



# PROJECT: THE ONYX MIXED-USE

PROJECT ADDRESS:  
16-20 MEDFORD STREET  
SOMERVILLE, MA

**ARCHITECT**  
**KHALSA DESIGN INC.**  
17 IVALOO STREET, SUITE 400  
SOMERVILLE, MA 02143  
T:(617) 591-8682  
[www.tkgeast.com](http://www.tkgeast.com)

**CLIENT**  
**SOMERVILLE LIVING LLC.**  
P.O. BOX 780  
LYNNFIELD, MA 01940

**CIVIL ENGINEER**  
**DESIGN CONSULTANTS, INC.**  
120 MIDDLESEX AVENUE  
SOMERVILLE, MA 02145  
T:(617) 776-3350

**LANDSCAPE ARCHITECT**  
**VERDANT LANDSCAPE ARCHITECTURE**  
318 HARVARD ST #25  
BROOKLINE, MA 02446  
T: (617)735-1180

NEIGHBORHOOD MTG 1: 08/30/2021  
UDC SUBMISSION 1: 10/19/2021  
UDC SUBMISSION 2: 11/02/2021  
UDC SUBMISSION 3: 11/19/2021  
NEIGHBORHOOD MTG 2: 01/10/2022  
AFFORDABLE HOUSING SUBMISSION: 01/19/2022  
ROOF REVISION: 03/16/2022  
PLANNING BOARD SUBMISSION: 03/29/2022

## LOCUS PLAN



Drawing List		
Sheet Number	Sheet Name	Sheet Issue Date
0- Cover		
A-000	Cover Sheet	03/29/2022
1- Civil		
C-1	Existing Plot Plan	05/20/2021
2- Landscape		
L-1	Ground Level Planting Plan	03/29/2022
L-2	Streetscape Plan	03/29/2022
L-3	Fencing & Planting Buffer	03/29/2022
L-4	Rooftop Amenity Garden	03/29/2022
L-5	Green Score Calculations	03/29/2022
L-6	Site Details	03/29/2022
L-7	Site Details	03/29/2022
3- Architectural		
A-020	Site Plan & Zoning Information	03/29/2022
A-020B	Zoning Chart	03/29/2022
A-021	Gross Area Plans	03/29/2022
A-022	Unit/ Sellable Area Plans	03/29/2022
A-023	Unit/ Sellable Area Schedule	03/29/2022
A-100	Garage Plan	03/29/2022
A-101	1st Floor Plan	03/29/2022
A-102	2nd Floor Plan	03/29/2022
A-103	3rd Floor Plan	03/29/2022
A-104	4th Floor Plan	03/29/2022
A-105	Roof Plan	03/29/2022
A-300	Exterior Elevations	03/29/2022
A-301	Exterior Elevations	03/29/2022
A-302	Proposed Rendering	03/29/2022
A-303	Rendered Elevations	03/29/2022
A-400	Building Section	03/29/2022
AV-1	Shadow Study	03/29/2022
AV-2	Shadow Study	03/29/2022
AV-3	Shadow Study	03/29/2022

**PROJECT NAME**  
**THE ONYX MIXED-USE**

**PROJECT ADDRESS**  
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SOMERVILLE MA

**CLIENT**  
**SOMERVILLE LIVING LLC.**

**ARCHITECT**

**KHALSA**

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX:  
617-591-2086

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PROSECUTION UNDER LAW



**REGISTRATION**

Project number 20028  
Date 03/29/2022  
Drawn by TC  
Checked by JSK  
Scale

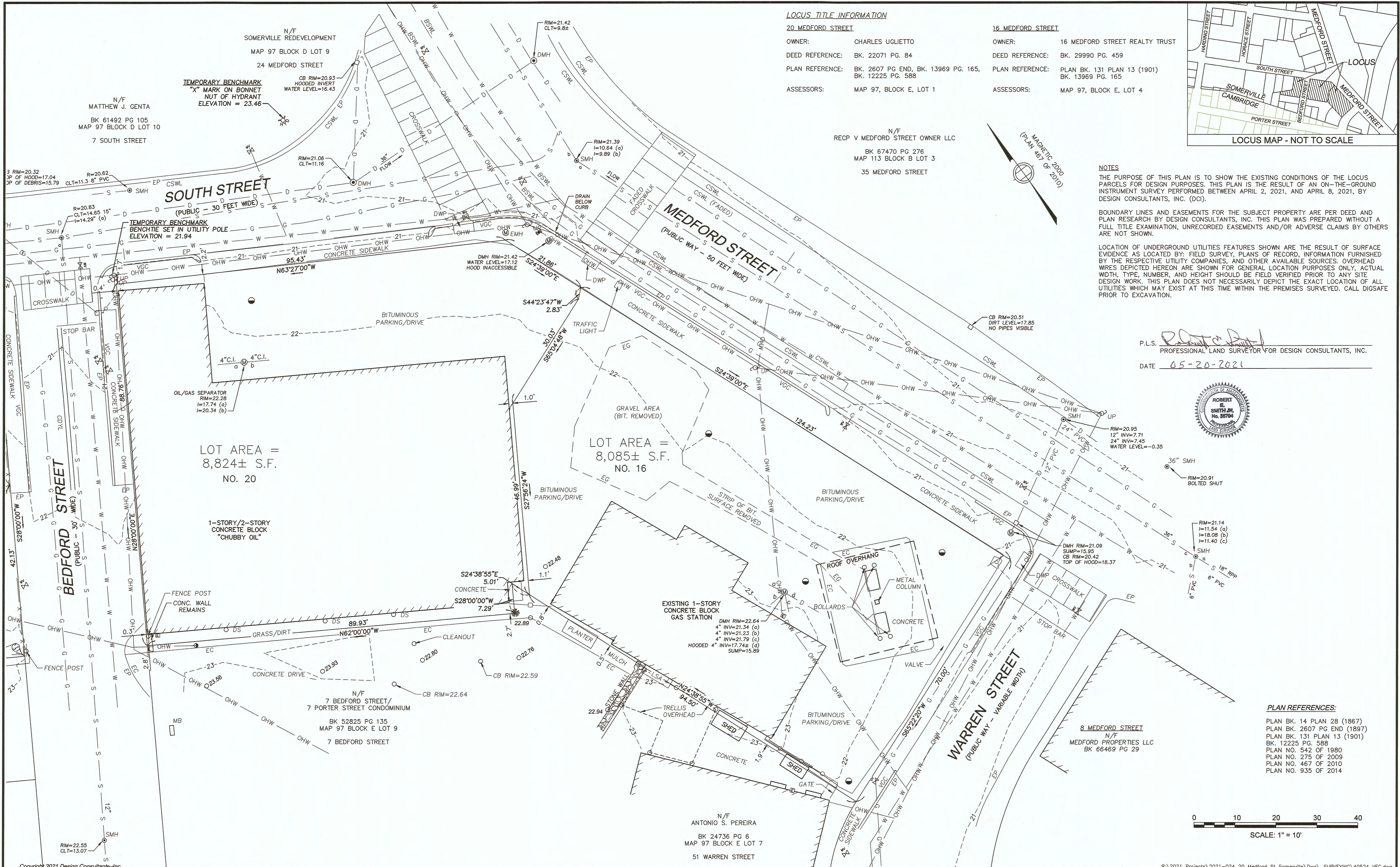
**REVISIONS**

No.	Description	Date

Cover Sheet

**A-000**

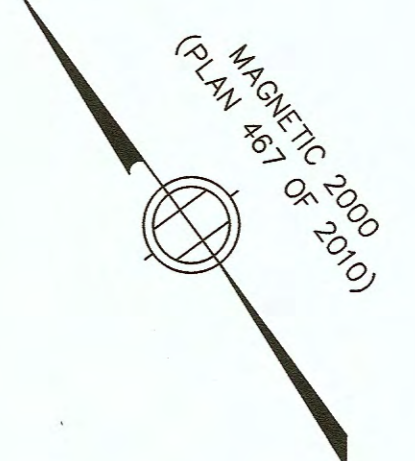
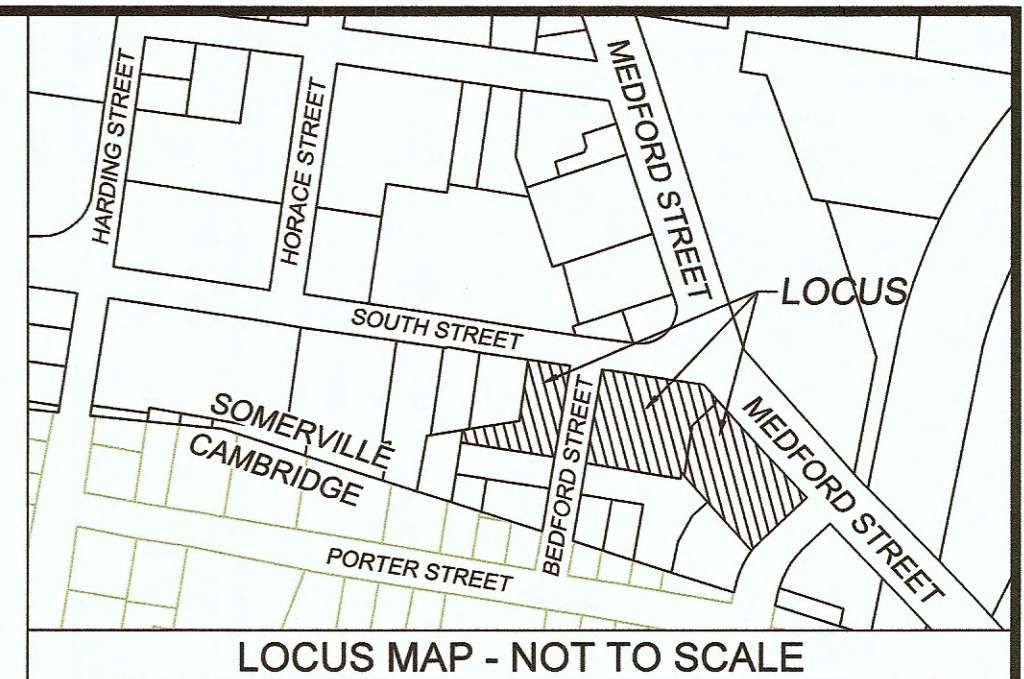
THE ONYX MIXED-USE



**LOCUS TITLE INFORMATION**

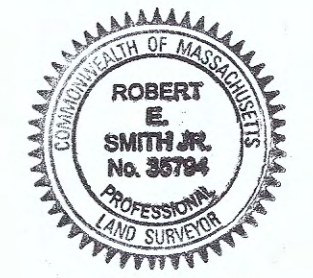
**20 MEDFORD STREET**  
 OWNER: CHARLES UGLIETTO  
 DEED REFERENCE: BK. 22071 PG. 84  
 PLAN REFERENCE: BK. 2607 PG END, BK. 13969 PG. 165, BK. 12225 PG. 588  
 ASSESSORS: MAP 97, BLOCK E, LOT 1

**16 MEDFORD STREET**  
 OWNER: 16 MEDFORD STREET REALTY TRUST  
 DEED REFERENCE: BK. 29990 PG. 459  
 PLAN REFERENCE: PLAN BK. 131 PLAN 13 (1901) BK. 13969 PG. 165  
 ASSESSORS: MAP 97, BLOCK E, LOT 4



**NOTES**  
 THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF THE LOCUS PARCELS FOR DESIGN PURPOSES. THIS PLAN IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN APRIL 2, 2021, AND APRIL 8, 2021, BY DESIGN CONSULTANTS, INC. (DCI).  
 BOUNDARY LINES AND EASEMENTS FOR THE SUBJECT PROPERTY ARE PER DEED AND PLAN RESEARCH BY DESIGN CONSULTANTS, INC. THIS PLAN WAS PREPARED WITHOUT A FULL TITLE EXAMINATION, UNRECORDED EASEMENTS AND/OR ADVERSE CLAIMS BY OTHERS ARE NOT SHOWN.  
 LOCATION OF UNDERGROUND UTILITIES FEATURES SHOWN ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY: FIELD SURVEY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES. OVERHEAD WIRES DEPICTED HEREON ARE SHOWN FOR GENERAL LOCATION PURPOSES ONLY, ACTUAL WIDTH, TYPE, NUMBER, AND HEIGHT SHOULD BE FIELD VERIFIED PRIOR TO ANY SITE DESIGN WORK. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED. CALL DIGSAFE PRIOR TO EXCAVATION.

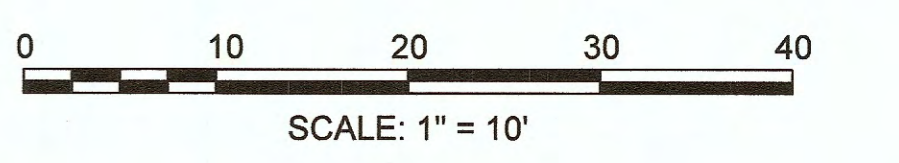
P.L.S. *Robert E. Smith, Jr.*  
 PROFESSIONAL LAND SURVEYOR FOR DESIGN CONSULTANTS, INC.  
 DATE 05-20-2021



LOT AREA = 8,824± S.F.  
 NO. 20

LOT AREA = 8,085± S.F.  
 NO. 16

**PLAN REFERENCES:**  
 PLAN BK. 14 PLAN 28 (1867)  
 PLAN BK. 2607 PG END (1897)  
 PLAN BK. 131 PLAN 13 (1901)  
 BK. 12225 PG. 588  
 PLAN NO. 542 OF 1980  
 PLAN NO. 275 OF 2009  
 PLAN NO. 467 OF 2010  
 PLAN NO. 935 OF 2014



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**Design Consultants, Inc.**  
 A GM2 COMPANY

120 MIDDLESEX AVENUE  
 SOMERVILLE, MA 02145  
 617-776-3350

SCALE:  
 HORIZ: 1" = 10'  
 VERT: \_\_\_\_\_

NO.	DATE	BY	REVISIONS

FIELD: JS/RES  
 CALC: JS  
 CHECKED: CS  
 APPROVED: RES

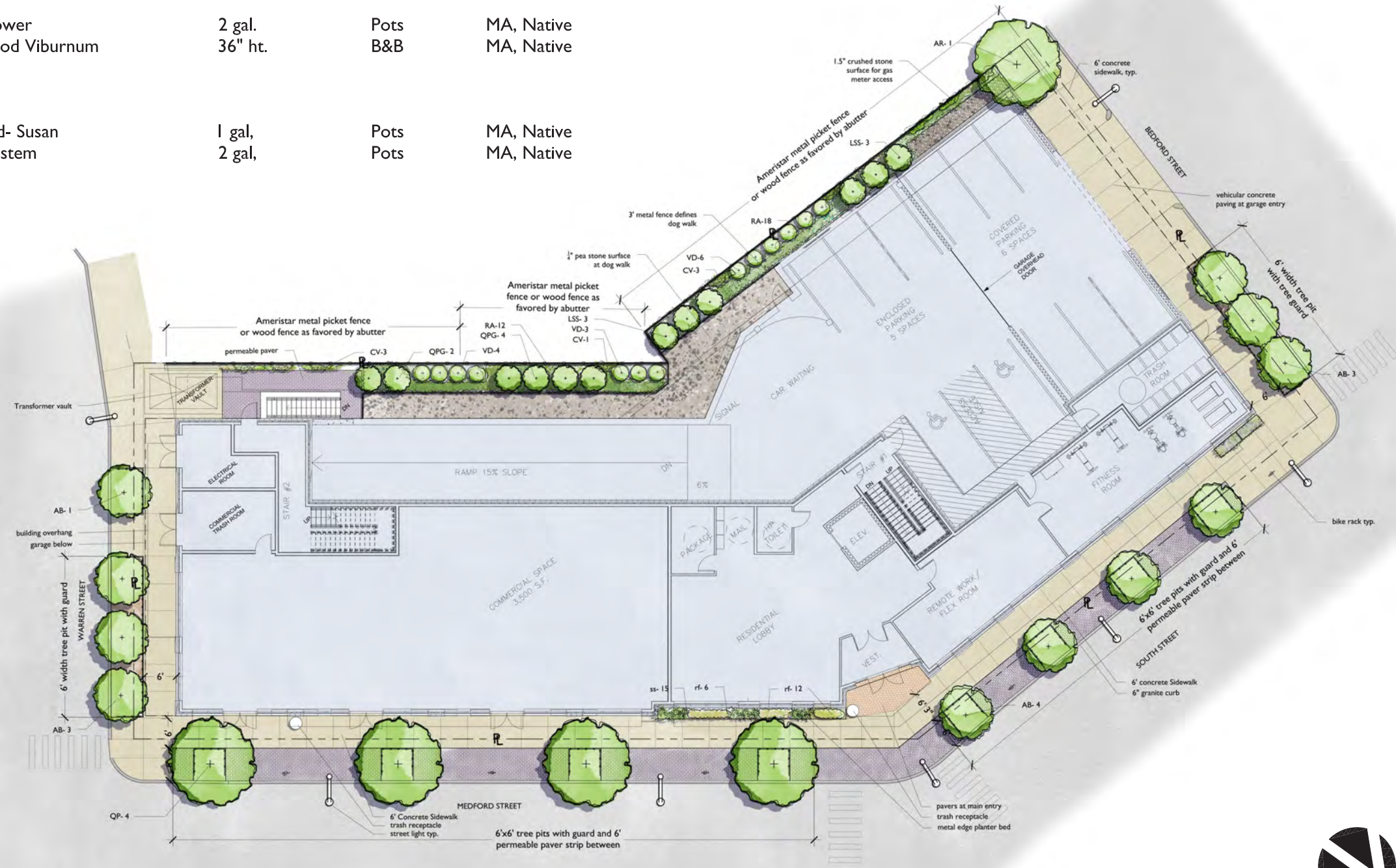
EXISTING CONDITIONS PLAN  
 16 & 20 MEDFORD STREET  
 AND 10 BEDFORD STREET

LAND LOCATED IN  
 SOMERVILLE, MASSACHUSETTS  
 SURVEYED FOR  
 DIBIASE HOMES

PROJECT NO.  
 40524  
 DATE: 5/20/2021  
 SHEET NO.  
 1 OF 2

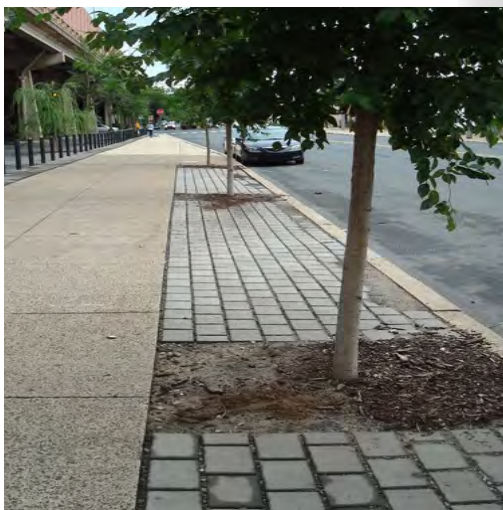
PLANT LIST

KEY	QTY	LATIN NAME	COMMON NAME	SIZE	NOTES
<b>DECIDUOUS TREES</b>					
AR	1	Acer rubrum 'Armstrong'	Armstrong upright Red Maple	3-3.5" cal.	B&B MA, Native Large Tree
AB	11	Acer buergerianum Streetwise	Trident maple	3-3.5" cal.	B&B - single stem Large Tree
LSS	6	Liquidambar styraciflua 'Slender Silhouette'	Fastigate Sweetgum	3-3.5" cal.	B&B MA, Native Small Tree
QP	6	Quercus palustris	Pin Oak	3-3.5" cal.	B&B MA, Native Large Tree
QP	6	Quercus palustris 'Green Pillar'	Fastigate Pin Oak	3-3.5" cal.	B&B MA, Native Small Tree
<b>SHRUBS/VINES (&gt;2' Height)</b>					
CV	7	Clematis virginiana	Virgins Bower	2 gal.	Pots MA, Native
VD	18	Viburnum dentatum	Arrowwood Viburnum	36" ht.	B&B MA, Native
<b>PERENNIALS/GRASSES (&lt;2' Height)</b>					
rf	21	Rudbeckia fulgida 'Goldstrum'	Black-Eyed- Susan	1 gal,	Pots MA, Native
ss	15	Schizachyrium scoparium 'The Blues'	Little Bluestem	2 gal,	Pots MA, Native

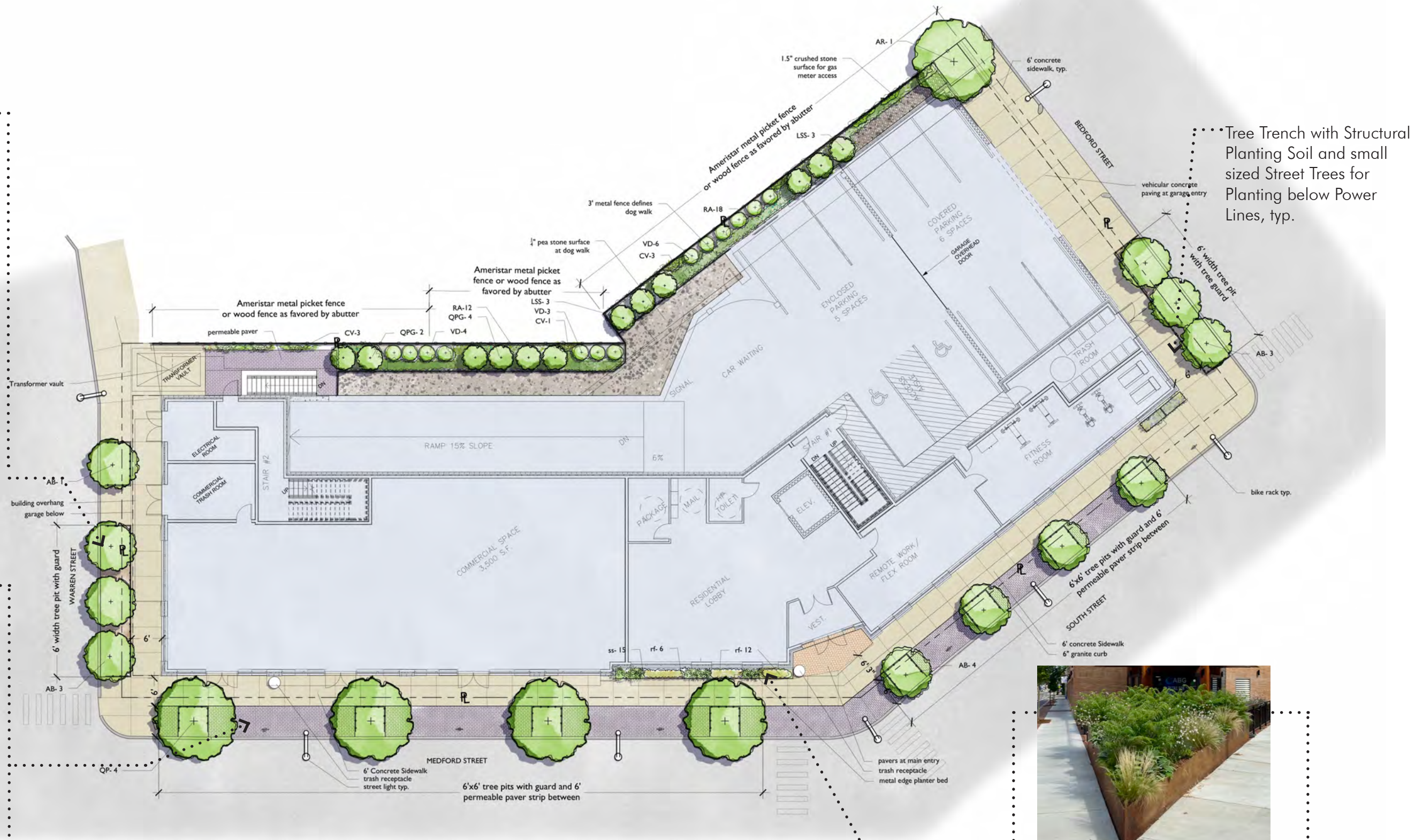




Continuous 6' wide open tree trench with low fence for street tree plantings on Warren and Bedford Streets



Continuous 6' tree trench with low fence and permeable pavers along Medford and South Streets with low fence



Planter with Metal Edge



N.T.S.



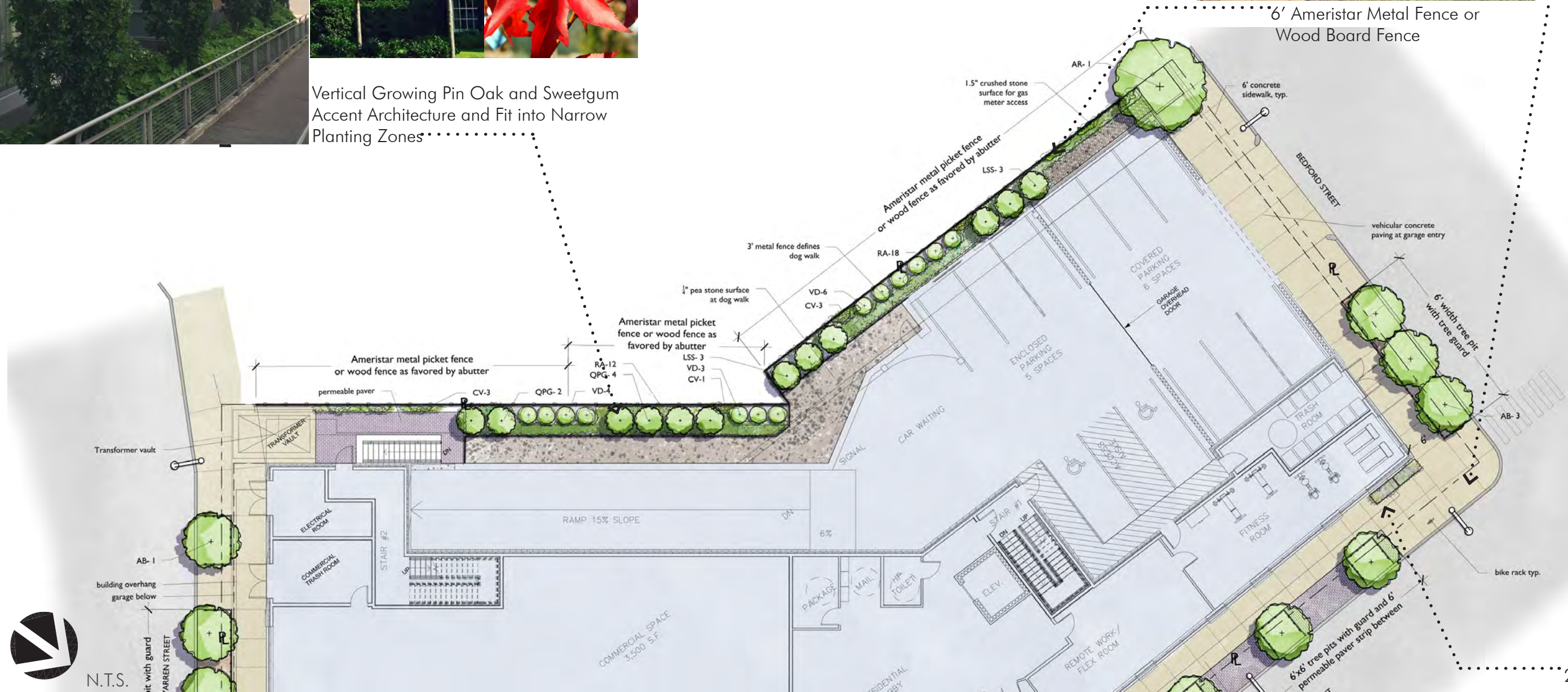
Vertical Growing Pin Oak and Sweetgum Accent Architecture and Fit into Narrow Planting Zones



6' Ameristar Metal Fence or Wood Board Fence

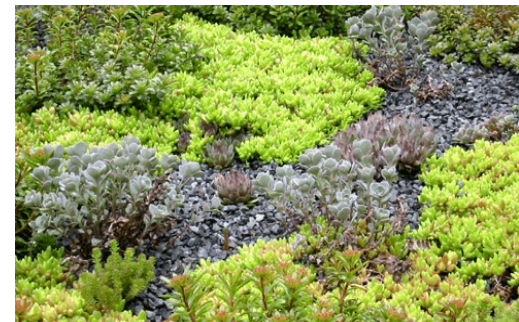


Bike Racks, Typ.





Pedestal Paving System



Extensive Greenroof System with Sedum

PROPOSED PLANT LIST

Deciduous Trees:

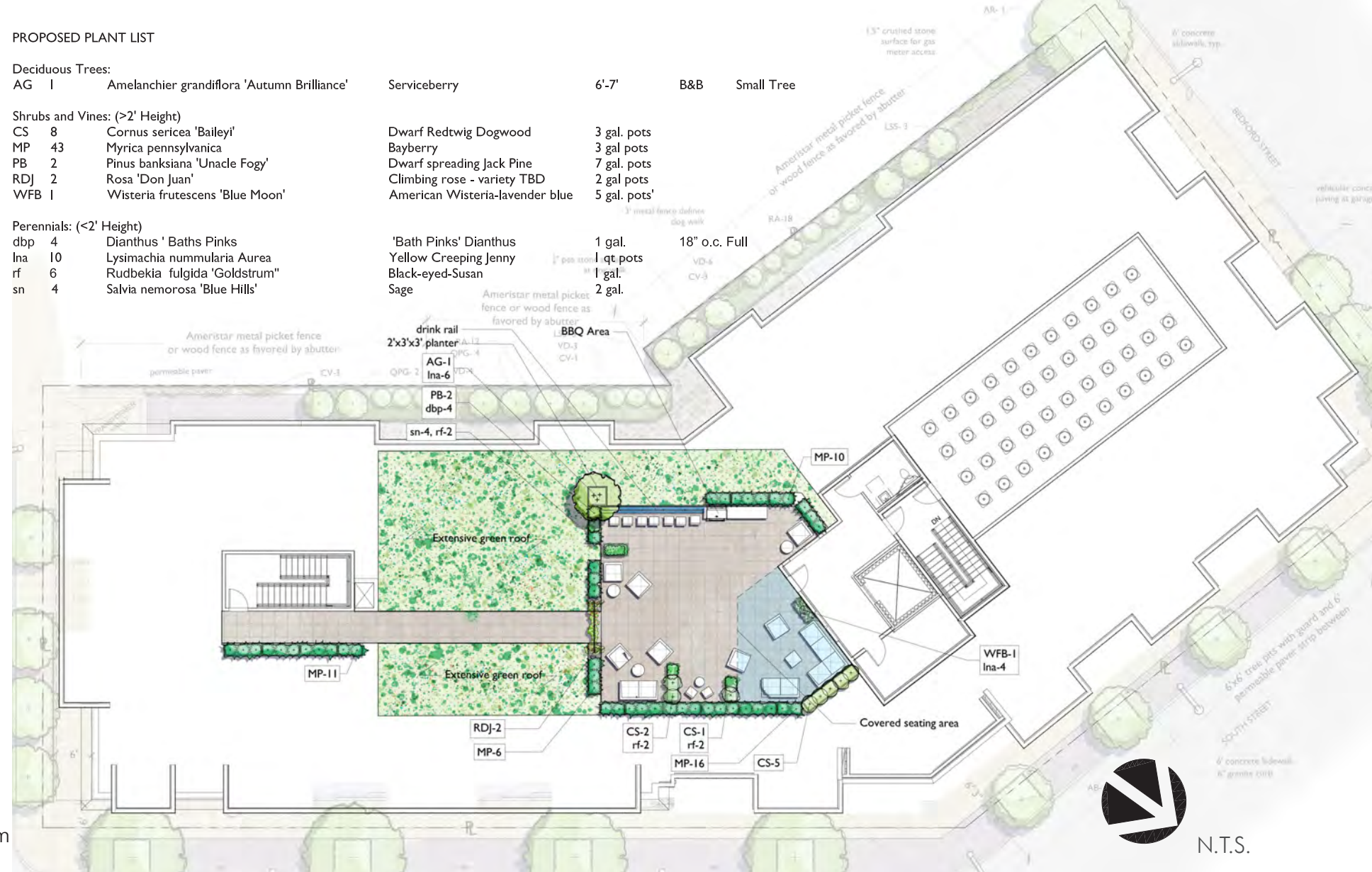
AG 1 Amelanchier grandiflora 'Autumn Brilliance' Serviceberry 6'-7' B&B Small Tree

Shrubs and Vines: (>2' Height)

CS 8	Cornus sericea 'Bailey'	Dwarf Redtwig Dogwood	3 gal. pots
MP 43	Myrica pennsylvanica	Bayberry	3 gal. pots
PB 2	Pinus banksiana 'Unclae Fogy'	Dwarf spreading Jack Pine	7 gal. pots
RDJ 2	Rosa 'Don Juan'	Climbing rose - variety TBD	2 gal. pots
WFB 1	Wisteria frutescens 'Blue Moon'	American Wisteria-lavender blue	5 gal. pots'

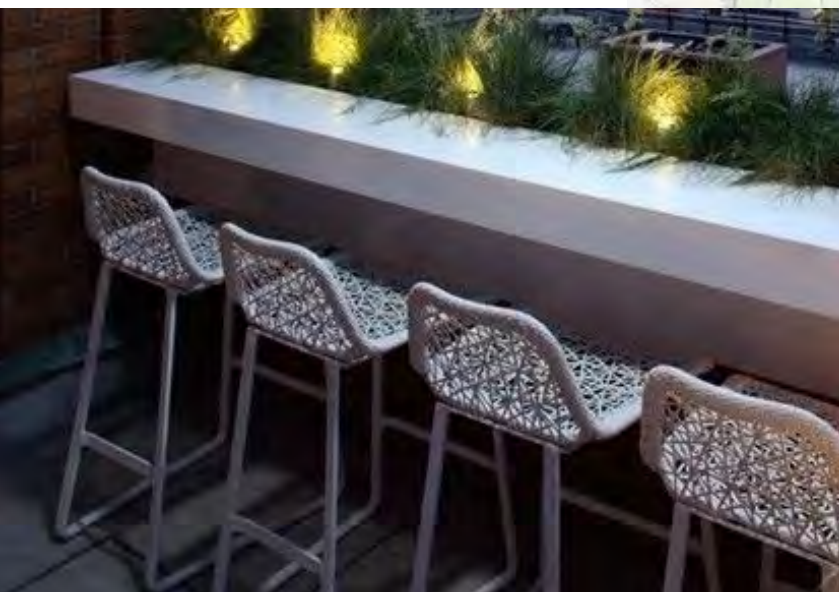
Perennials: (<2' Height)

dbp 4	Dianthus 'Baths Pinks'	'Bath Pinks' Dianthus	1 gal.	18" o.c. Full
lna 10	Lysimachia nummularia Aurea	Yellow Creeping Jenny	1 qt pots	
rf 6	Rudbeckia fulgida 'Goldstrum'	Black-eyed-Susan	1 gal.	
sn 4	Salvia nemorosa 'Blue Hills'	Sage	2 gal.	



Screening & Wind Attenuation

Dining and Living Room Ensembles



# Somerville Green Score

Area or Number  
**16,917**

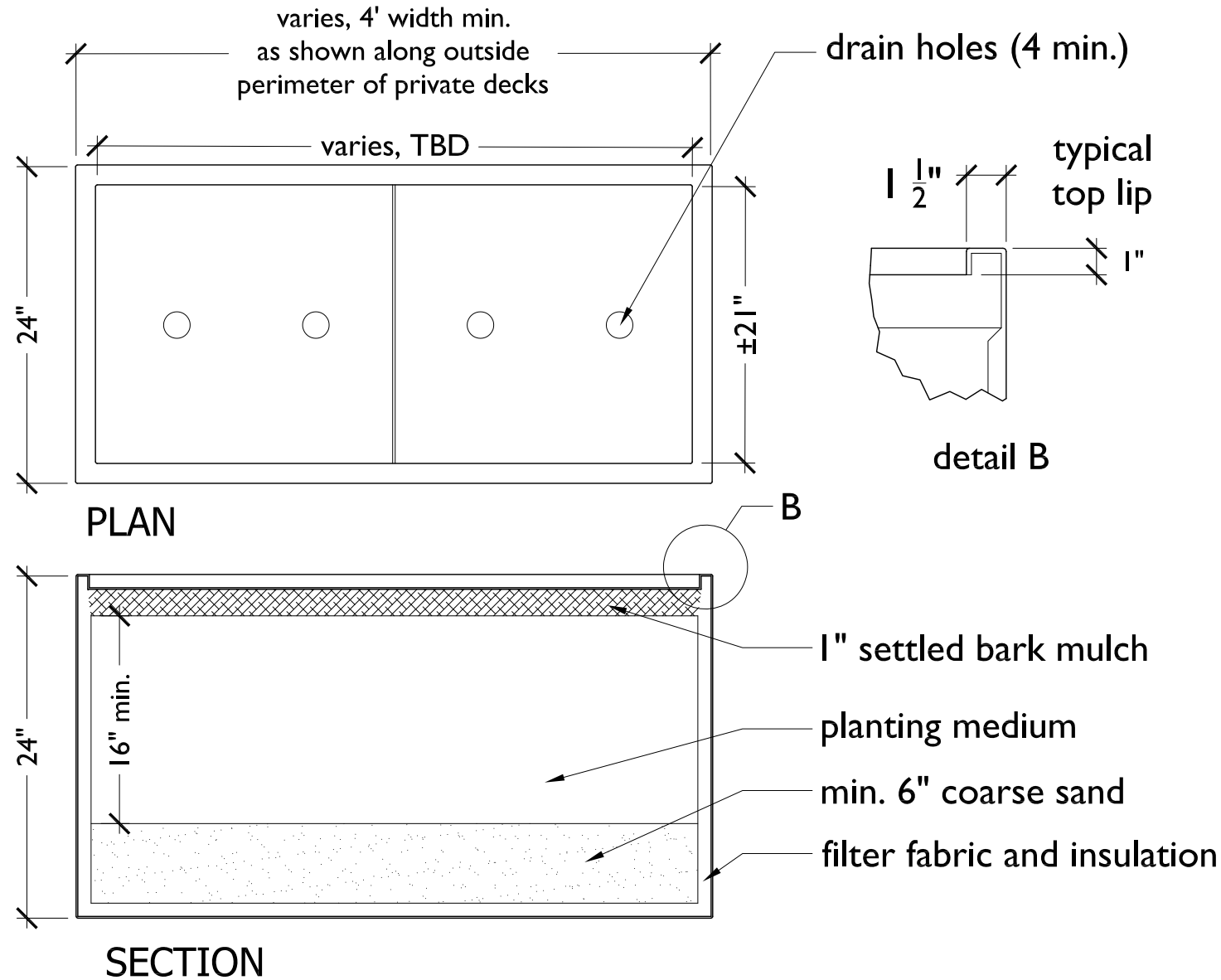
	Area or Number	Sq Ft Credit	Multiplier	Weighted Area	Score Value	% of Score
<b>Soils</b>						
Landscaped area with a soil depth less than 24 inches	0	actual sq ft	<b>0.3</b>	0	<b>0.000</b>	0%
Landscaped area with a soil depth equal to or greater than 24 inches	763	actual sq ft	<b>0.6</b>	457.8	<b>0.027</b>	11%
Pervious Paving with 6 to 24 inches of subsurface soil or gravel		actual sq ft	<b>0.2</b>	0	<b>0.000</b>	0%
Pervious Paving with more than 24 inches of subsurface soil or gravel	159	actual sq ft	<b>0.5</b>	79.5	<b>0.005</b>	2%
<b>Groundcovers</b>						
Turf grass, mulch, and inorganic surfacing materials	0	actual sq ft	<b>0.1</b>	0	<b>0.000</b>	0%
<b>Plants</b>						
Vegetation less than two (2) feet tall at maturity	591	actual sq ft	<b>0.2</b>	118.2	<b>0.007</b>	3%
Vegetation at least two (2) feet tall at maturity	78	12	<b>0.3</b>	280.8	<b>0.017</b>	6%
<b>Trees</b>						
Small Tree	1	50	<b>0.6</b>	30	<b>0.002</b>	1%
Large Tree	12	450	<b>0.6</b>	3240	<b>0.192</b>	74%
Preserved Tree	0	65	<b>0.8</b>	0	<b>0.000</b>	0%
<b>Engineered Landscape</b>						
Vegetated Wall	0	actual sq ft	<b>0.1</b>	0	<b>0.000</b>	0%
Rain gardens, bioswales, and stormwater planters	0	actual sq ft	<b>1.0</b>	0	<b>0.000</b>	0%
Green Roof with up to 6" of growth medium	1,521	actual sq ft	<b>0.1</b>	152.1	<b>0.009</b>	3%
Green Roof with 6"-10" of growth medium	0	actual sq ft	<b>0.4</b>	0	<b>0.000</b>	0%
Green Roof of 10"-24" growth medium	0	actual sq ft	<b>0.6</b>	0	<b>0.000</b>	0%
Green Roof of over 24" growth medium	N/A	Calculate as if soils, groundcovers, plants, and trees				N/A

Green Score = **0.258**

Required Score:  
 Target Score:  
 Actual Green Score:

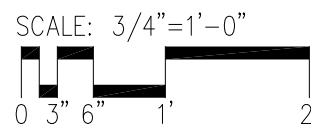
Green Score District Requirements			
NR & UR	MR3 & MR4	MR5, MR6, & HR	FAB, CC, CB, CI
0.35	0.25	0.20	0.20
0.40	0.3	0.25	-
<b>0.258</b>	<b>0.258</b>	<b>0.258</b>	<b>0.258</b>

PLANTER DETAIL

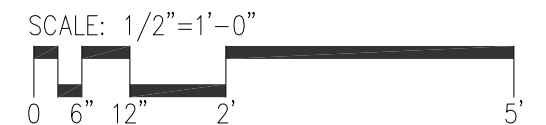
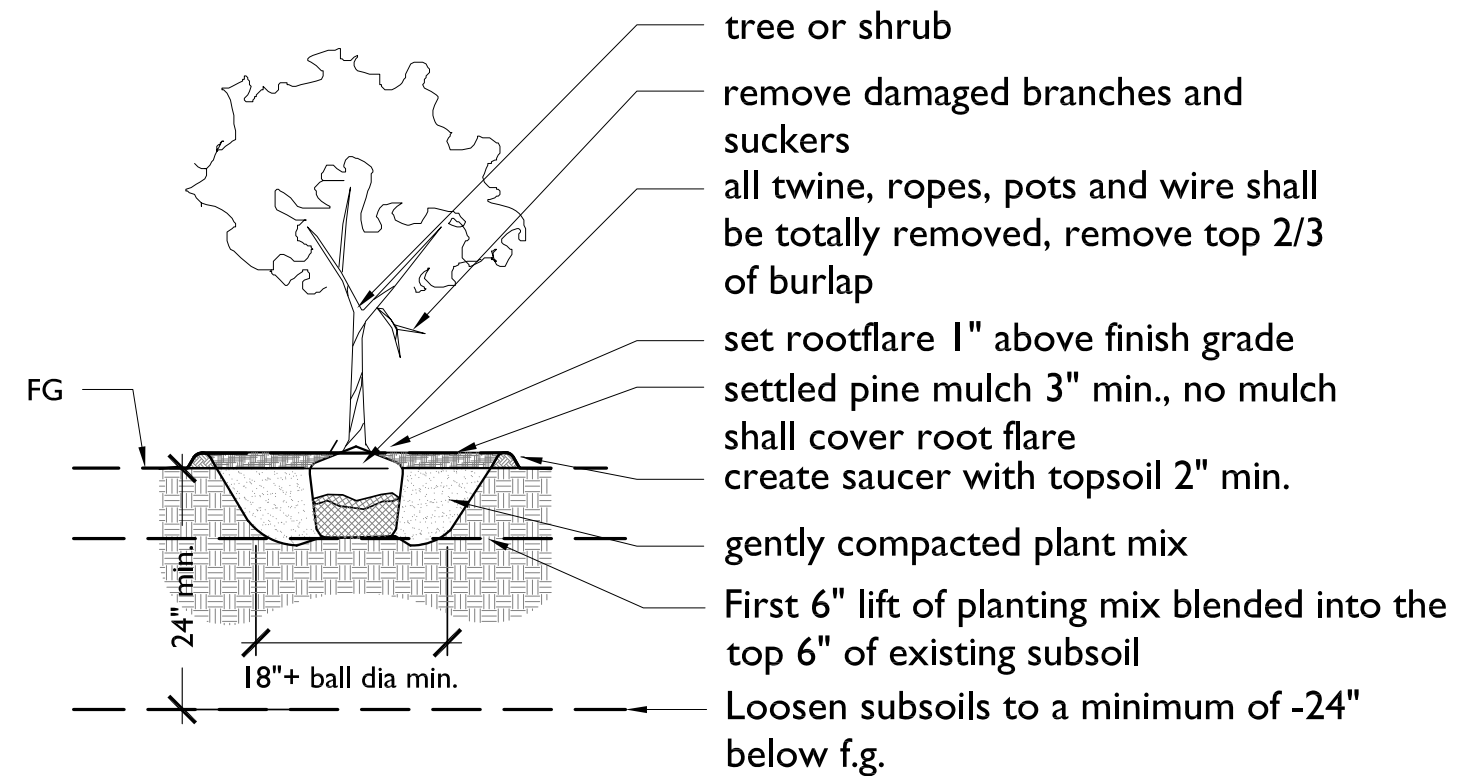


Note:

1. Wilshire Planter by Tournesol
2. Provide 4 drain holes.
3. Provide 1" flexible fi foil insulation on interior walls and bottom (with drain holes).  
Align holes for clear drainage.
4. Filter fabric shall extend to -2" from top lip.
5. Color and texture shall be approved by LA
6. See Specification

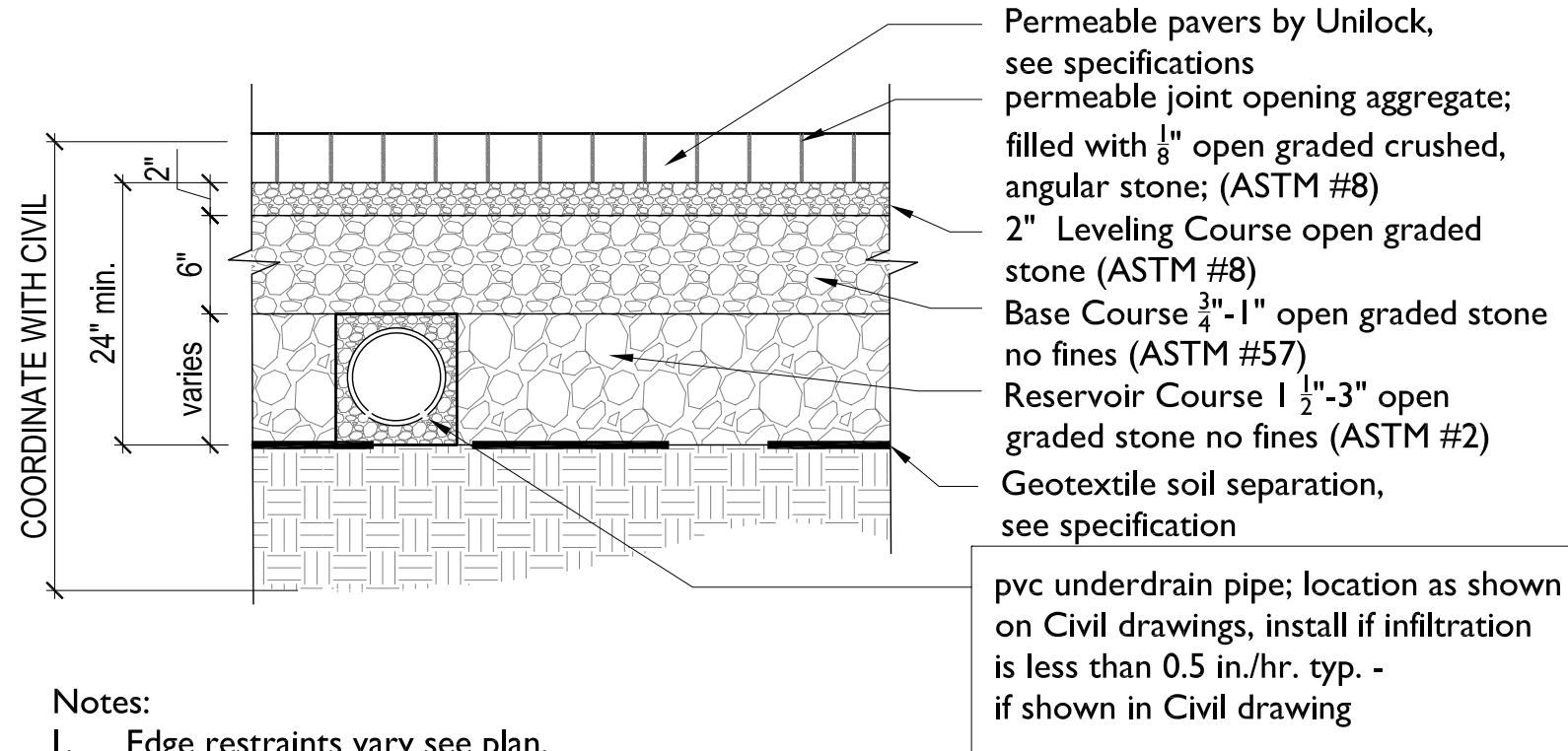


TYPICAL PLANT (TREE OR SHRUB) DETAIL



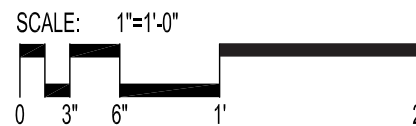


PERMEABLE UNIT PAVER DETAIL

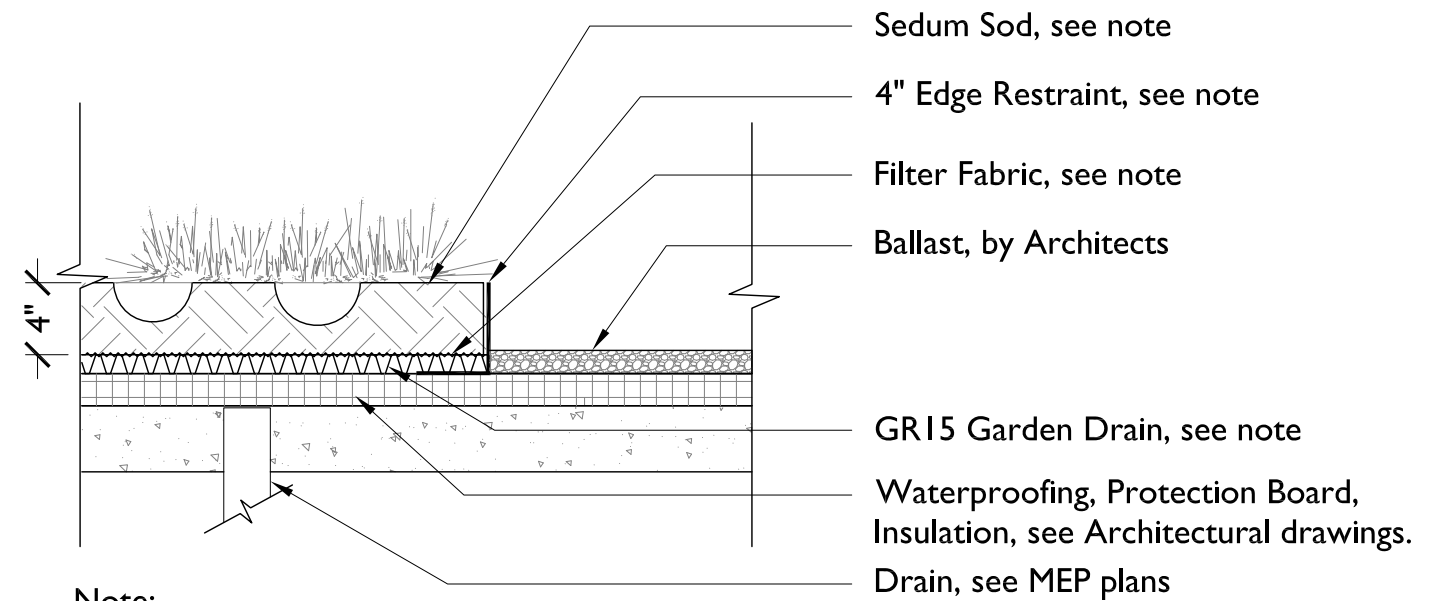


Notes:

1. Edge restraints vary see plan.
2. All aggregate material shall be crushed, angular stone and free of fines.
3. Compact subsoil with a California bearing ratio (cbr) of less than 5% as directed by a professional engineer.
4. Surface slope shall be a minimum of 1% and a maximum of 5%.
5. Install pvc underdrain pipe where infiltration rate of subsoil is less than 0.5 in./hr. size as directed by a professional engineer.
6. Never build permeable pavements on organic clay soils of high plasticity and/or peat, mulch, soils with high organic content.
7. Maintain a minimum distance of 2' between bottom of permeable base and water table.
8. The minimum aggregate thicknesses are after compaction.

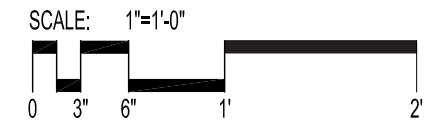


SEDUM TRAY DETAIL



Note:

1. Sedum Sod by LiveRoof, 4" depth, Prides Corner Farms is local Representative (860)-710-8512
2. Edge Restraint by LiveRoof
3. Drainage Mat by Hydrotech GR-15



Note:  
 This plan is for informational and illustrative purposes only.  
 The preparer of this plan makes no claim to its accuracy.  
 This plan shall not be used or relied upon in any circumstance.  
 A certified Land Surveyor shall provide an official certified plot plan.

**PROJECT NAME**  
**THE ONYX MIXED-USE**

**PROJECT ADDRESS**  
 16-20 MEDFORD ST  
 SOMERVILLE MA

**CLIENT**  
**SOMERVILLE LIVING LLC.**

**ARCHITECT**

**DESIGN**

**KHALSA**

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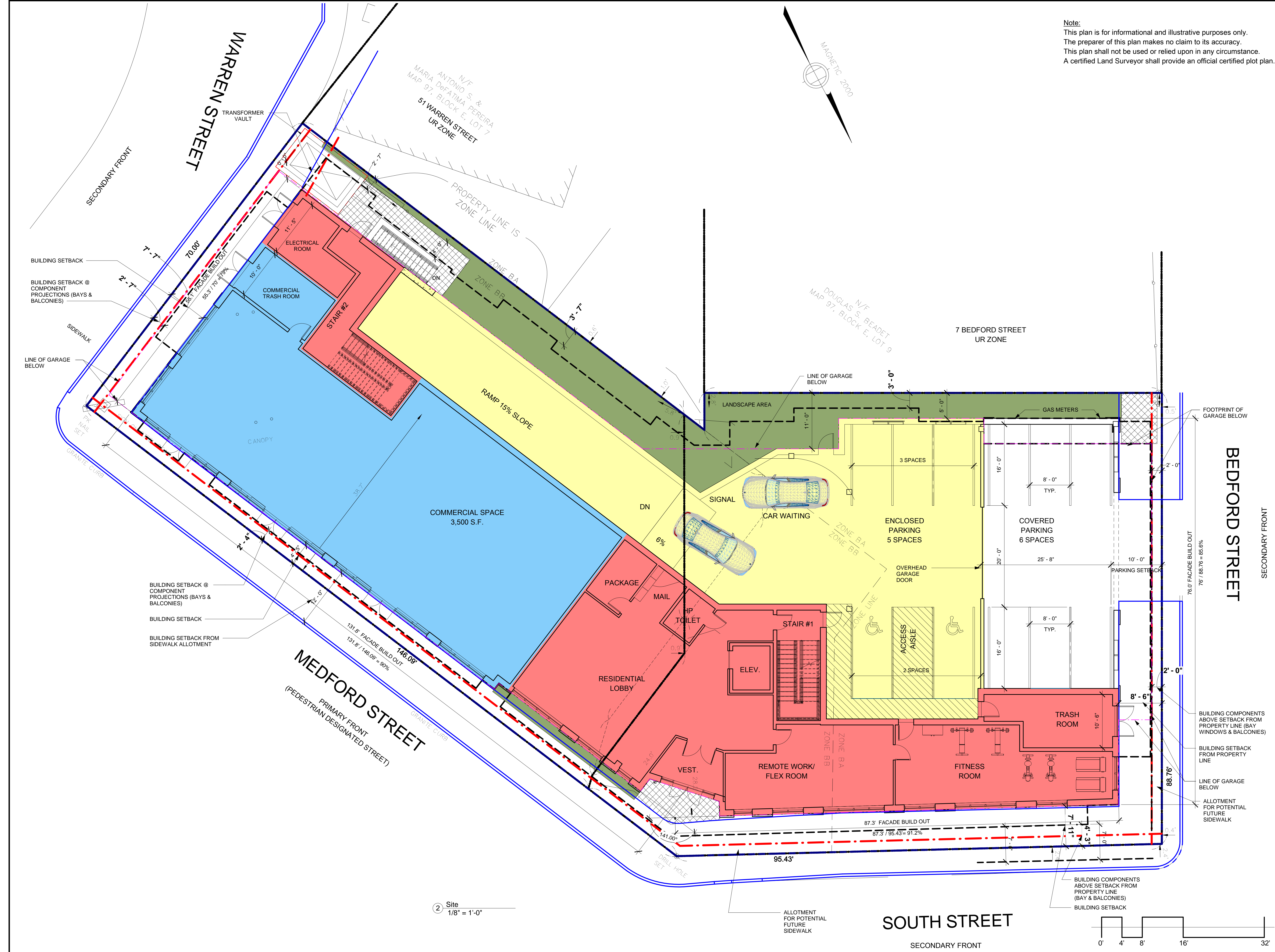
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 Date 03/29/2022  
 Drawn by TC  
 Checked by JSK  
 Scale 1/8" = 1'-0"

**REVISIONS**

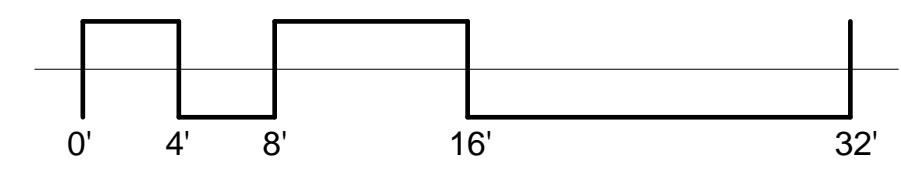
No.	Description	Date

**Site Plan & Zoning Information**

**A-020**  
 THE ONYX MIXED-USE



② Site  
 1/8" = 1'-0"



I:\TKG-SERVER\Drawn\2020\2028-Ugo-Medford & Bedford Streets\03 Drawings\00\_ARCH\SD\_DDI16-Medford16-20-Medford St\_Revisee Roof Deck.rvt

3/30/2022 11:04:33 AM

**ZONING DIMENSIONAL TABLE-PROPOSED ZONING:**

LOT SIZE: +/- 16,915 SF	ALLOWED / REQUIRED	PROPOSED	COMMENTS
ZONE	MR4 ZONE		
BUILDING TYPE	GENERAL BUILDING		
<b>4.2.8.A LOT STANDARDS</b>			
LOT DIMENSIONS			
WIDTH (MIN.)	30 FT	146.08'	COMPLIES
LOT DEVELOPMENT			
LOT COVERAGE (MAX)	90 % (15,223 SF)	89.9% / 15,220 SF (2,250 SF PERVIOUS AREA: 1,367 SF LANDSCAPE 328 SF PERVIOUS PAVERS * 0 RUNOFF COEFFICIENT= 328)	COMPLIES
GREEN FACTOR (MIN.)	0.25 MIN 0.30 IDEAL	0.258	COMPLIES
OPEN SPACE (MIN.)	15% (2,368 S.F.)	17% / 2,917 SF (1,377 SF GROUND LEVEL + 1,540 SF GREEN ROOF)	COMPLIES
<b>4.2.8.B BUILDING PLACEMENT</b>			
BUILDING SETBACKS			
PRIMARY FRONT (MIN/ MAX.)	12'-0" CURB SETBACK	MEDFORD ST: 4'-5"/ 12'-0" CURB SETBACK	COMPLIES
SECONDARY FRONT (MIN/ MAX.)	12'-0" CURB SETBACK	WARREN ST: 7'-7"/ 12'-0" CURB SETBACK SOUTH ST: 7'-11"/ 12'-0" CURB SETBACK BEDFORD ST: 8'-6"/ 12'-0" CURB SETBACK	COMPLIES
SIDE (MIN)	@ ALLEY OR ROW: 0 FT @ NON NR OR LHD: 0 FT	3'-0" & 2'-7"	COMPLIES
REAR (MIN)	@ ALLEY OR ROW: 0 FT @NON NR OR LHD: 10 FT	N/A	N/A
<b>4.2.8.E &amp; F PARKING SETBACKS</b>			
PARKING SETBACKS			
PRIMARY FRONT (MIN/ MAX.)			
SURFACE PARKING	30 FT		
STRUCTURED PARKING	30 FT		
SECONDARY FRONT (MIN/ MAX.)			
SURFACE PARKING	10 FT	10 FT	COMPLIES
STRUCTURED PARKING	2 FT		
<b>4.2.8.C MASSING &amp; HEIGHT</b>			
MAIN BODY			
BUILDING WIDTH (MAX.)	200 FT	143'-11"	COMPLIES
FACADE BUILD OUT, FRONT STREET (MIN.)	-		
PRIMARY FRONT	80 %	131.8' / 146.09'= 90%	COMPLIES
SECONDARY FRONT	65 %	WARREN ST: 55.3' / 70'= 79% SOUTH ST: 87.3' / 95.43'= 91.2% BEDFORD ST: 76' / 88.76'= 85.6%	COMPLIES COMPLIES COMPLIES
FLOOR PLATE (MAX.)	15,000 SF	13,653 SF	COMPLIES
BUILDING HEIGHT, STORIES (MIN.)	3 STORIES		COMPLIES
BUILDING HEIGHT, STORIES (MAX.)	4 STORIES	4 STORIES	COMPLIES
GROUND STORY HEIGHT (MIN.)	14 FT	16'-4" FT	COMPLIES
UPPER STORY HEIGHT (MIN.)	10 FT	11'-0"	COMPLIES
BUILDING HEIGHT, FEET (MAX.)	52 FT	49'-4"	COMPLIES
ROOF TYPE	FLAT	FLAT	COMPLIES

<b>4.2.8.D USES &amp; FEATURES</b>			
<b>FACADE COMPOSITION</b>			
GROUND STORY FENESTRATION (MIN.)			
PRIMARY FRONT- MEDFORD ST	70 % MIN.	71%	COMPLIES
SECONDARY FRONT- SOUTH ST	15% MIN. / 70% MAX.	49%	COMPLIES
SECONDARY FRONT- WARREN ST	15% MIN. / 70% MAX.	47%	COMPLIES
SECONDARY FRONT- BEDFORD ST	15% MIN. / 70% MAX.	46%	COMPLIES
UPPER STORY FENESTRATION (MIN./ MAX.)			COMPLIES
PRIMARY FRONT- MEDFORD ST	15% MIN. / 50% MAX.	44%, 44%, 44%	COMPLIES
SECONDARY FRONT- SOUTH ST	15% MIN. / 50% MAX.	42%, 42%, 42%	COMPLIES
SECONDARY FRONT- WARREN ST	15% MIN. / 50% MAX.	36%, 36%, 36%	COMPLIES
SECONDARY FRONT- BEDFORD ST	15% MIN. / 50% MAX.	43%, 43%, 43%	COMPLIES
BLANK WALL (MAX.)	20 FT	10'-1"	COMPLIES
<b>USE &amp; OCCUPANCY</b>			
GROUND STORY ENTRANCE SPACING (MAX.)	30 FT	26'-6" FT	COMPLIES
COMMERCIAL SPACE DEPTH (MIN.)	30 FT	37'-9" & 90'-5"	COMPLIES
DENSITY FACTOR	--		
BASE	1,125 S.F. / DU	51,387 / 41 UNITS= 1,253 SF/ DU	COMPLIES
100% AFFORDABLE	N/A	N/A	
NET ZERO READY BUILDING	N/A	N/A	
OUTDOOR AMENITY SPACE (MIN.)	1/ DU	1/ DU	COMPLIES
4.2.8 (a) REQUIRED ADUS			
4 OR MORE UNITS	20% OF UNITS	8 UNITS	COMPLIES
4.2.15 PARKING (RESIDENTIAL)			
MIN SHORT TERM BICYCLE PARKING	0.1/DU (5 SPACES)	6 SPACES	COMPLIES
MIN LONG TERM BICYCLE PARKING	1/DU (41 SPACES)	41 SPACES	COMPLIES
MIN. PARKING (OUTSIDE OF WALKSHED)	1/DU (41 SPACES MIN)	43 SPACES	COMPLIES
4.2.15 PARKING (COMMERCIAL) - VARIES BY USE -FOOD & BEVERAGE SERVICE SHOWN:			<b>COMMERCIAL PARKING COUNT REQUIRES SPECIAL PERMIT</b>
MIN SHORT TERM BICYCLE PARKING	1/1,000 S.F. (3.5 SPACES)	4 SPACES	
MIN LONG TERM BICYCLE PARKING	1/5,000 S.F. (1 SPACE)	1 SPACE	
MIN PARKING (OUTSIDE OF WALKSHED)	1/500 S.F. (7 SPACES MIN)	SP REQUIRED	
4.2.15 16.B.III: CURB CUTS ARE PROHIBITED ALONG ALL THOROUGHFARES DESIGNATED AS A PEDESTRIAN STREET			COMPLIES

**PROJECT NAME**  
**THE ONYX MIXED-USE**

**PROJECT ADDRESS**  
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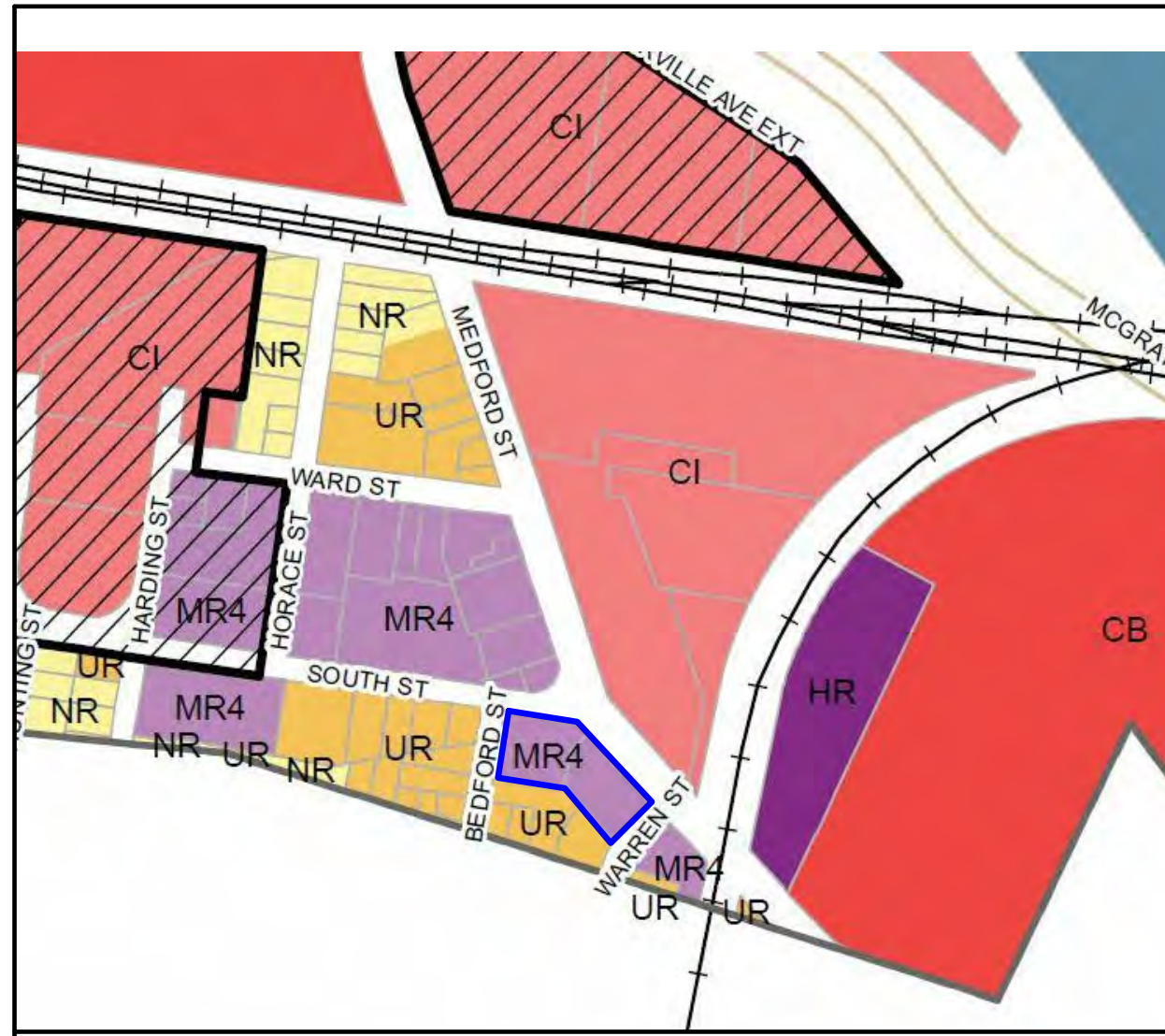
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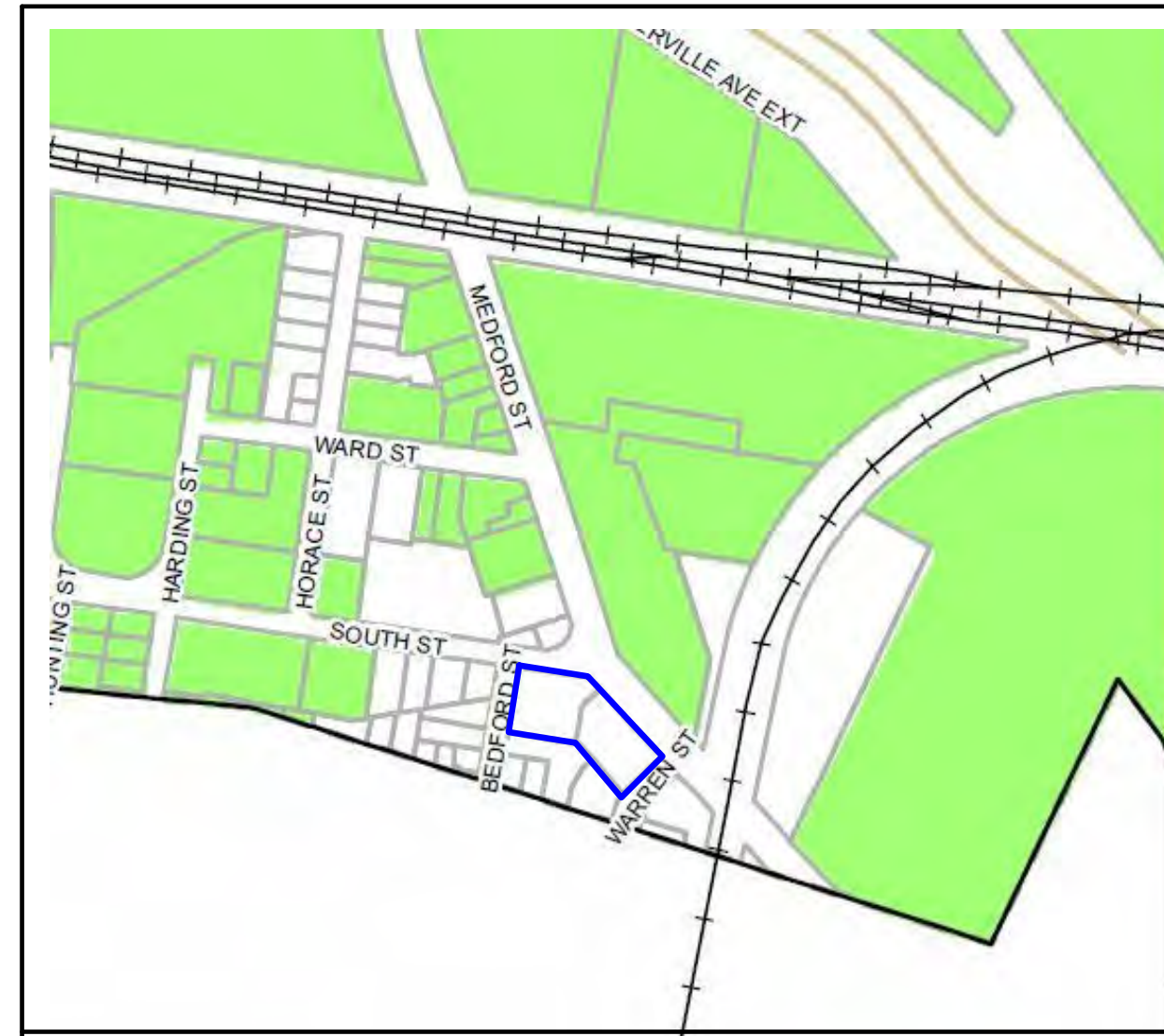
Zoning Chart

**A-020B**

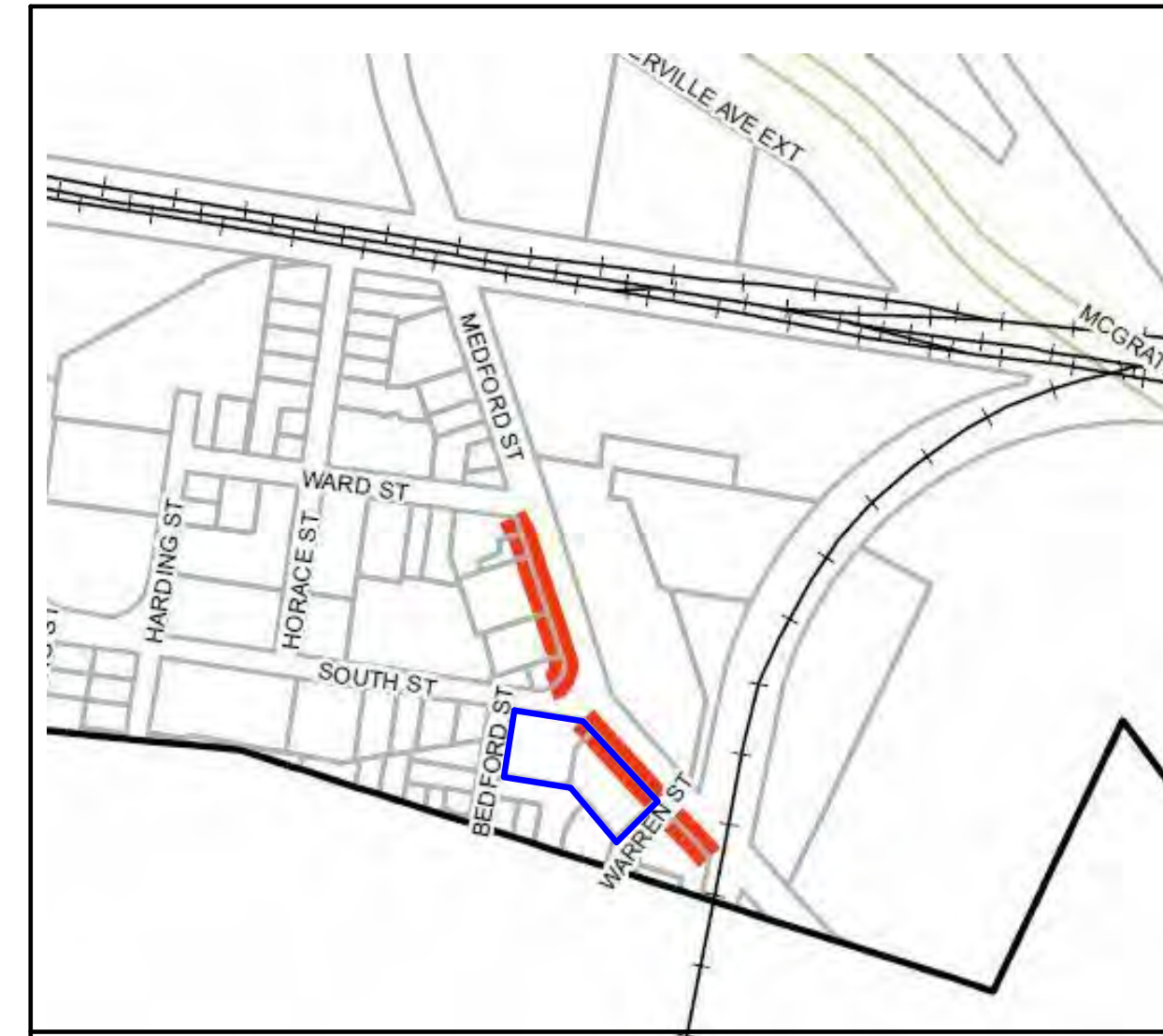
THE ONYX MIXED-USE



ZONING MAP (MAP 18)  
ZONE: MR4



TRANSIT MAP (MAP 18)  
NOT IN WALKSHED



PEDESTRIAN STREET MAP (MAP 18)  
MEDFORD ST= PEDESTRIAN STREET

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**ARCHITECT**



**KHALSA**

17 IVALOO STREET SUITE 400  
 SOMERVILLE, MA 02143  
 TELEPHONE: 617-591-8682 FAX:  
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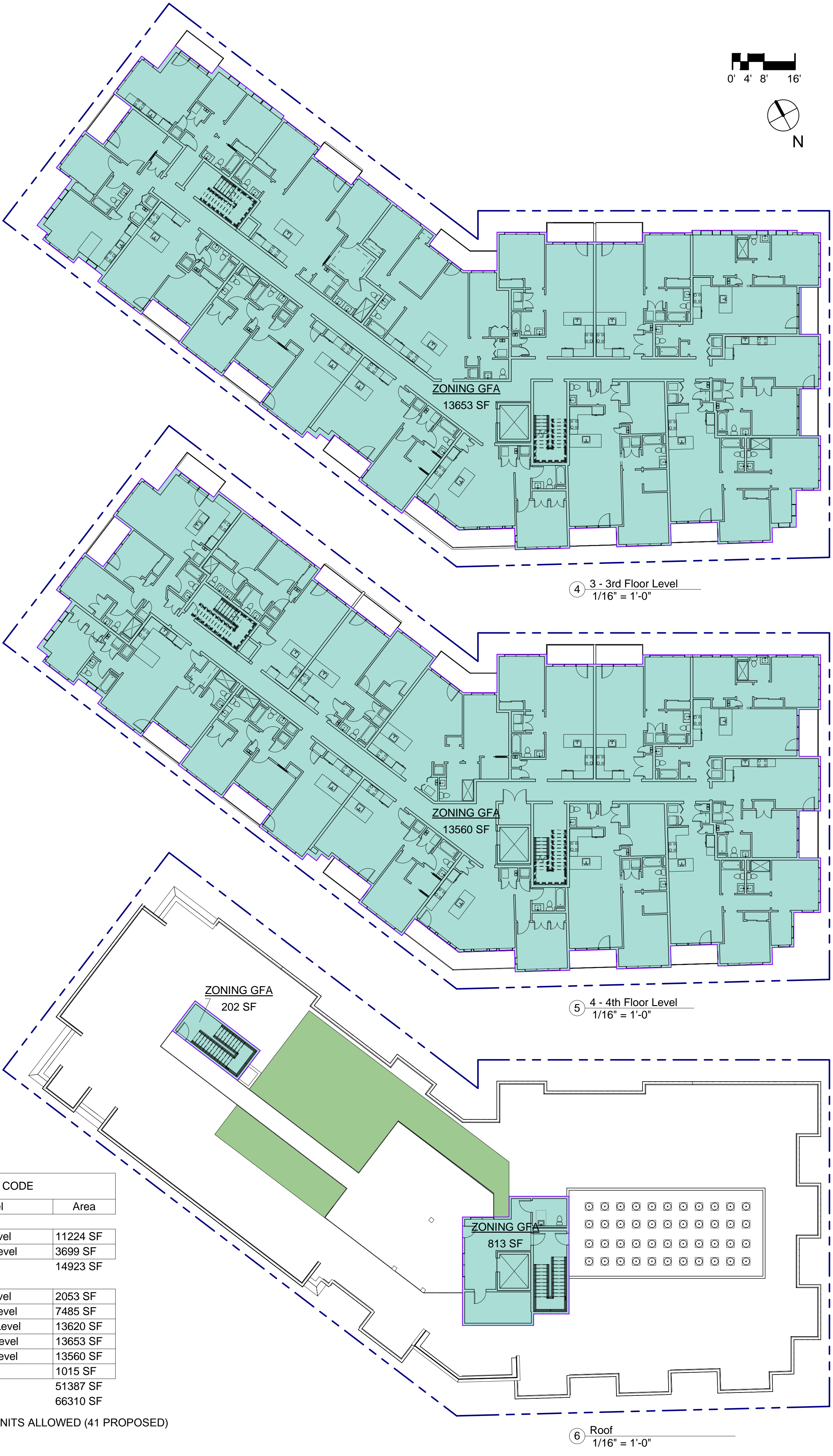
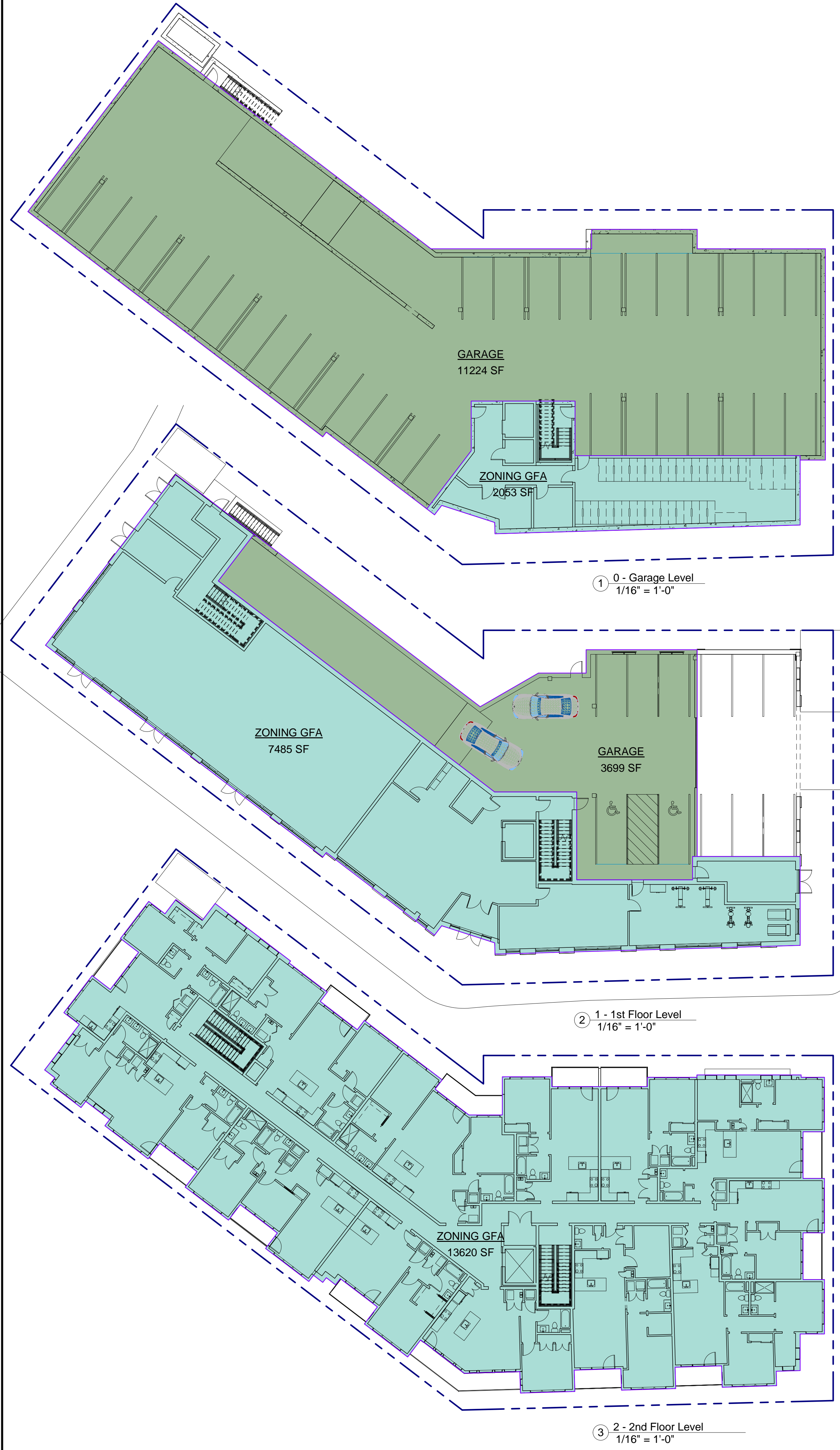
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**Gross Area Plans**

**A-021**

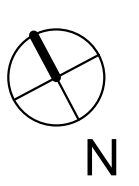
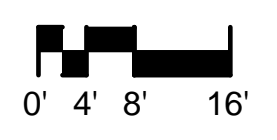
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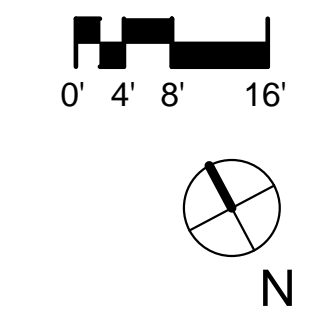
**GFA PER ZONING CODE**

Name	Level	Area
GARAGE	0 - Garage Level	11224 SF
GARAGE	1 - 1st Floor Level	3699 SF
GARAGE: 2		14923 SF
ZONING GFA	0 - Garage Level	2053 SF
ZONING GFA	1 - 1st Floor Level	7485 SF
ZONING GFA	2 - 2nd Floor Level	13620 SF
ZONING GFA	3 - 3rd Floor Level	13653 SF
ZONING GFA	4 - 4th Floor Level	13560 SF
ZONING GFA	Roof	1015 SF
ZONING GFA: 7		51387 SF
Grand total: 9		66310 SF

51,387 / 1,125 S.F. PER DU = 45 UNITS ALLOWED (41 PROPOSED)



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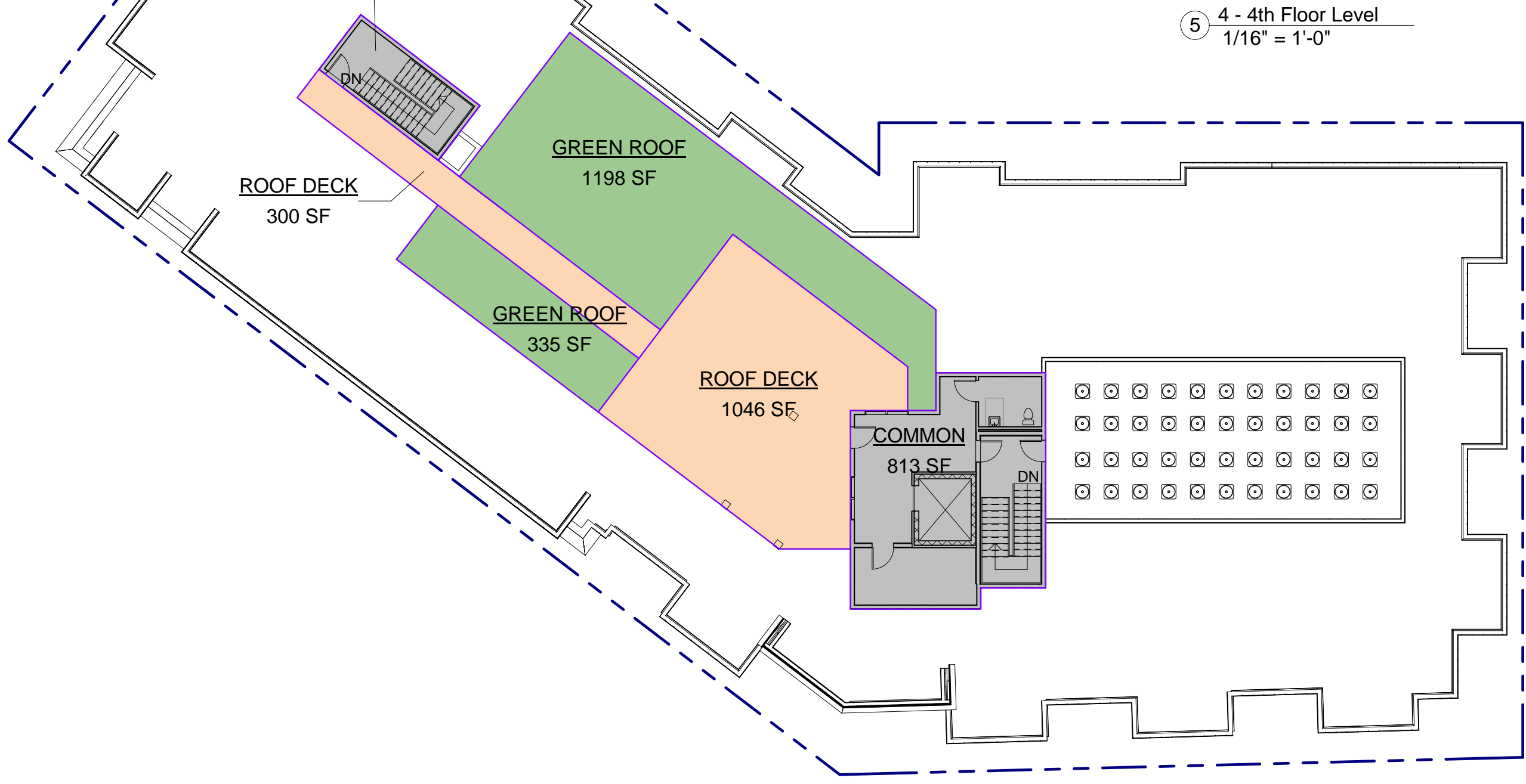
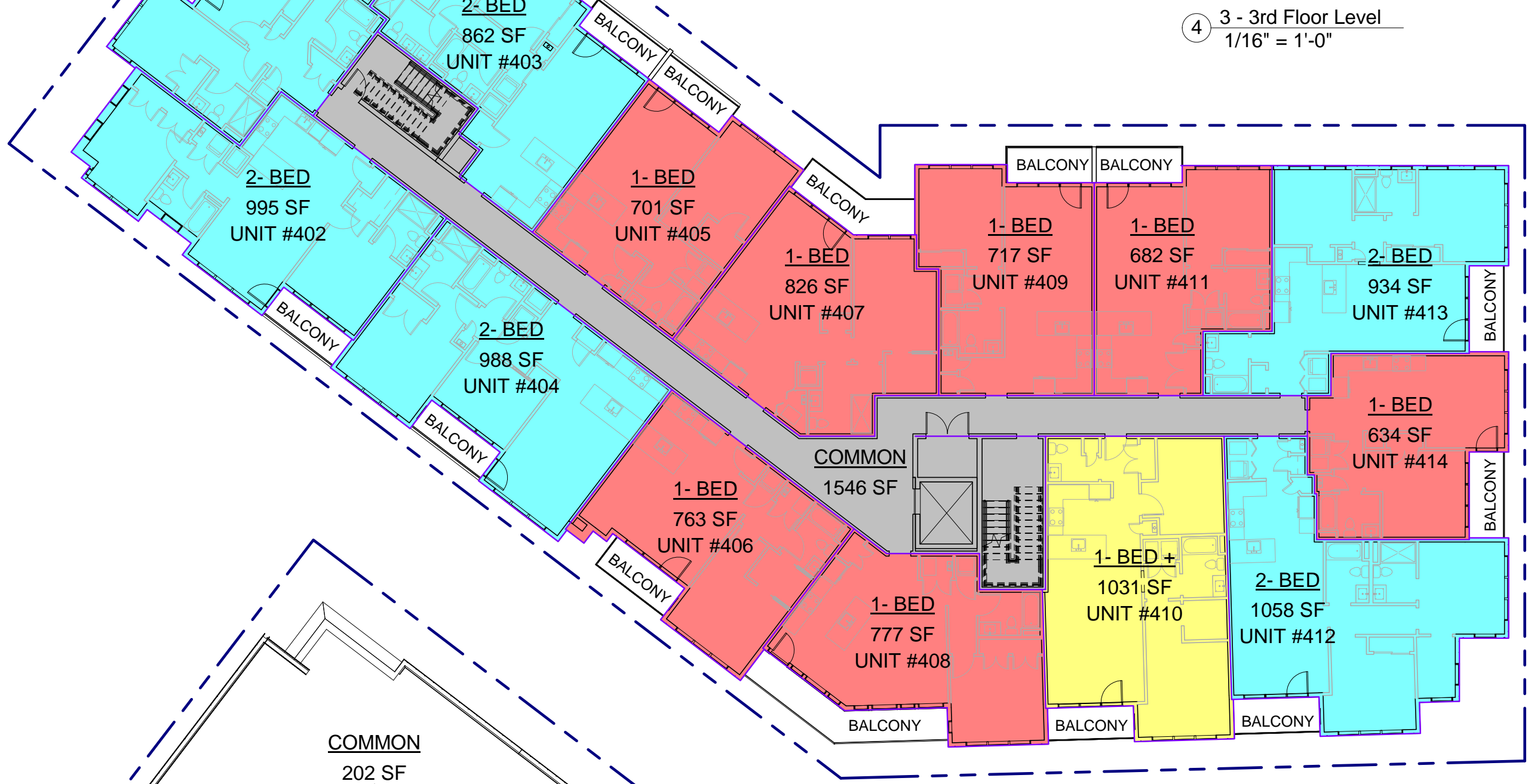
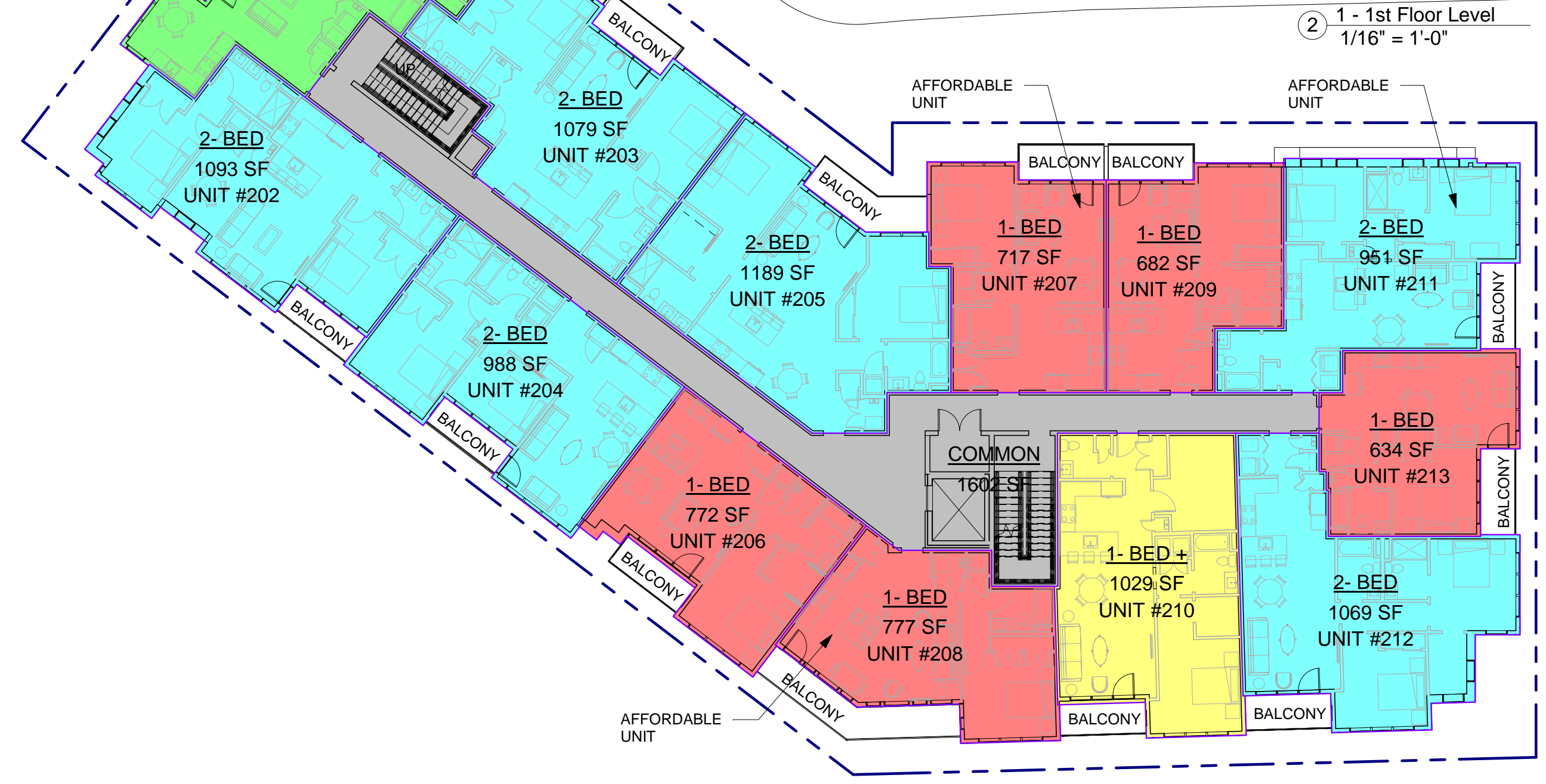
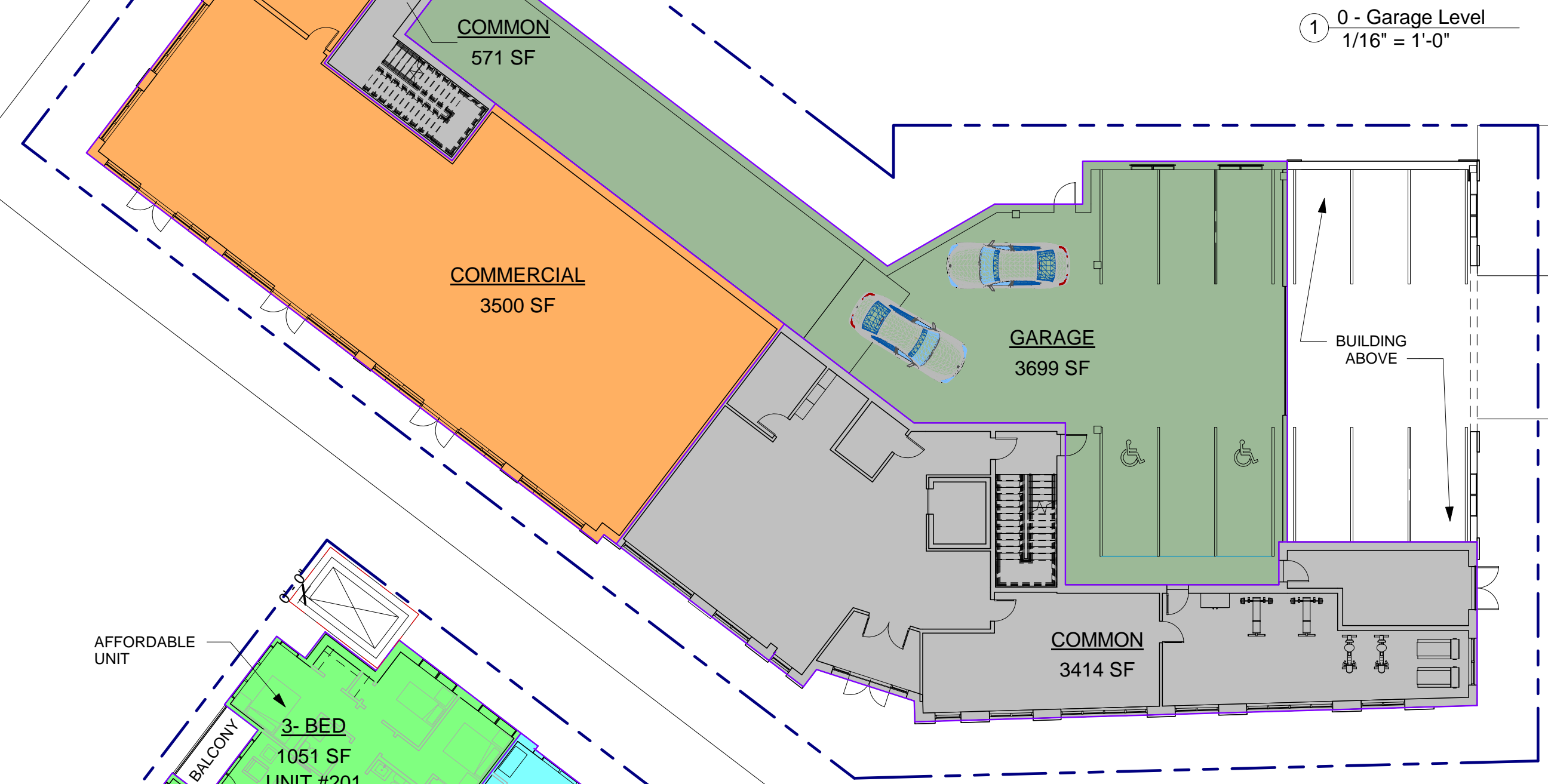
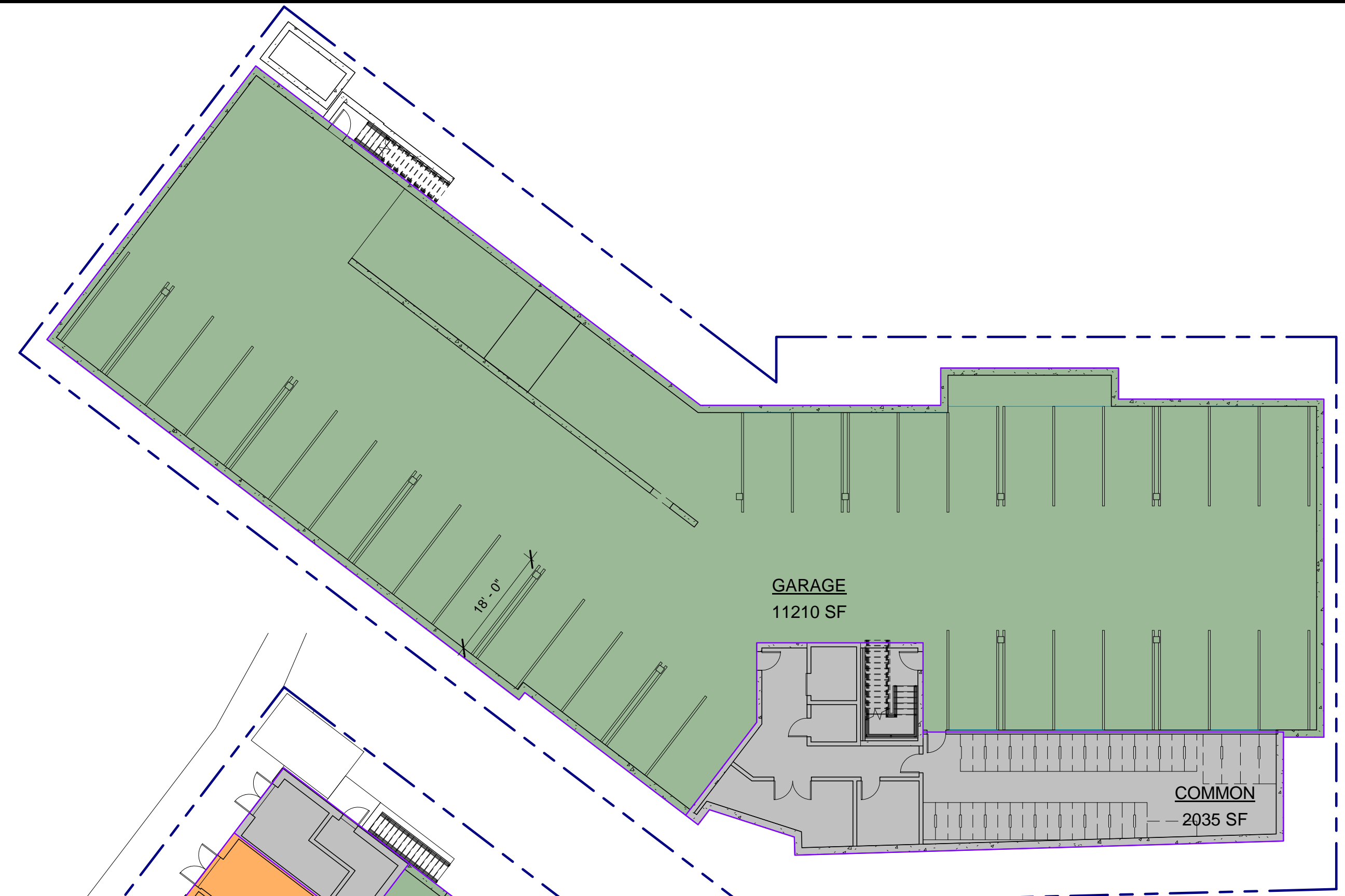
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No.	Description	Date

**Unit/ Sellable Area Plans**

**A-022**

THE ONYX MIXED-USE



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Area Schedule (UNIT MIX)	
Name	
1- BED	
1- BED: 18	
1- BED +	
1- BED +: 4	
2- BED	
2- BED: 17	
3- BED	
3- BED: 2	
Grand total: 41	

Area Schedule (BY UNIT TYPE)				
Level	Name	Area	Type	
3 - 3rd Floor Level	1- BED	628 SF	MARKET	
2 - 2nd Floor Level	1- BED	634 SF	MARKET	
3 - 3rd Floor Level	1- BED	634 SF	AFFORDABLE	
4 - 4th Floor Level	1- BED	634 SF	MARKET	
2 - 2nd Floor Level	1- BED	682 SF	MARKET	
3 - 3rd Floor Level	1- BED	682 SF	MARKET	
4 - 4th Floor Level	1- BED	682 SF	MARKET	
4 - 4th Floor Level	1- BED	701 SF	MARKET	
2 - 2nd Floor Level	1- BED	717 SF	AFFORDABLE	
3 - 3rd Floor Level	1- BED	717 SF	MARKET	
4 - 4th Floor Level	1- BED	717 SF	MARKET	
2 - 2nd Floor Level	1- BED	763 SF	MARKET	
2 - 2nd Floor Level	1- BED	772 SF	MARKET	
3 - 3rd Floor Level	1- BED	772 SF	AFFORDABLE	
2 - 2nd Floor Level	1- BED	777 SF	AFFORDABLE	
3 - 3rd Floor Level	1- BED	777 SF	MARKET	
4 - 4th Floor Level	1- BED	777 SF	MARKET	
4 - 4th Floor Level	1- BED	826 SF	MARKET	
1- BED: 18		12892 SF		

3 - 3rd Floor Level	1- BED +	797 SF	MARKET	
2 - 2nd Floor Level	1- BED +	1029 SF	MARKET	
3 - 3rd Floor Level	1- BED +	1031 SF	MARKET	
4 - 4th Floor Level	1- BED +	1031 SF	MARKET	
1- BED +: 4		3888 SF		

3 - 3rd Floor Level	2- BED	850 SF	MARKET	
4 - 4th Floor Level	2- BED	862 SF	MARKET	
4 - 4th Floor Level	2- BED	934 SF	MARKET	
2 - 2nd Floor Level	2- BED	951 SF	AFFORDABLE	
3 - 3rd Floor Level	2- BED	951 SF	MARKET	
2 - 2nd Floor Level	2- BED	988 SF	MARKET	
3 - 3rd Floor Level	2- BED	988 SF	AFFORDABLE	
4 - 4th Floor Level	2- BED	988 SF	MARKET	
4 - 4th Floor Level	2- BED	995 SF	MARKET	
4 - 4th Floor Level	2- BED	1046 SF	MARKET	
4 - 4th Floor Level	2- BED	1058 SF	MARKET	
3 - 3rd Floor Level	2- BED	1067 SF	MARKET	
2 - 2nd Floor Level	2- BED	1069 SF	MARKET	
2 - 2nd Floor Level	2- BED	1079 SF	MARKET	
2 - 2nd Floor Level	2- BED	1093 SF	MARKET	
3 - 3rd Floor Level	2- BED	1099 SF	MARKET	
2 - 2nd Floor Level	2- BED	1189 SF	MARKET	
2- BED: 17		17207 SF		

2 - 2nd Floor Level	3- BED	1051 SF	AFFORDABLE	
3 - 3rd Floor Level	3- BED	1126 SF	AFFORDABLE	
3- BED: 2		2177 SF		

1 - 1st Floor Level	COMMERCIAL	3500 SF		
COMMERCIAL: 1		3500 SF		

Roof	COMMON	202 SF		
1 - 1st Floor Level	COMMON	571 SF		
Roof	COMMON	813 SF		
3 - 3rd Floor Level	COMMON	1529 SF		
4 - 4th Floor Level	COMMON	1546 SF		
2 - 2nd Floor Level	COMMON	1602 SF		
0 - Garage Level	COMMON	2035 SF		
1 - 1st Floor Level	COMMON	3414 SF		
COMMON: 8		11712 SF		

1 - 1st Floor Level	GARAGE	3699 SF		
0 - Garage Level	GARAGE	11210 SF		
GARAGE: 2		14909 SF		

Roof	GREEN ROOF	335 SF		
Roof	GREEN ROOF	1198 SF		
GREEN ROOF: 2		1533 SF		

Roof	ROOF DECK	300 SF		
Roof	ROOF DECK	1046 SF		
ROOF DECK: 2		1346 SF		

Area Schedule (BY FLOOR)				
Name	Level	Area	Comments	Type
COMMERCIAL	1 - 1st Floor Level	3500 SF		
1 - 1st Floor Level: 1		3500 SF		
3- BED	2 - 2nd Floor Level	1051 SF	UNIT #201	AFFORDABLE
2- BED	2 - 2nd Floor Level	1093 SF	UNIT #202	MARKET
2- BED	2 - 2nd Floor Level	1079 SF	UNIT #203	MARKET
2- BED	2 - 2nd Floor Level	988 SF	UNIT #204	MARKET
2- BED	2 - 2nd Floor Level	1189 SF	UNIT #205	MARKET
1- BED	2 - 2nd Floor Level	772 SF	UNIT #206	MARKET
1- BED	2 - 2nd Floor Level	717 SF	UNIT #207	AFFORDABLE
1- BED	2 - 2nd Floor Level	777 SF	UNIT #208	AFFORDABLE
1- BED	2 - 2nd Floor Level	682 SF	UNIT #209	MARKET
1- BED +	2 - 2nd Floor Level	1029 SF	UNIT #210	MARKET
2- BED	2 - 2nd Floor Level	951 SF	UNIT #211	AFFORDABLE
2- BED	2 - 2nd Floor Level	1069 SF	UNIT #212	MARKET
1- BED	2 - 2nd Floor Level	634 SF	UNIT #213	MARKET
2 - 2nd Floor Level: 13		12031 SF		

1- BED +	3 - 3rd Floor Level	797 SF	UNIT #301	MARKET
2- BED	3 - 3rd Floor Level	850 SF	UNIT #302	MARKET
2- BED	3 - 3rd Floor Level	1099 SF	UNIT #303	MARKET
1- BED	3 - 3rd Floor Level	628 SF	UNIT #304	MARKET
3- BED	3 - 3rd Floor Level	1126 SF	UNIT #305	AFFORDABLE
2- BED	3 - 3rd Floor Level	988 SF	UNIT #306	AFFORDABLE
1- BED	3 - 3rd Floor Level	717 SF	UNIT #307	MARKET
1- BED	3 - 3rd Floor Level	772 SF	UNIT #308	AFFORDABLE
1- BED	3 - 3rd Floor Level	682 SF	UNIT #309	MARKET
1- BED	3 - 3rd Floor Level	777 SF	UNIT #310	MARKET
2- BED	3 - 3rd Floor Level	951 SF	UNIT #311	MARKET
1- BED +	3 - 3rd Floor Level	1031 SF	UNIT #312	MARKET
1- BED	3 - 3rd Floor Level	634 SF	UNIT #313	AFFORDABLE
2- BED	3 - 3rd Floor Level	1067 SF	UNIT #314	MARKET
3 - 3rd Floor Level: 14		12118 SF		

2- BED	4 - 4th Floor Level	1046 SF	UNIT #401	MARKET
2- BED	4 - 4th Floor Level	995 SF	UNIT #402	MARKET
2- BED	4 - 4th Floor Level	862 SF	UNIT #403	MARKET
2- BED	4 - 4th Floor Level	988 SF	UNIT #404	MARKET
1- BED	4 - 4th Floor Level	701 SF	UNIT #405	MARKET
1- BED	4 - 4th Floor Level	763 SF	UNIT #406	MARKET
1- BED	4 - 4th Floor Level	826 SF	UNIT #407	MARKET
1- BED	4 - 4th Floor Level	777 SF	UNIT #408	MARKET
1- BED	4 - 4th Floor Level	717 SF	UNIT #409	MARKET
1- BED +	4 - 4th Floor Level	1031 SF	UNIT #410	MARKET
1- BED	4 - 4th Floor Level	682 SF	UNIT #411	MARKET
2- BED	4 - 4th Floor Level	1058 SF	UNIT #412	MARKET
2- BED	4 - 4th Floor Level	934 SF	UNIT #413	MARKET
1- BED	4 - 4th Floor Level	634 SF	UNIT #414	MARKET
4 - 4th Floor Level: 14		12015 SF		
Grand total: 42		39664 SF		

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**ARCHITECT**



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**Unit/ Sellable Area Schedule**

**A-023**

THE ONYX MIXED-USE

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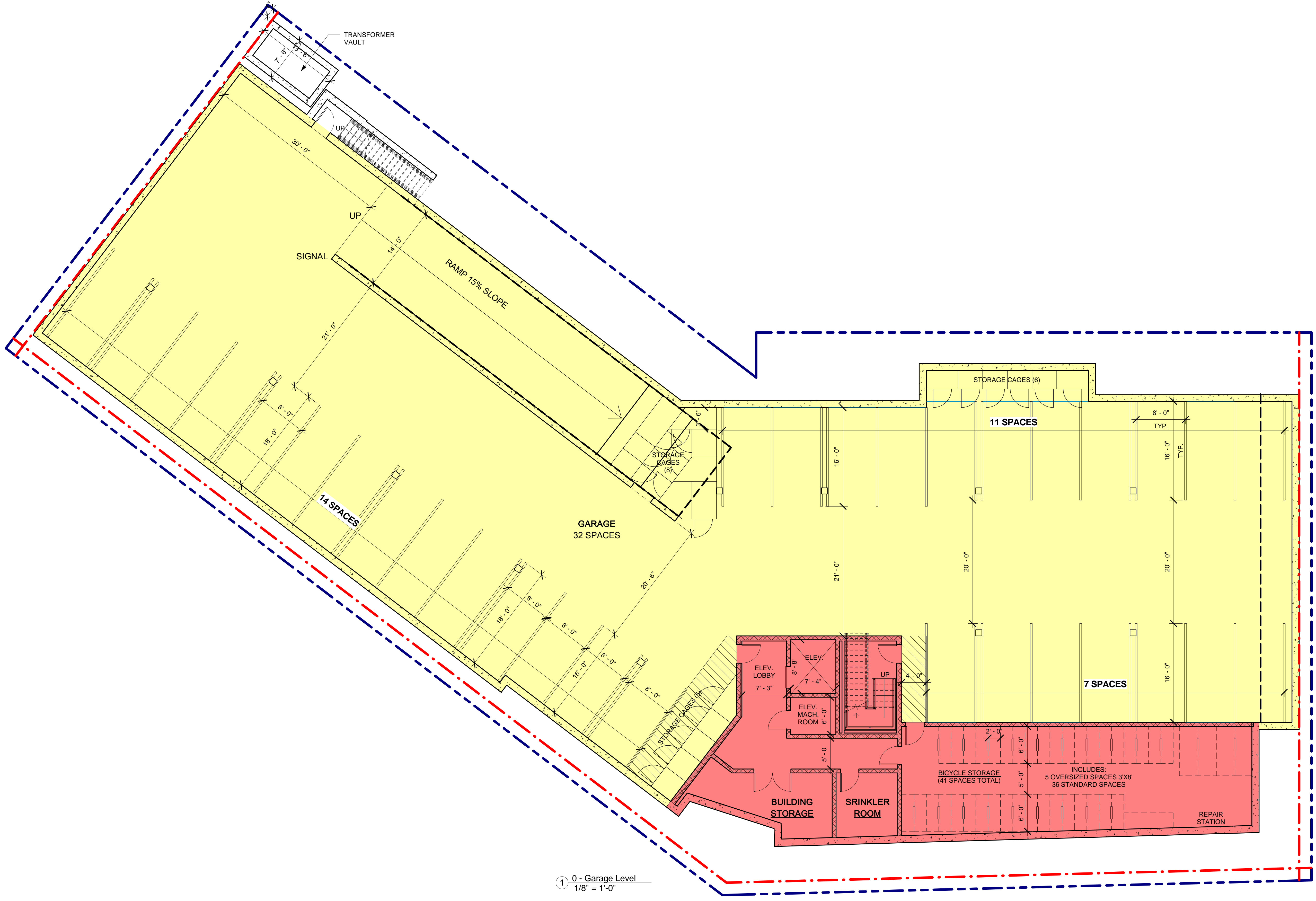
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Garage Plan

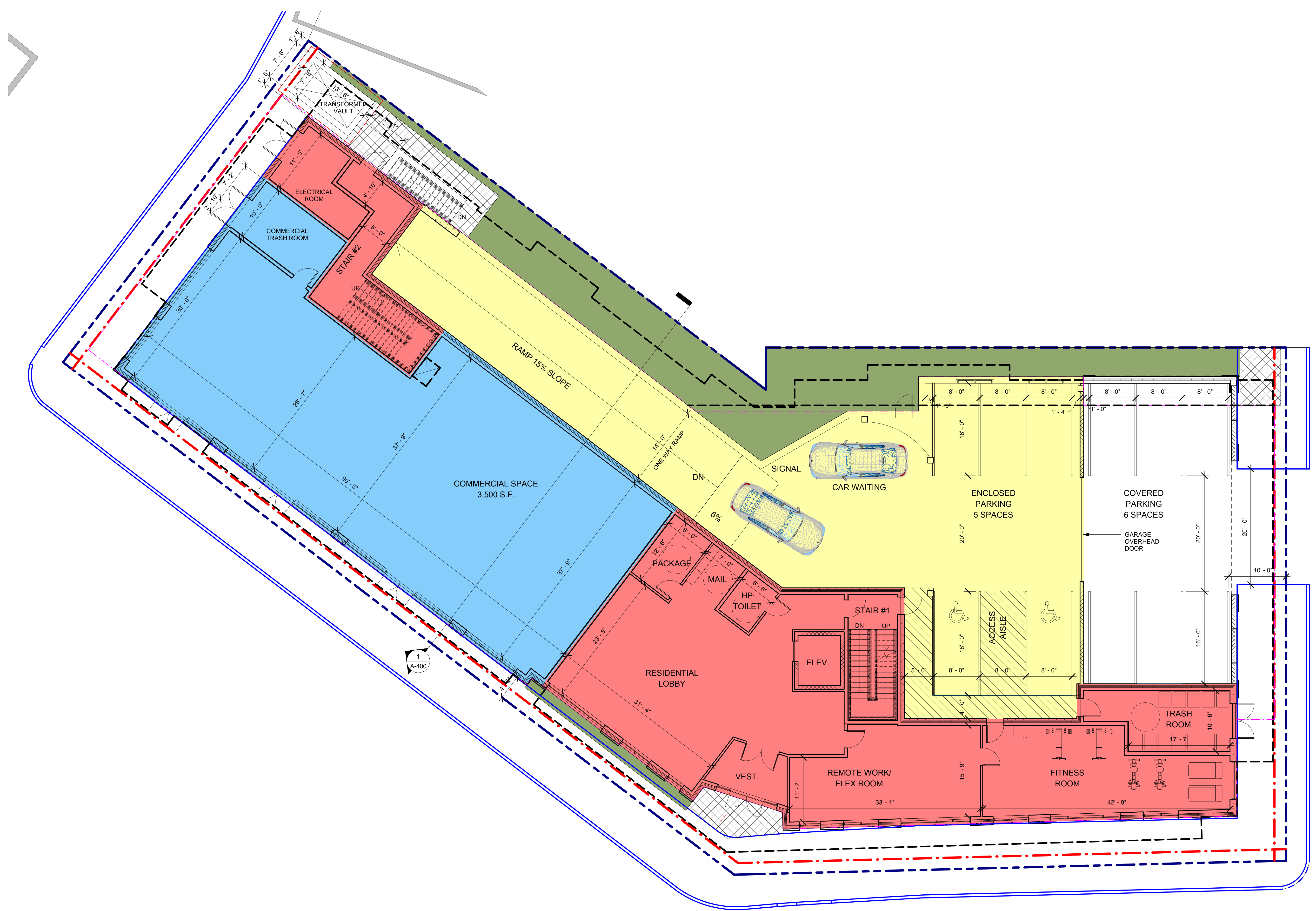
**A-100**

THE ONYX MIXED-USE



1 0 - Garage Level  
 1/8" = 1'-0"

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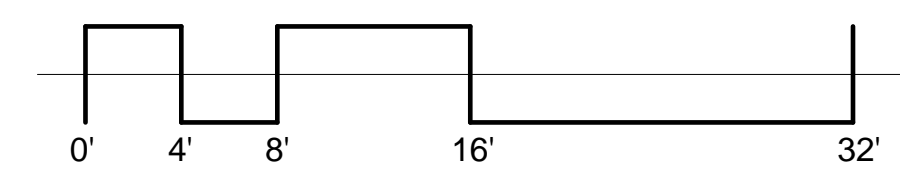
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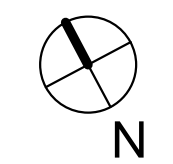
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1 - 1st Floor Level  
 1/8" = 1'-0"



1st Floor Plan

**A-101**

THE ONYX MIXED-USE





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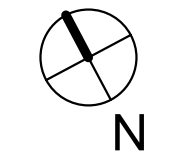
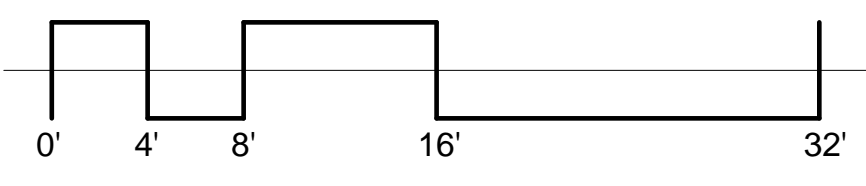
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① 2nd-4th Floor Plan  
 1/8" = 1'-0"

2nd Floor Plan

**A-102**  
 THE ONYX MIXED-USE



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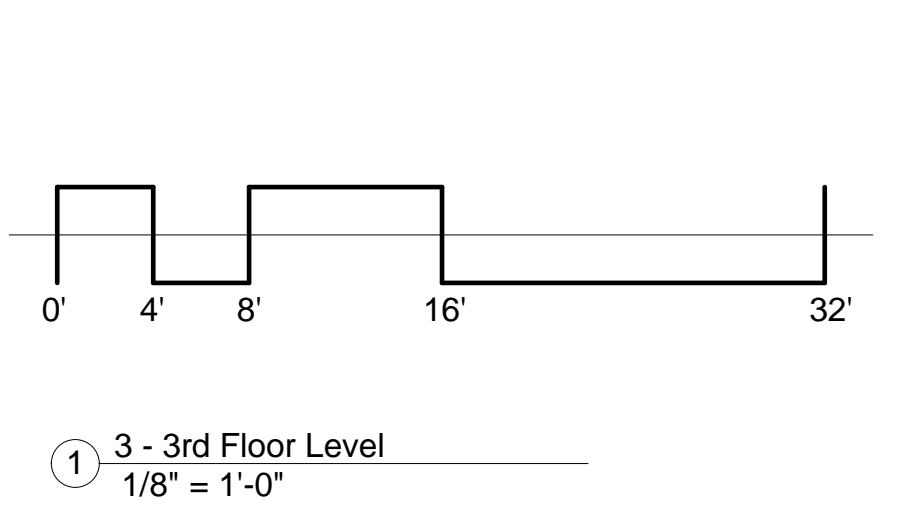
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**3rd Floor Plan**

**A-103**

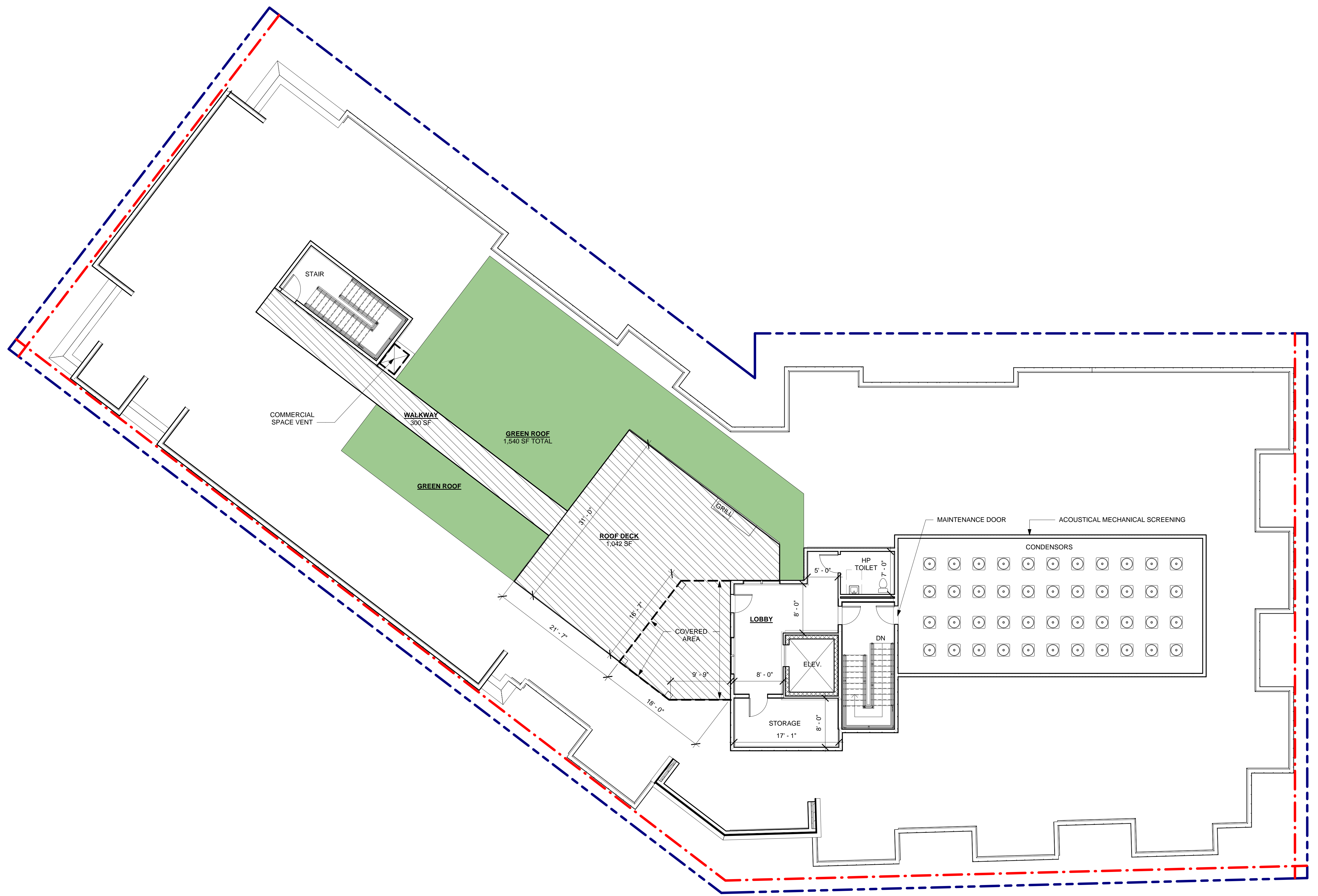
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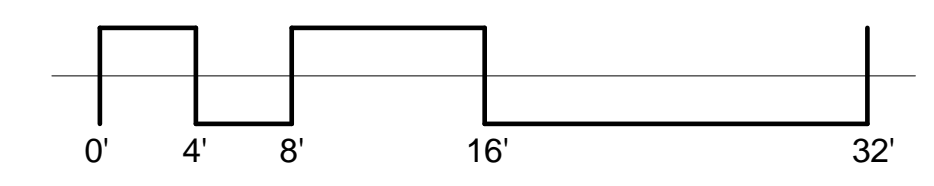


**REGISTRATION**

Project number 20028  
 Date 03/29/2022  
 Drawn by TC  
 Checked by JSK  
 Scale 1/8" = 1'-0"

**REVISIONS**

No.	Description	Date



① Roof  
 1/8" = 1'-0"

**Roof Plan**

**A-105**

THE ONYX MIXED-USE

PROJECT NAME  
**THE ONYX  
MIXED-USE**

PROJECT ADDRESS  
16-20 MEDFORD ST  
SOMERVILLE MA

CLIENT  
**SOMERVILLE LIVING  
LLC.**

ARCHITECT  
  
**KHALSA**

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX:  
617-591-2086

CONSULTANTS:

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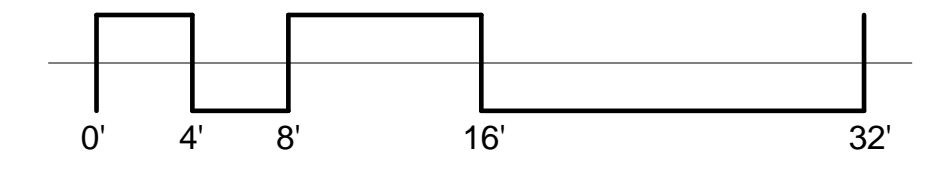
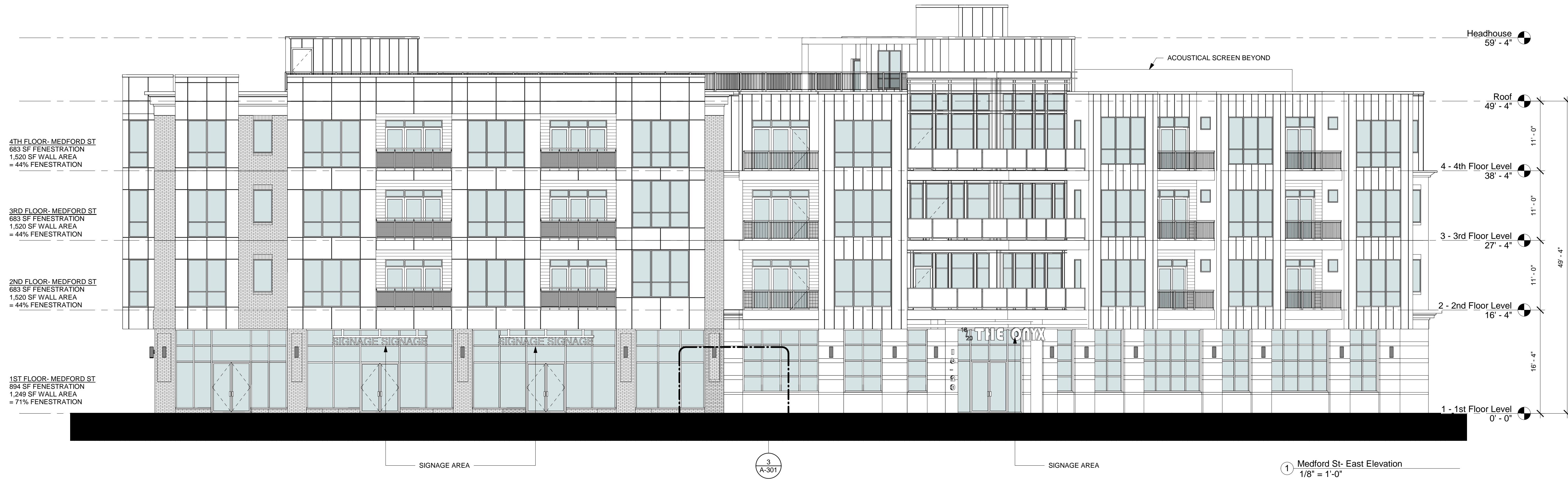

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Date 03/29/2022  
Drawn by TC  
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Scale 1/8" = 1'-0"

REVISIONS

No.	Description	Date

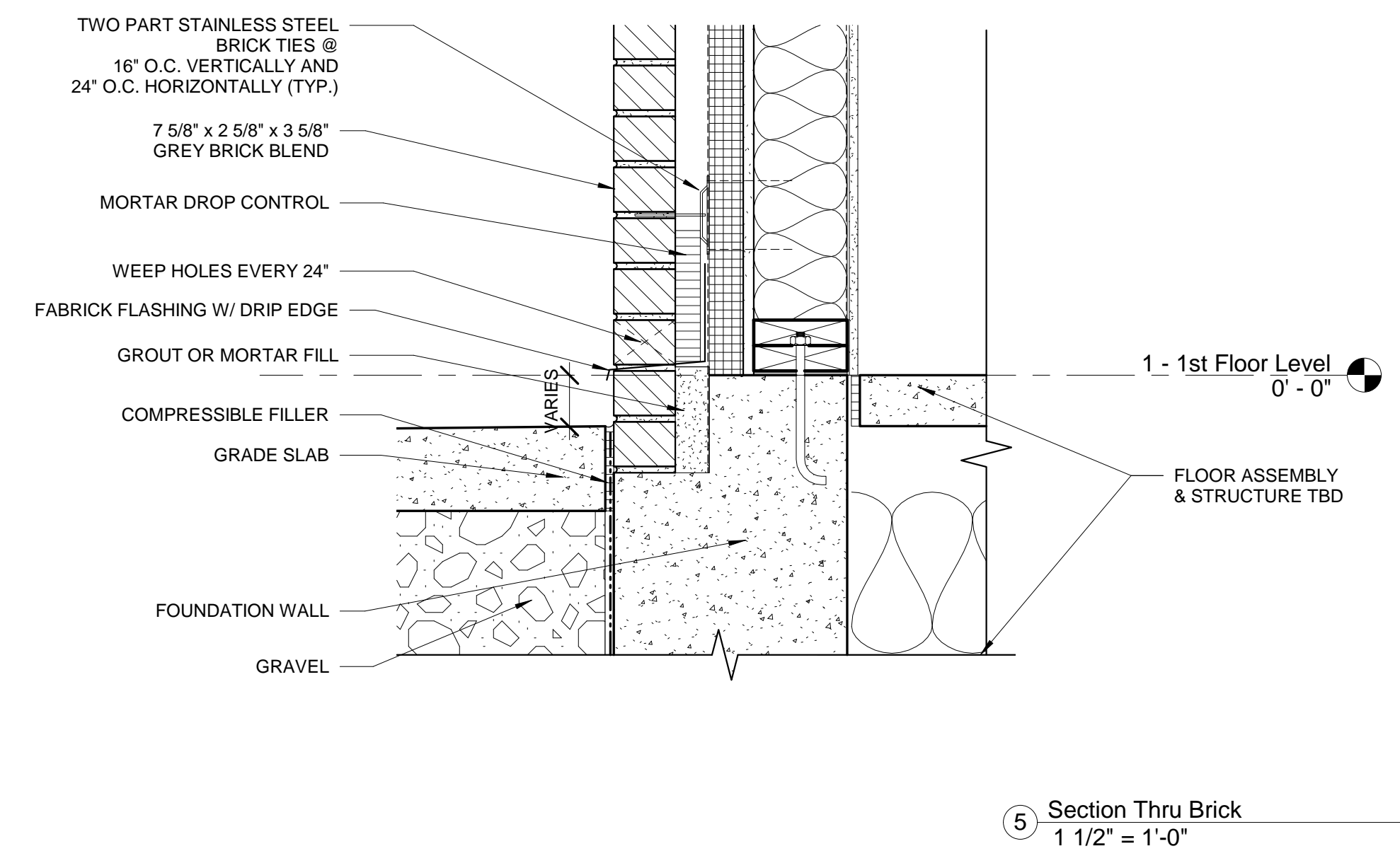
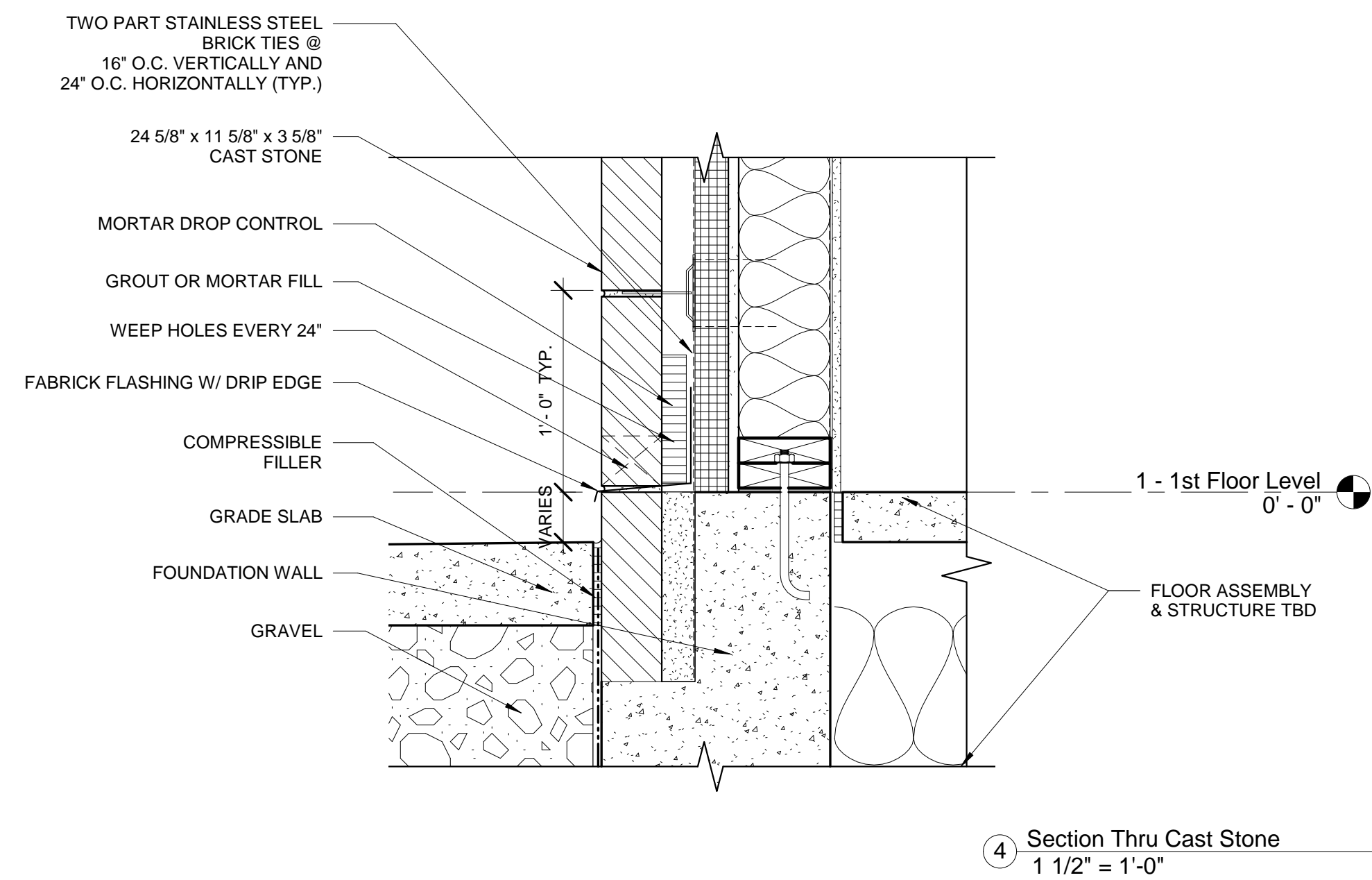
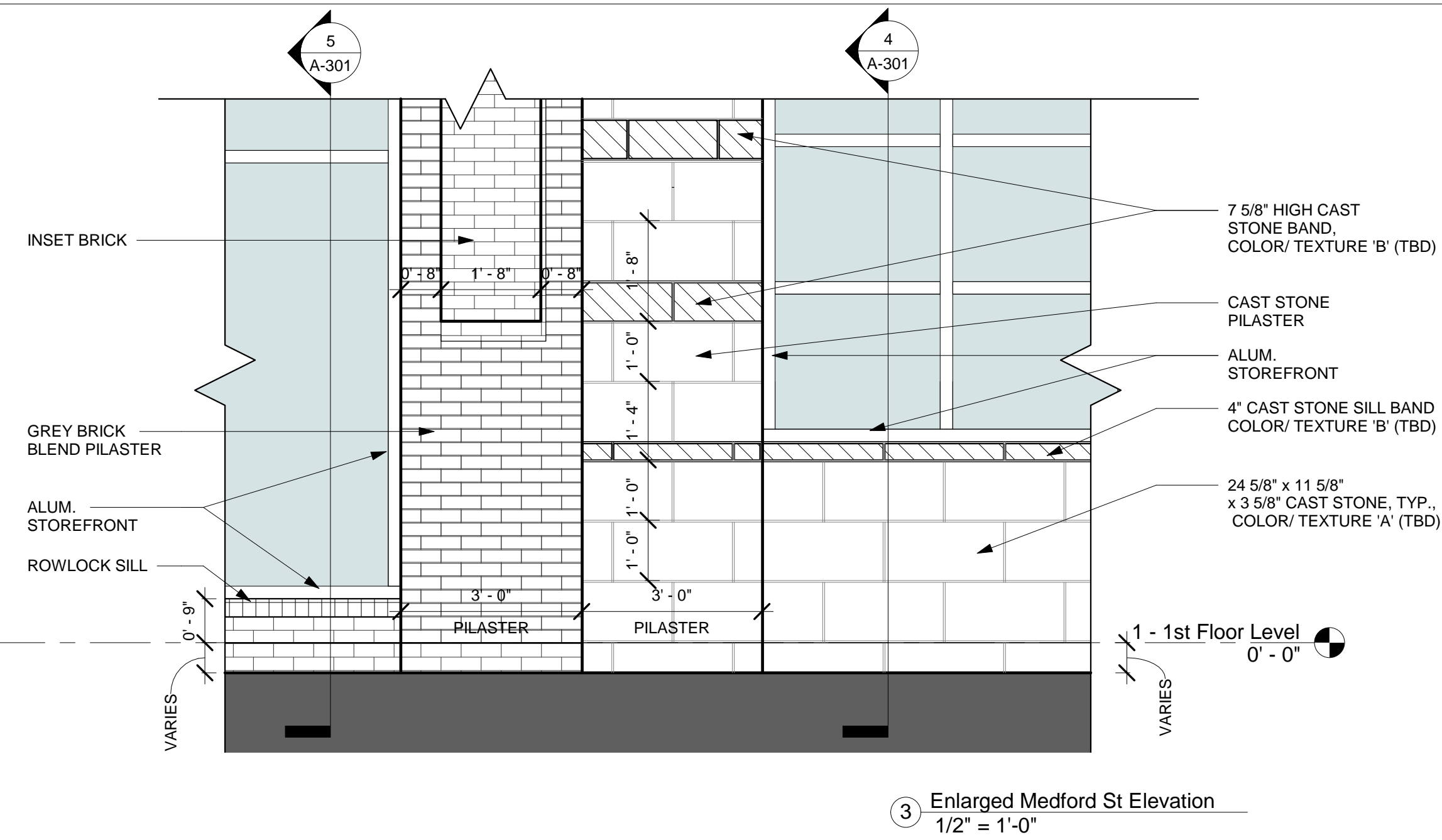
Exterior Elevations

**A-300**  
THE ONYX MIXED-USE



I:\TKG-SERVER\Drawn\2020\2028-Ugo-Medford & Bedford Streets\03 Drawings\00\_ARCH\_SD\_DDI16 Medford\16-20 Medford St\_ Revised Roof Deck.rvt 3/30/2022 11:07:01 AM

ENLARGED DETAILS



PROJECT NAME  
**THE ONYX MIXED-USE**

PROJECT ADDRESS  
16-20 MEDFORD ST  
SOMERVILLE MA

CLIENT  
**SOMERVILLE LIVING LLC.**

ARCHITECT  
**DESIGN KHALSA**

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REGISTRATION  
**CONSTRUCTION**

Project number 20028  
Date 03/29/2022  
Drawn by Author  
Checked by Checker  
Scale As indicated

REVISIONS

No.	Description	Date

Exterior Elevations

**A-301**  
THE ONYX MIXED-USE

\\TKG-SERVER\Draws\2020\2028-Ugo-Medford & Bedford Streets\03 Drawings\03 Medford\16-20 Medford St\_ Revised Roof Deck.rvt 3/30/2022 11:07:06 AM



**PROPOSED VIEW FROM CORNER OF MEDFORD & SOUTH STREET**



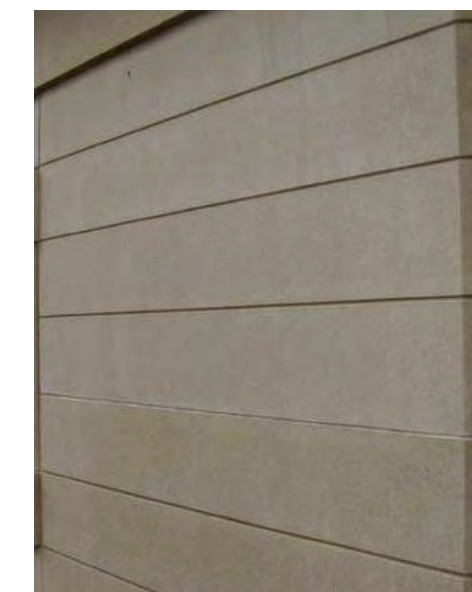
GREY BRICK BLEND



CEMBRIT FIBER CEMENT PANEL  
COLOR: WHITE



SIMULATED CEDAR PANEL



CAST STONE



STANDING SEAM SIDING  
COLOR: CHARCOAL GREY

**PROJECT NAME**

**THE ONYX  
MIXED-USE**

**PROJECT ADDRESS**

16-20 MEDFORD ST  
SOMERVILLE MA

**CLIENT**

**SOMERVILLE LIVING  
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**ARCHITECT**



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**REGISTRATION**



Project number	20028
Date	03/29/2022
Drawn by	Author
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Scale	

**REVISIONS**

No.	Description	Date

Proposed  
Rendering

**A-302**

THE ONYX MIXED-USE



WARREN STREET ELEVATION



MEDFORD STREET ELEVATION



SOUTH STREET ELEVATION



BEDFORD STREET ELEVATION



REAR ELEVATION



REAR ELEVATION

**PROJECT NAME**  
**THE ONYX MIXED-USE**

**PROJECT ADDRESS**  
 16-20 MEDFORD ST  
 SOMERVILLE MA

**CLIENT**  
**SOMERVILLE LIVING LLC.**

**ARCHITECT**  


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Project number 20028  
 Date 03/29/2022  
 Drawn by TC  
 Checked by JSK  
 Scale

**REVISIONS**

No.	Description	Date

Rendered Elevations

**A-303**

THE ONYX MIXED-USE



PROJECT NAME  
**THE ONYX  
 MIXED-USE**

PROJECT ADDRESS  
 16-20 MEDFORD ST  
 SOMERVILLE MA

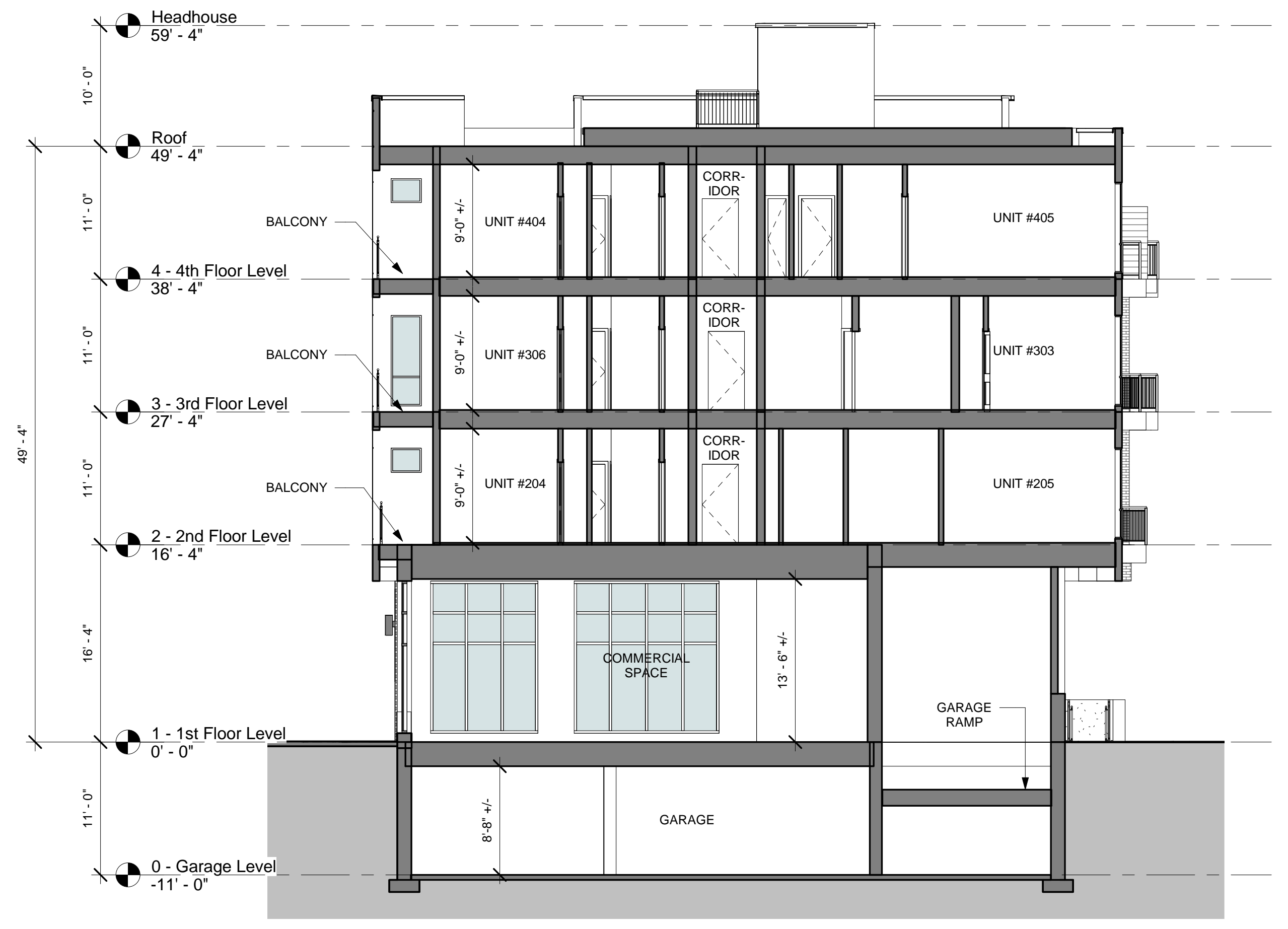
CLIENT  
**SOMERVILLE LIVING  
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ARCHITECT



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 617-591-2086

CONSULTANTS:



① Building Cross Section  
 1/8" = 1'-0"

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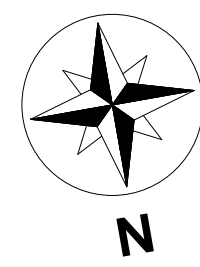
REVISIONS

No.	Description	Date

Building Section

**A-400**

THE ONYX MIXED-USE

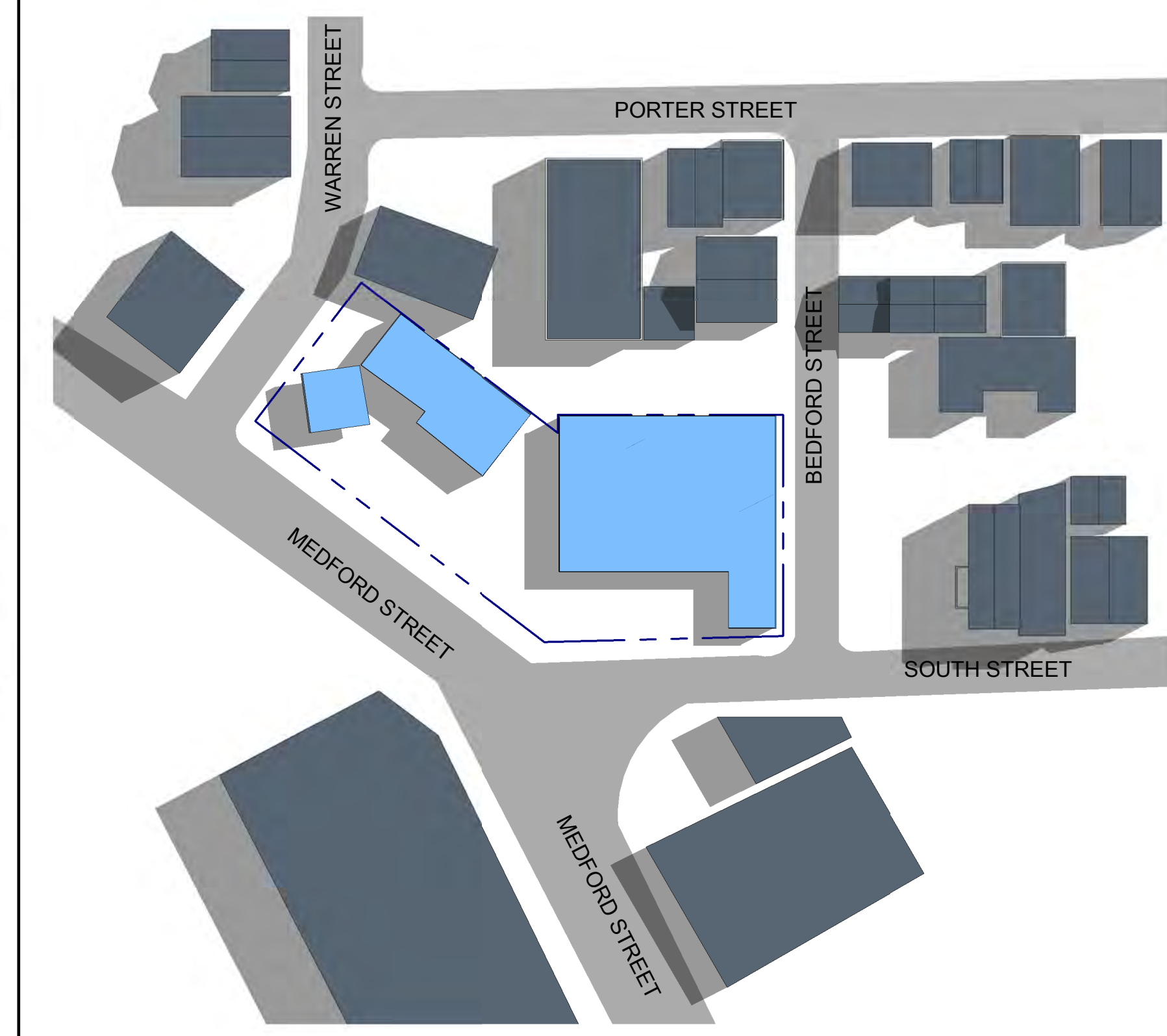
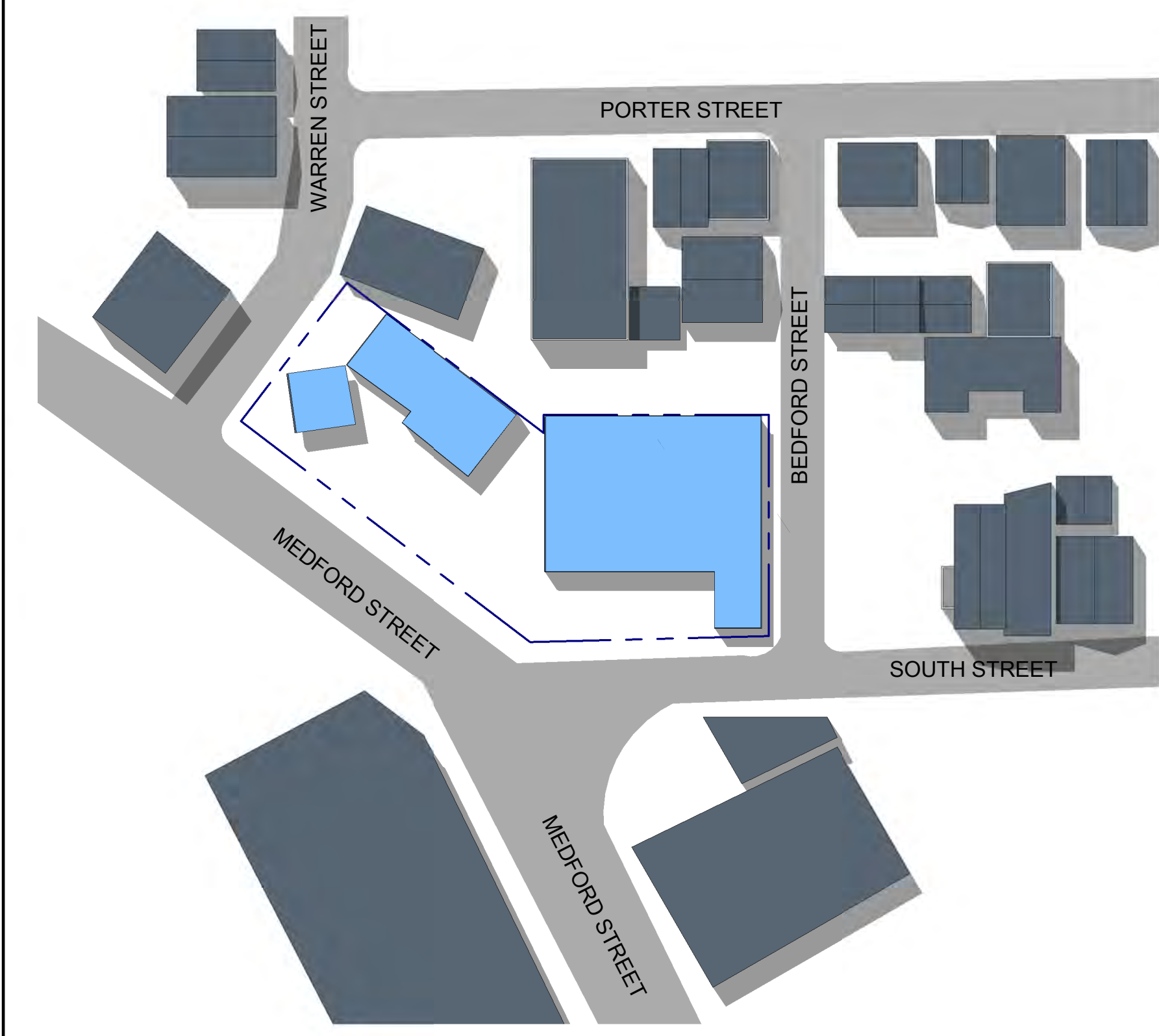


**MORNING (9 AM - 10 AM)**

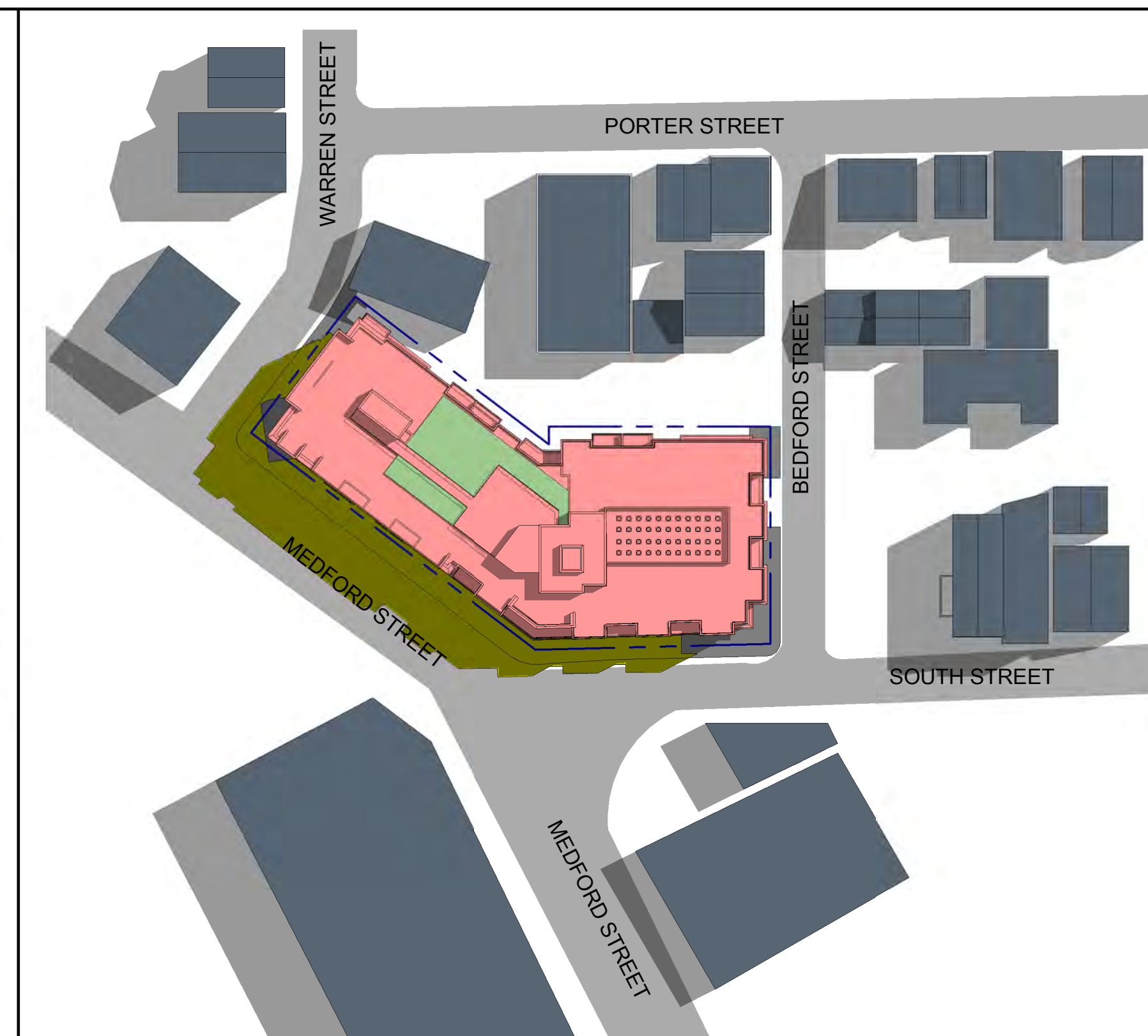
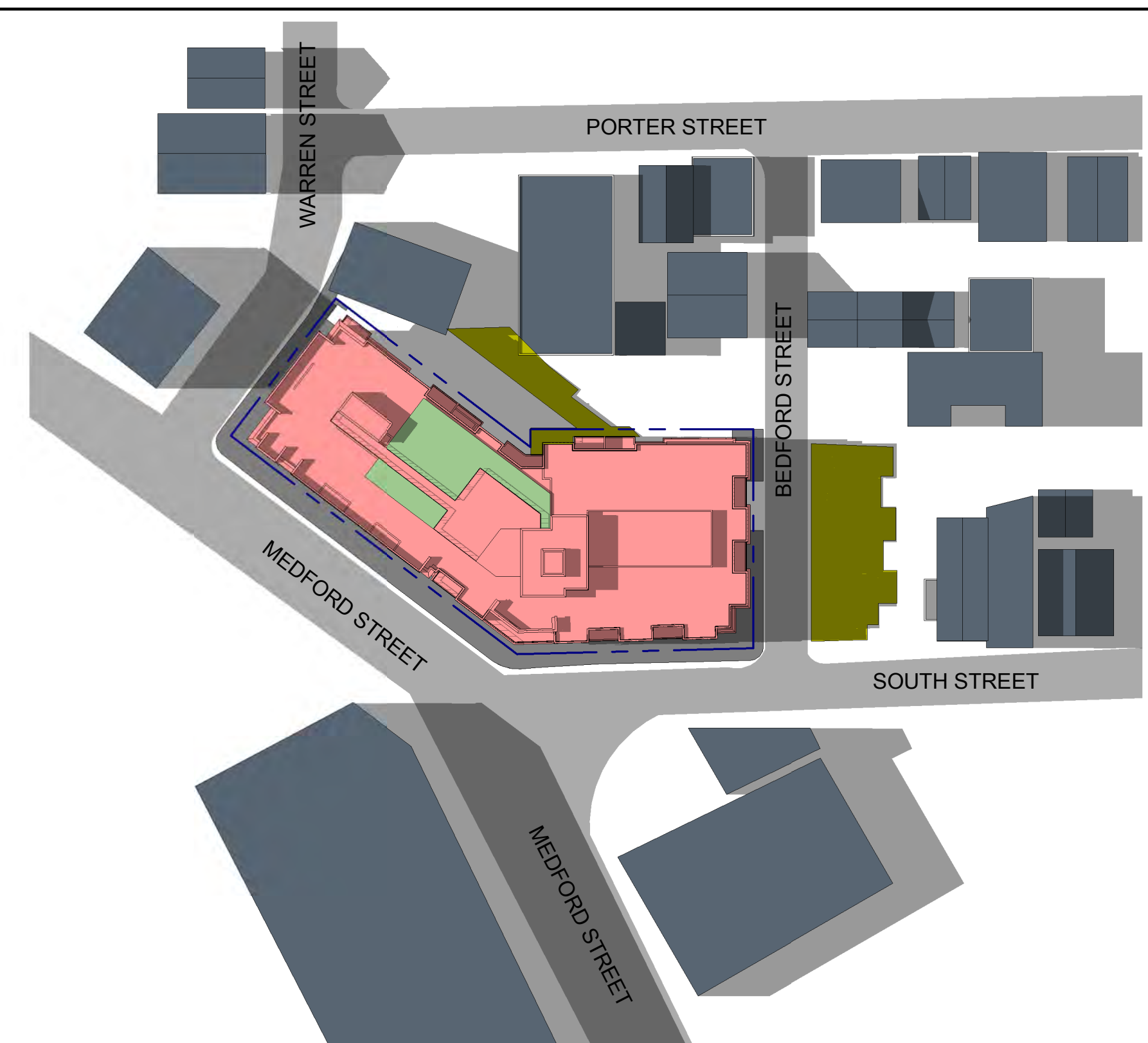
**NOON (12 PM - 1 PM)**

**AFTERNOON (3PM - 4 PM)**

**EXISTING CONDITION**



**PROPOSED CONDITION**



 **ADDITIONAL SHADOWS**

**SUMMER SOLSTICE**

PROJECT NAME  
**THE ONYX MIXED-USE**

PROJECT ADDRESS  
16-20 MEDFORD ST  
SOMERVILLE MA

CLIENT  
**SOMERVILLE LIVING LLC.**

ARCHITECT  
  
**KHALSA**

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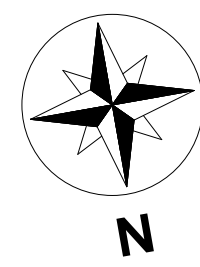
REGISTRATION  
Project number 20028  
Date 03/29/2022  
Drawn by Author  
Checked by Checker  
Scale As indicated

REVISIONS

No.	Description	Date

Shadow Study

**AV-1**  
THE ONYX MIXED-USE

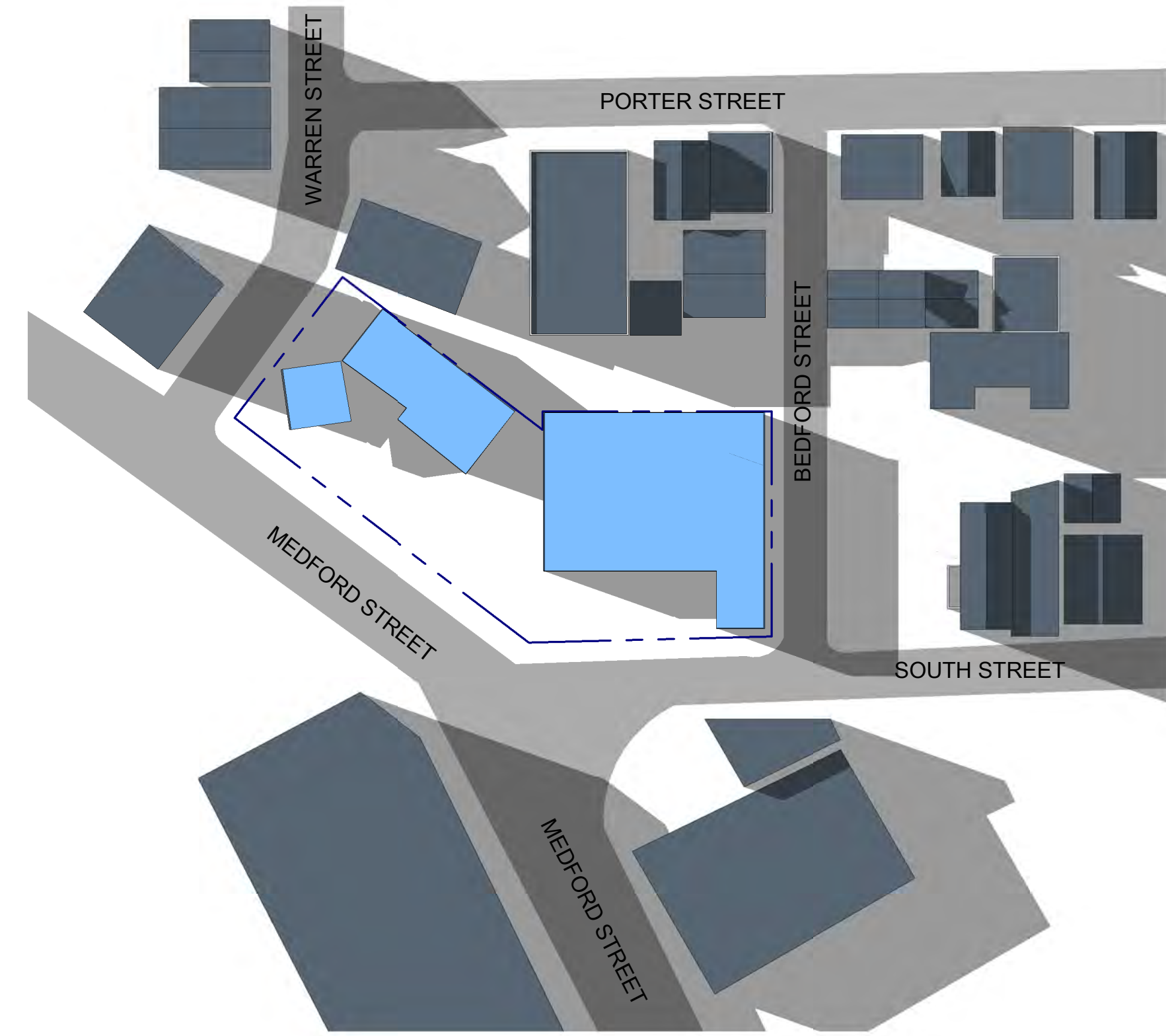


**MORNING (9 AM - 10 AM)**

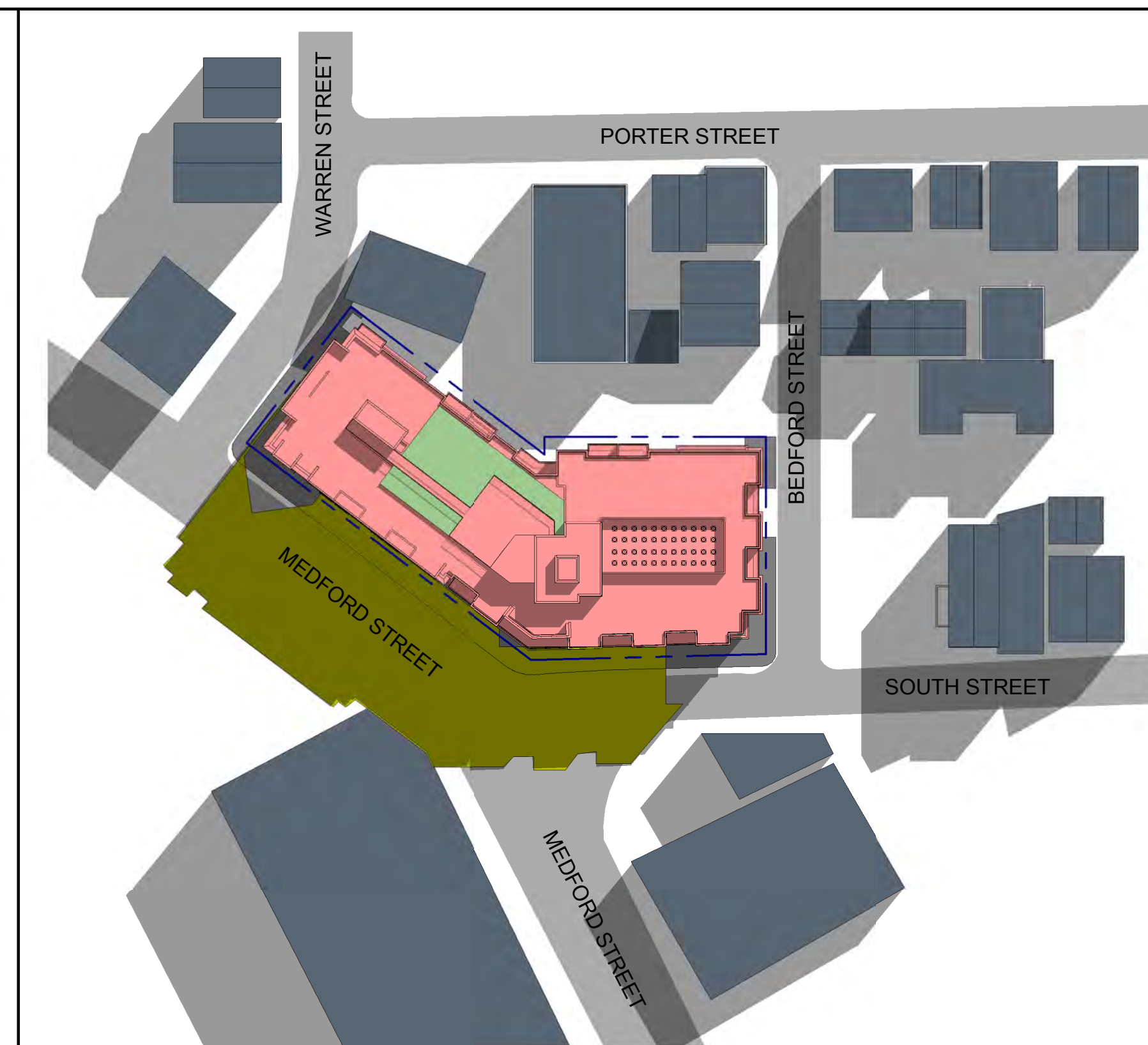
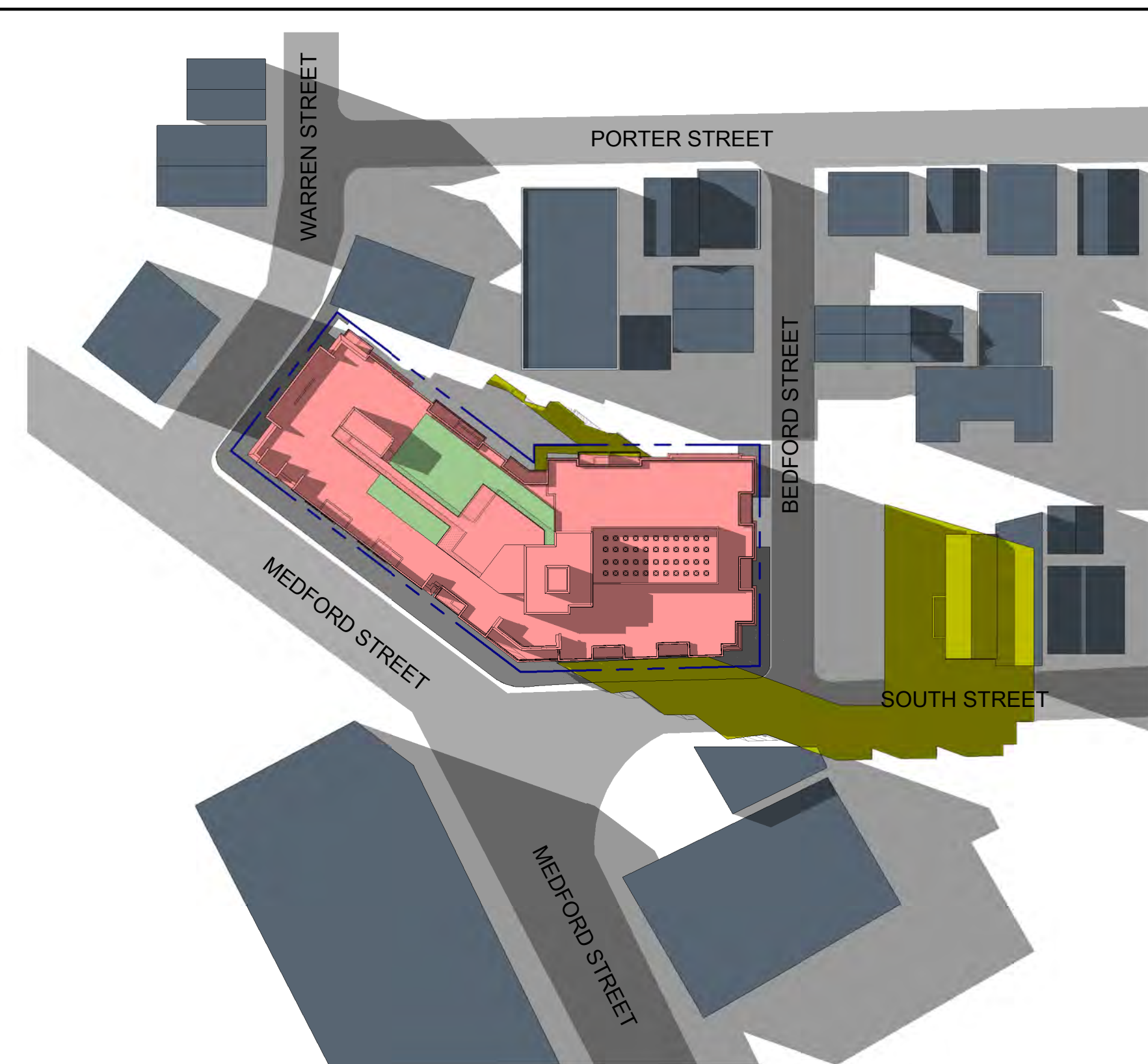
**NOON (12 PM - 1 PM)**

**AFTERNOON (3PM - 4 PM)**

**EXISTING CONDITION**



**PROPOSED CONDITION**



 **ADDITIONAL SHADOWS**

**FALL / SPRING EQUINOX**

PROJECT NAME  
**THE ONYX MIXED-USE**

PROJECT ADDRESS  
16-20 MEDFORD ST  
SOMERVILLE MA

CLIENT  
**SOMERVILLE LIVING LLC.**

ARCHITECT  


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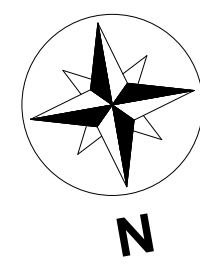
Project number 20028  
Date 03/29/2022  
Drawn by Author  
Checked by Checker  
Scale As indicated

**REVISIONS**

No.	Description	Date

Shadow Study

**AV-2**  
THE ONYX MIXED-USE

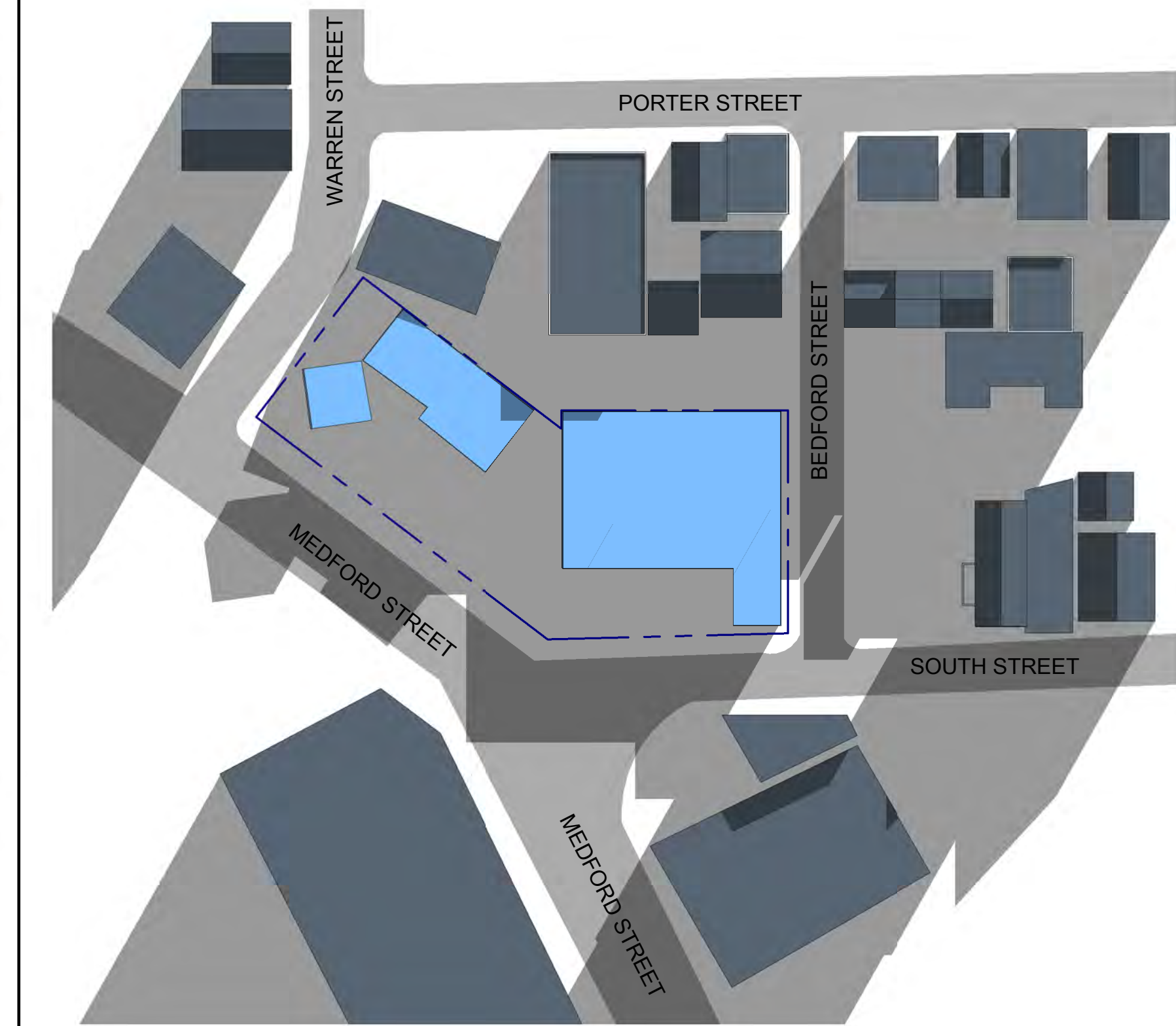
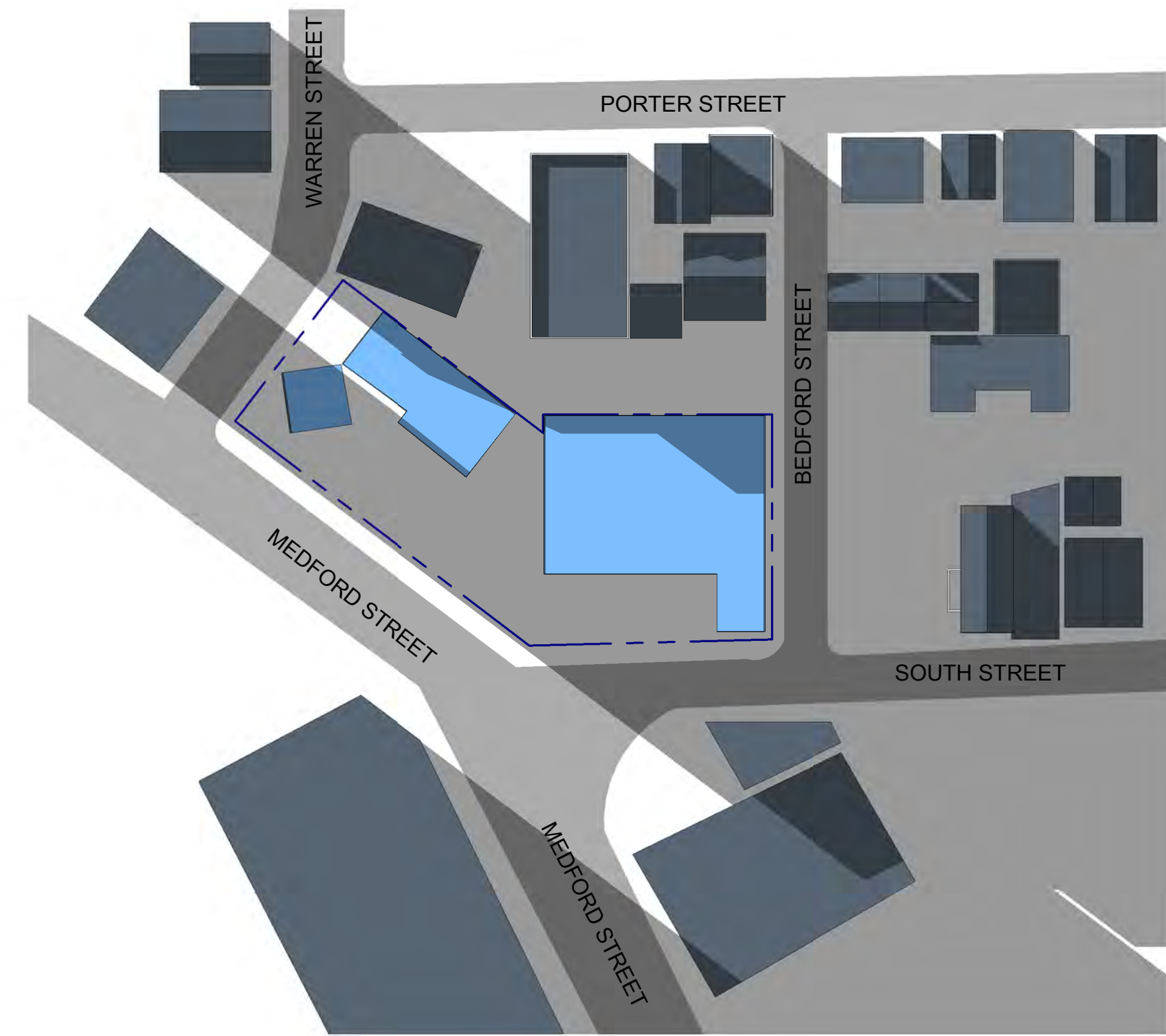


**MORNING (9 AM - 10 AM)**

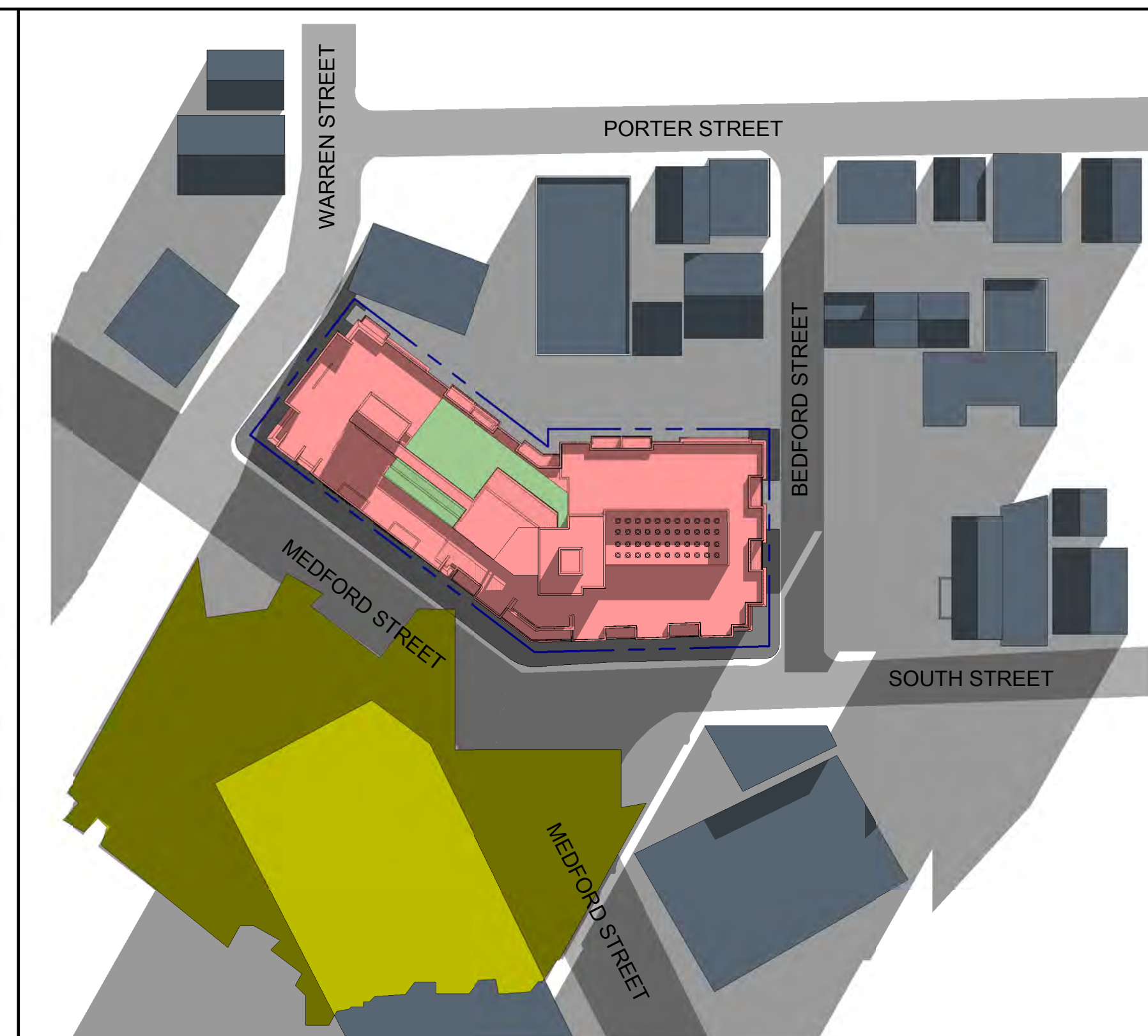
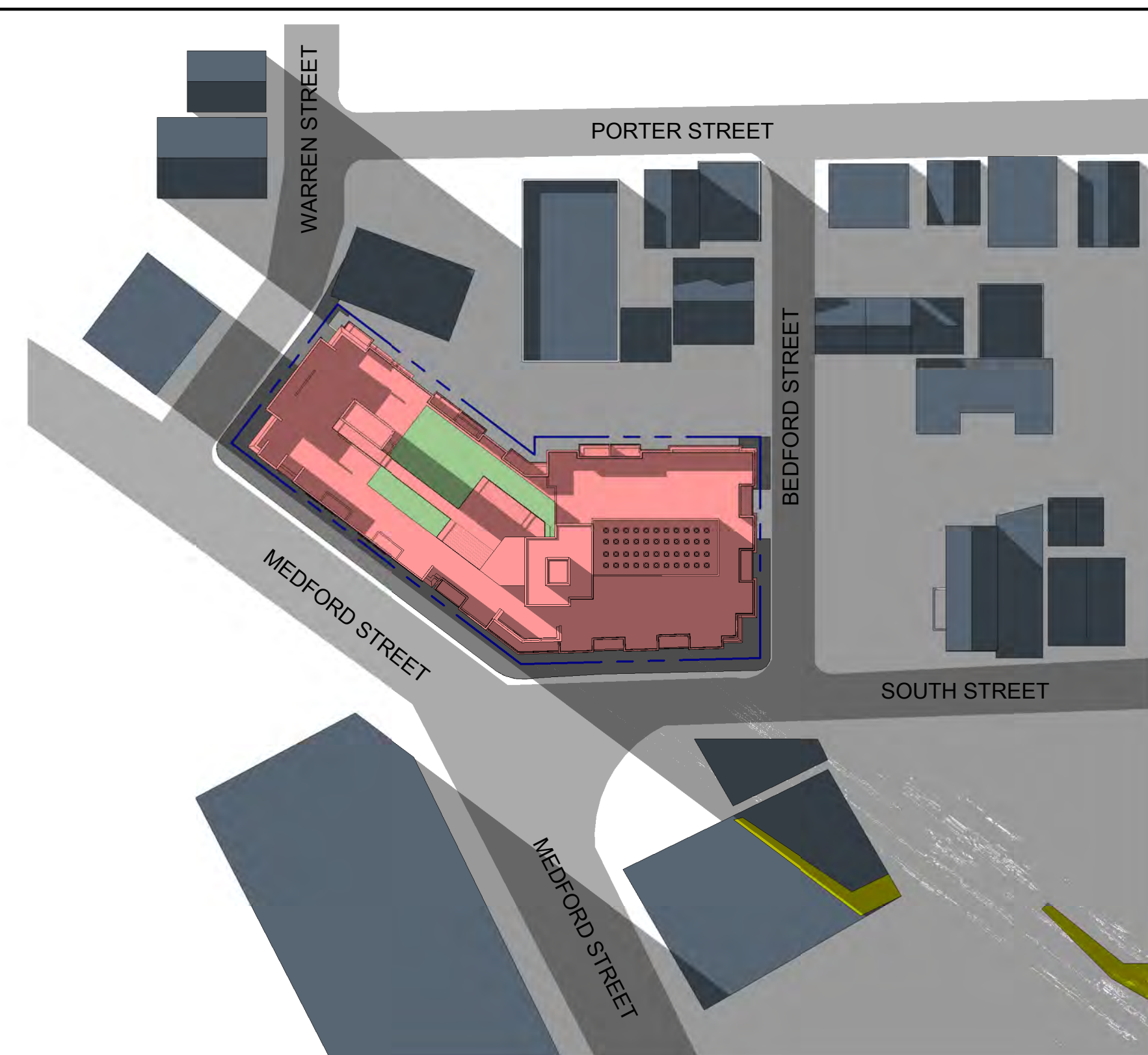
**NOON (12 PM - 1 PM)**

**AFTERNOON (3PM - 4 PM)**

**EXISTING CONDITION**



**PROPOSED CONDITION**



 **ADDITIONAL SHADOWS**

**WINTER SOLSTICE**

PROJECT NAME  
**THE ONYX MIXED-USE**

PROJECT ADDRESS  
16-20 MEDFORD ST  
SOMERVILLE MA

CLIENT  
**SOMERVILLE LIVING LLC.**

ARCHITECT



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REGISTRATION



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Date 03/29/2022  
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**REVISIONS**

No.	Description	Date

Shadow Study

**AV-3**  
THE ONYX MIXED-USE