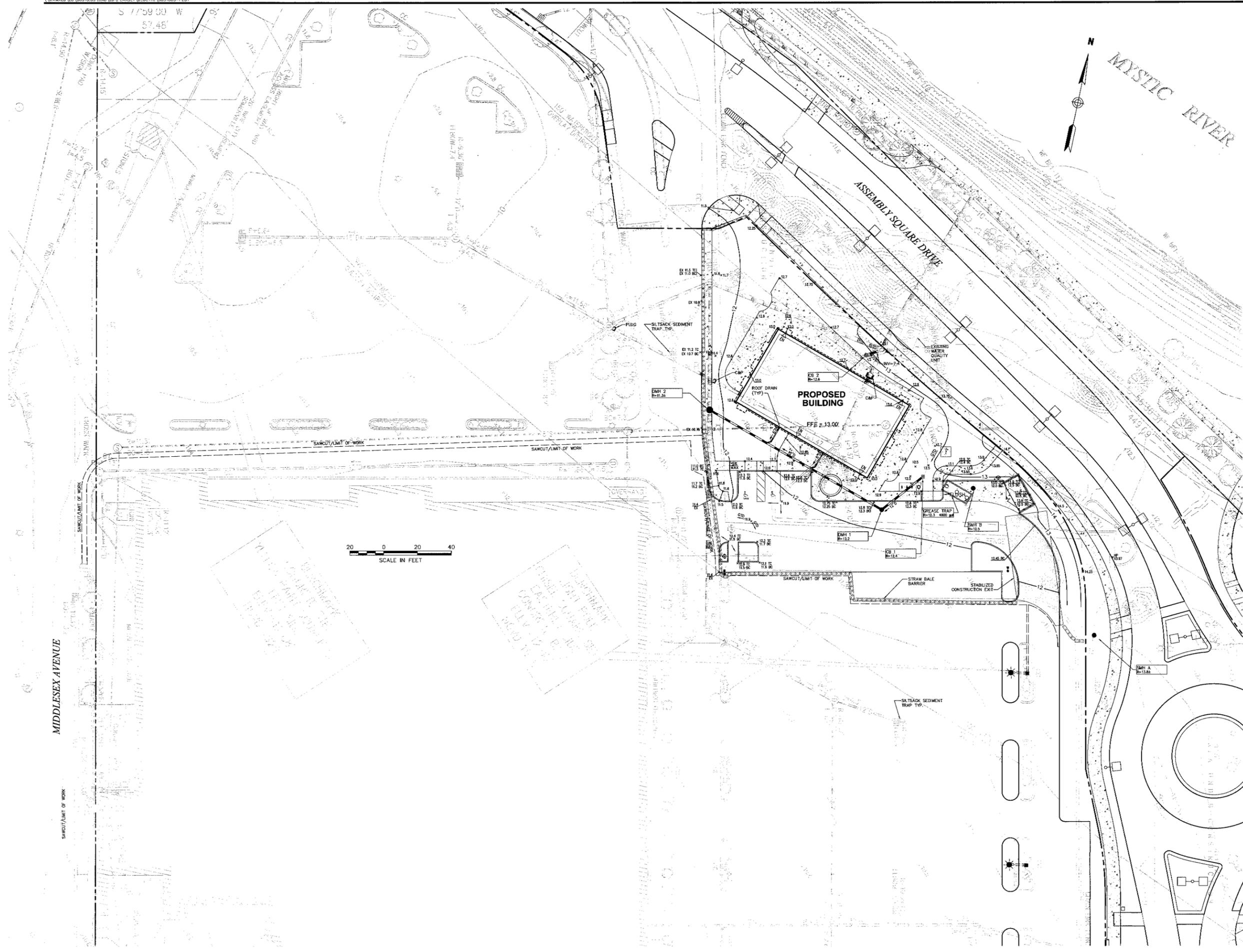
Layout and Materials Plan

Drawing No. **C-6**
 Sheet 6 of 12
 Project Number 0818.05

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No.	1	ORC COMMENTS & GD UPDATES	6/15/2011	MS
Revised by	RPM	Drawn by	MVG	Checked by
Checked by	KFS	Approved by		
Date	May 20, 2011			

Project Title
Assembly Square Block 10

Assembly Square Drive
Somerville, Massachusetts

Used for
Final Level
PUD Approval
Final Submission
Not Approved for Construction

Grading, Drainage and
Erosion Control
Plan



Drawing Number
C-7

Sheet of 7 12

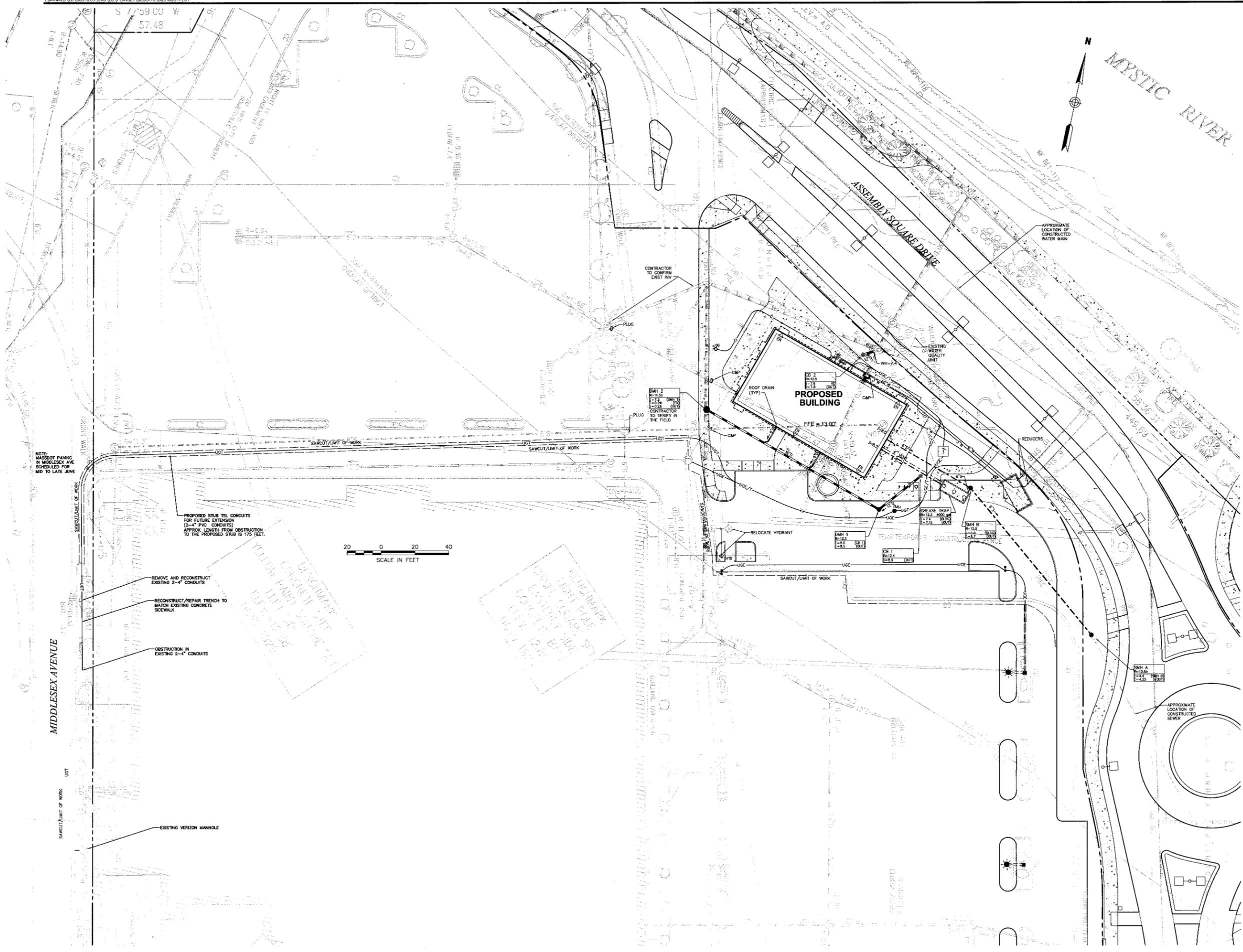
Project No. 0851805

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NOTE: MASSDOT PAVING IN MIDDLESEX AVE SCHEDULED FOR MID TO LATE JUNE

PROPOSED STUB TEL CONDUITS FOR FUTURE EXTENSION (2-4" PVC CONDUITS) APPROX. LENGTH FROM OBSTRUCTION TO THE PROPOSED STUB IS 175 FEET.

REMOVE AND RECONSTRUCT EXISTING 2-4" CONDUITS

RECONSTRUCT/REPAIR TRENCH TO MATCH EXISTING CONCRETE SIDEWALK

OBSTRUCTION IN EXISTING 2-4" CONDUITS

EXISTING VERIZON MANHOLE

1	DOR COMMENTS & UT UPDATES	6/15/2011	KFS
No.	Revision	Date	Appr'd.
Designed by	RPM	Drawn by	MVG
Checked by	LTM	Approved by	KFS
Scale	1"=20'	Date	May 20, 2011
Project Title			

Assembly Square Block 10
Assembly Square Drive
Somerville, Massachusetts

Issued for
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Utility Plan



Drawing Number
C-8
Sheet
8 of 12
Project Number
08518.05
6/15/2011

Landscape Notes

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNERS REPRESENTATIVE OF ANY CONFLICT.
- A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNERS REPRESENTATIVE.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNERS REPRESENTATIVE.
- FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNERS REPRESENTATIVE.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- AREAS DESIGNATED 'LOAM 4 SEED' SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEED OR MULCHED AS DIRECTED BY OWNERS REPRESENTATIVE.
- THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

Plant Maintenance Notes

- CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.

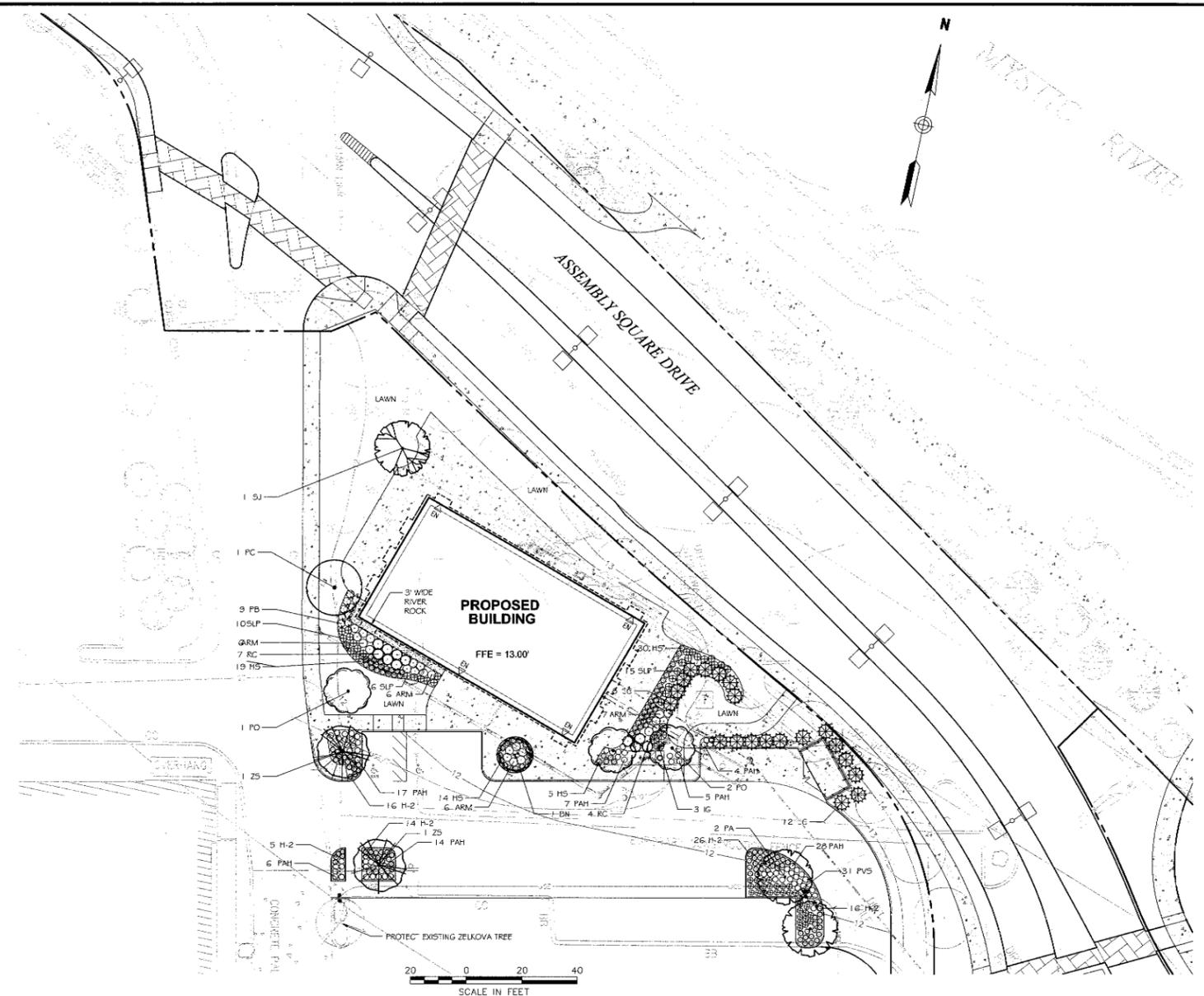
PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
BN	1	Betula nigra 'Heritage'	Heritage River Birch	12' - 14' HT.
PA	2	Prunus x acerifolia	London Plane Tree	3 - 3 1/2' CAL.
FO	3	Prunus incisa 'Olivia'	Olivia Cherry	3 - 3 1/2' CAL.
PC	1	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	3 - 3 1/2' CAL.
SL	1	Spiraea japonica 'Kagero'	Japanese Pagoda Tree	4 - 4 1/2' CAL.
ZS	2	Zelkova serrata 'Green Vase'	Green Vase Zelkova	3 - 3 1/2' CAL.

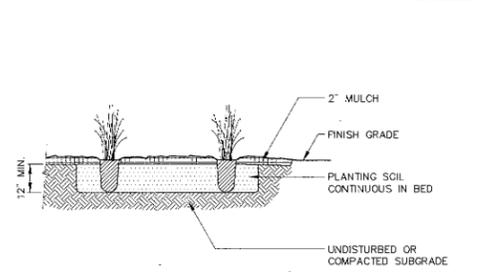
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
ARM	25	Azalea hybrid 'Kensee Michele'	Renée Michele Azalea	18" - 24" HT.
IG	3	Ilex glabra	Irish Yew Holly	2' - 2 1/2' HT.
JC	20	Juniperus chinensis 'Hetzl Columns'	Hetzl Column Juniper	5' - 6' HT.
PB	9	Panicle hybrid 'Browns Beauty'	Browns Beauty Anemomeda	18" - 24" HT.
RC	11	Rhododendron azalea 'Cunningham's Bush'	Cunningham's Bush Rhododendron	2' - 2 1/2' HT.
SUP	31	Spiraea x bumalda 'Little Princess'	Little Princess Spiraea	18" - 24" SPD.

ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
H-2	77	Hemerocallis hybrid 'Rosy Returns'	Rosy Returns Daylily	42" PO"
HS	60	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	18" - 24" SPD.

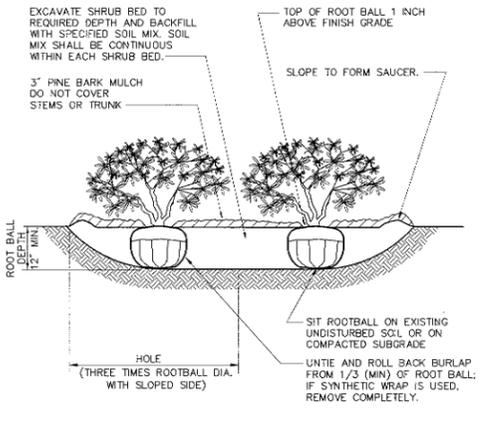
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
PVS	31	Panicum virgatum 'Shenandoah'	Burgundy/Red Switch Grass	1 gal @ 2" oc.
PAH	81	Pennisetum alopecuroides 'Yameth'	Yameth Grass	2 gal



PLANT SPACING ('A')	ROW SPACING ('B')
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8-1/2 IN. O.C.
12 IN. O.C.	10-1/2 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.

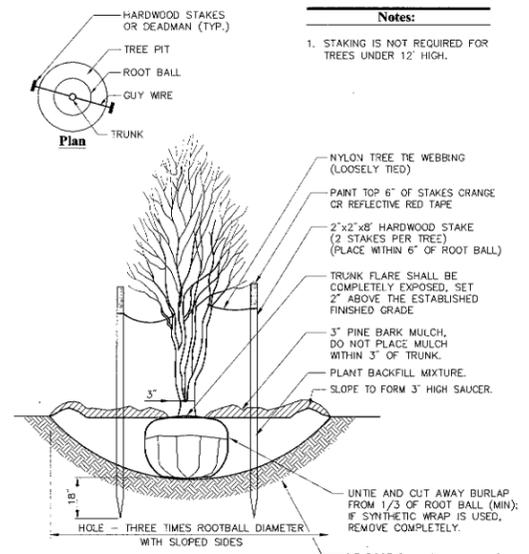


Perennial Plug Planting
 N.T.S. Source: VHB 1/09 LD_618

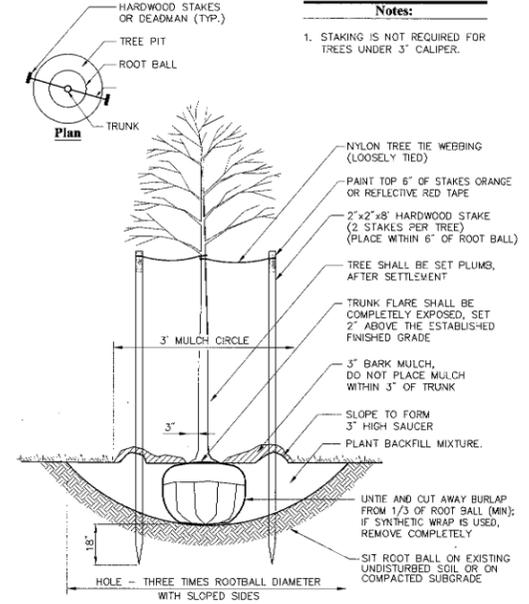


Notes:
 1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

Shrub Bed Planting
 N.T.S. Source: VHB 5/08 LD_607



Multistem Tree Planting
 N.T.S. Source: VHB 6/28 LD_606

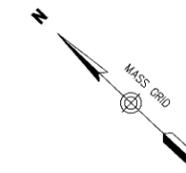


Tree Planting (For Trees Under 4" Caliper)
 N.T.S. Source: VHB 1/70 LD_602

NO.	DESCR.	DATE	BY	CHKD.
1	DRG COMMENTS	6/19/2011	SFD	

Assembly Square Block 10
 Assembly Square Drive
 Somerville, Massachusetts
Final Level PUD Approval Final Submission
 Not Approved for Construction

Planting Plan
 Drawing Number: L-1
 Scale: 1/2" = 1'-0"
 Date: 05/18/09
 Project Number: 0518.05
 Drawing Author: [Signature]



Legend

- DRAIN MANHOLE
- ⊠ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ MANHOLE
- ⊙ WATER GATE
- ⊙ FIRE HYDRANT
- ⊙ GAS GATE
- ⊙ STREET SIGN
- ⊙ LIGHT POLE
- ⊙ UTILITY POLE
- ⊙ GUY WIRE
- ⊙ GUY POLE
- ⊙ FIRST FLOOR ELEVATION
- ⊙ MONITORING WELL
- EDGE OF PAVEMENT
- CONCRETE CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE EDGE
- BITUMINOUS BERM
- GUARD RAIL
- CHAIN LINK FENCE
- GRANITE LINE
- SEWER LINE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- TELEPHONE LINE
- GAS LINE
- WATER LINE
- STONEWALL
- TREE LINE
- 100-FT BUFFER ZONE
- 100-FT RIVERFRONT AREA
- 200-FT RIVERFRONT AREA
- LIMIT MEAN ANNUAL HIGH WATER
- LIMIT OF BANK
- VEGETATED WETLAND BOUNDARY

No.	Revision	Date	By
1	ISSUED FOR PERMITS	MAY 2008	
2	REVISED TO REFLECT PERMITS	JULY 2007	
3	REVISED TO REFLECT PERMITS	OCT 2006	
4	ISSUED FOR PERMITS	MAY 2008	

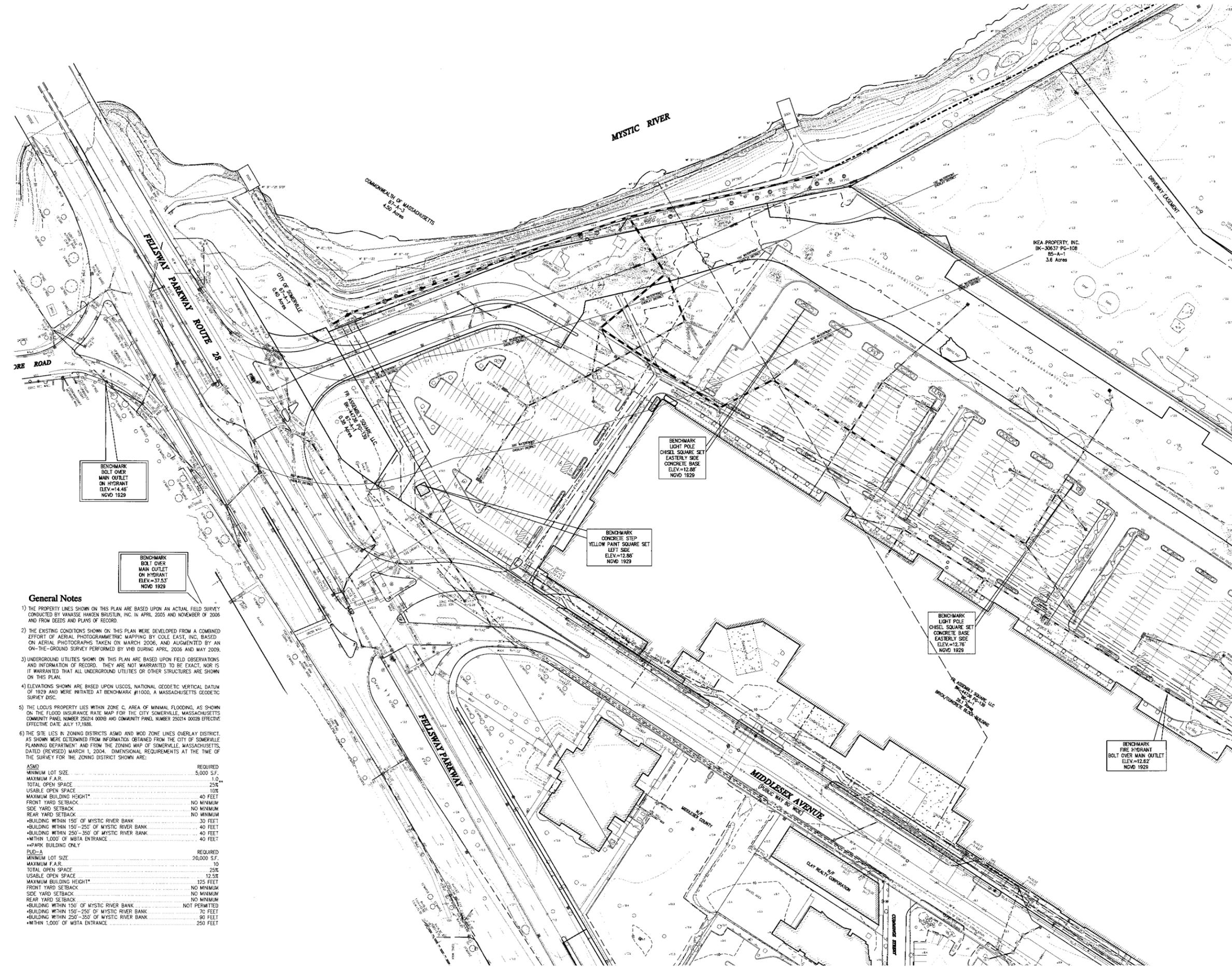
Assembly Square

Somerville, Massachusetts

Existing Conditions Plan of Land

08518

Sv-1



BENCHMARK
BOLT OVER
MAIN OUTLET
ON HYDRANT
ELEV=14.46
NOVD 1929

BENCHMARK
BOLT OVER
MAIN OUTLET
ON HYDRANT
ELEV=37.53
NOVD 1929

BENCHMARK
CONCRETE STEP
YELLOW PAINT SQUARE SET
LEFT SIDE
ELEV=12.96
NOVD 1929

BENCHMARK
LIGHT POLE
CHISEL SQUARE SET
EASTERLY SIDE
CONCRETE BASE
ELEV=12.88
NOVD 1929

BENCHMARK
LIGHT POLE
CHISEL SQUARE SET
CONCRETE BASE
EASTERLY SIDE
ELEV=12.78
NOVD 1929

BENCHMARK
FIRE HYDRANT
BOLT OVER MAIN OUTLET
ELEV=12.82
NOVD 1929

General Notes

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN APRIL 2005 AND NOVEMBER OF 2006 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN WERE DEVELOPED FROM A COMBINED EFFORT OF AERIAL PHOTOGRAMMETRIC MAPPING BY COLE EAST, INC. BASED ON AERIAL PHOTOGRAPHS TAKEN ON MARCH 2006, AND ARGUMENTED BY AN ON-THE-GROUND SURVEY PERFORMED BY VHB DURING APRIL 2006 AND MAY 2009.
- 3) UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) ELEVATIONS SHOWN ARE BASED UPON USCS, NATIONAL GEODETIC VERTICAL DATUM OF 1929 AND WERE INITIATED AT BENCHMARK #11000, A MASSACHUSETTS GEODETIC SURVEY DISC.
- 5) THE LOTUS PROPERTY LIES WITHIN ZONE C, AREA OF MINIMAL FLOODING, AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF SOMERVILLE, MASSACHUSETTS COMMUNITY PANEL NUMBER 250214 0009 AND COMMUNITY PANEL NUMBER 250214 0009B EFFECTIVE DATE JULY 17, 1988.
- 6) THE SITE LIES IN ZONING DISTRICTS ASMD AND WOD ZONE LINES OVERLAY DISTRICT, AS SHOWN WERE DETERMINED FROM INFORMATION OBTAINED FROM THE CITY OF SOMERVILLE PLANNING DEPARTMENT AND FROM THE ZONING MAP OF SOMERVILLE, MASSACHUSETTS, DATED (REVISED) MARCH 1, 2004. DIMENSIONAL REQUIREMENTS AT THE TIME OF THE SURVEY FOR THE ZONING DISTRICT SHOWN ARE:

	REQUIRED
ASMD	
MINIMUM LOT SIZE	5,000 S.F.
MAXIMUM F.A.R.	1.0
TOTAL OPEN SPACE	25%
USABLE OPEN SPACE	10%
MAXIMUM BUILDING HEIGHT*	40 FEET
FRONT YARD SETBACK	NO MINIMUM
SIDE YARD SETBACK	NO MINIMUM
REAR YARD SETBACK	NO MINIMUM
*BUILDING WITHIN 150' OF MYSTIC RIVER BANK	35 FEET
*BUILDING WITHIN 150'-250' OF MYSTIC RIVER BANK	40 FEET
*BUILDING WITHIN 250'-350' OF MYSTIC RIVER BANK	40 FEET
*WITHIN 1,000' OF MBTA ENTRANCE	40 FEET
**PARK BUILDING ONLY	
WOD	
MINIMUM LOT SIZE	20,000 S.F.
MAXIMUM F.A.R.	10
TOTAL OPEN SPACE	25%
USABLE OPEN SPACE	12.5%
MAXIMUM BUILDING HEIGHT*	125 FEET
FRONT YARD SETBACK	NO MINIMUM
SIDE YARD SETBACK	NO MINIMUM
REAR YARD SETBACK	NO MINIMUM
*BUILDING WITHIN 150' OF MYSTIC RIVER BANK	NOT PERMITTED
*BUILDING WITHIN 150'-250' OF MYSTIC RIVER BANK	70 FEET
*BUILDING WITHIN 250'-350' OF MYSTIC RIVER BANK	90 FEET
*WITHIN 1,000' OF MBTA ENTRANCE	250 FEET





Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
617.924.1770 • FAX 617.924.2286



ENGINEERING ADVANTAGE, INC.
2 PARK STREET
BOSTON, MASSACHUSETTS 02122
PHONE: (617) 288-3969
FAX: (617) 523-8922

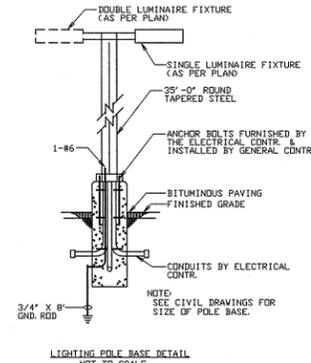
WIRE FILL LEGEND

- ① 2WG & 18GG - 1" PVC
- ② 3WG & 18GG - 1" PVC
- ③ 4WG & 18GG - 1" PVC
- ④ 5WG & 18GG - 1 1/4" PVC
- ⑤ 6WG & 18GG - 1 1/4" PVC

SITE LIGHTING FIXTURE SCHEDULE:

ALL EQUIPMENT IS L.S.I.

- TYPE 'A'
POLE: RTP90-S11G-35-D880-BLK
FIXTURES: 2H HFL-S-1000HR-F-480-BLK
E-1000 WATT METAL HALIDE -
TYPE S DISTRIBUTION
- TYPE 'C'
POLE: RTP90-S11G-35-S-BLK
FIXTURES: 1H HFL-S-1000PSHR-F-480-BLK
E-1000 WATT METAL HALIDE -
TYPE S DISTRIBUTION



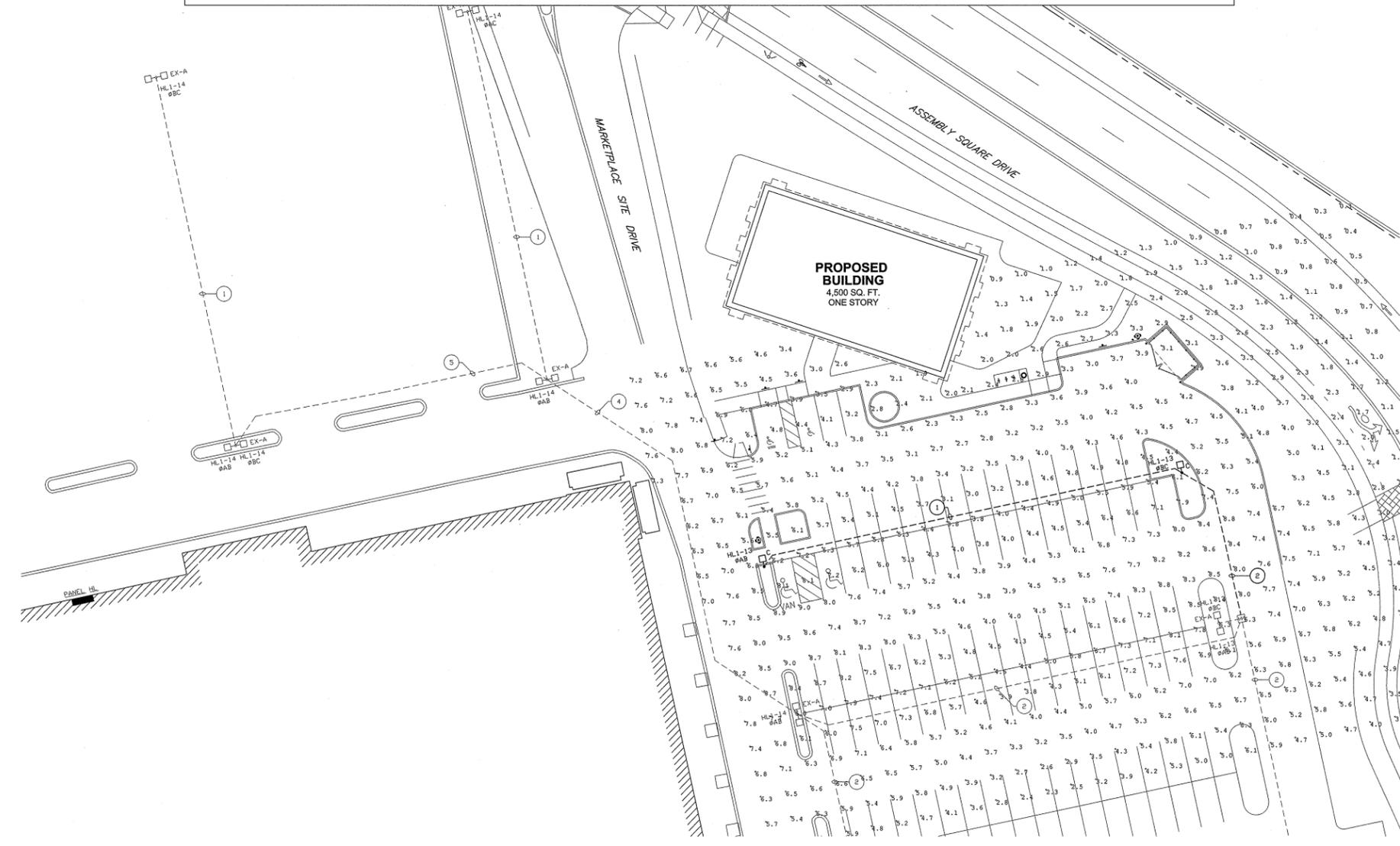
INDUSTRIES*
LIGHTING PROPOSAL FOR
ASSEMBLY SQUARE
SOMERVILLE, MA.

SCALE: LO-63285-4
DATE:
BY: S.M.W SHEET 1 OF 1

HILTON
FLAT LENS
IESNA FULL CUTOFF

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SUMMARY	Illuminance	Fc	5.01	8.5	1.9	2.64	4.47
SUMMARY1	Illuminance	Fc	4.70	9.5	0.3	15.67	31.67

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
⊙	3	A	D180	EXISTING	0.800	110000	148812	2140
⊙	2	C	SINGLE	HFL-S-1000-PSMV-F 35' POLE	0.800	120000	81170	1070



No.	Revision	Date	Appr.

Designed by LAF Drawn by CJC Checked by LAF
 CAD checked by LAF Approved by LAF
 Scale 1"=20' Date May 20, 2011

Project Title
**Assembly Square
 Block 10**

Assembly Square Drive
 Somerville, Massachusetts

Issue for
**Final Level
 PUD Approval
 Final Submission**
 Not Approved for Construction

Site Lighting Plan

Drawing Number
SL-1

Sheet 1 of 1
 Project Number
 08218.05

