



# SPECIAL PERMIT SET 5-14-2018

# BROADWAY HOTEL

PROJECT ADDRESS:  
1154 BROADWAY  
SOMERVILLE, MASSACHUSETTS

CLIENT  
1154 BROADWAY REALTY TRUST  
ADDRESS:  
1274 BROADWAY  
SOMERVILLE, MA 02144

ARCHITECT  
KHALSA DESIGN INC.  
ADDRESS:  
17 IVALOO STREET, SUITE 400  
SOMERVILLE, MA 02143

MEP ENGINEER  
XXX  
ADDRESS:

STRUCTURAL  
VEITAS & VEITAS  
ADDRESS:  
639 GRANITE STREET, SUITE 101  
BRAINTREE MA 02184

PROJECT NAME  
**BROADWAY HOTEL**

PROJECT ADDRESS  
1154 BROADWAY  
SOMERVILLE, MA

CLIENT  
**BINOJ PRADHAN**

ARCHITECT

**KHALSA**

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

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**REGISTRATION**

Project number 16060  
Date 5-14-2018  
Drawn by NB  
Checked by JSK  
Scale 1/8" = 1'-0"

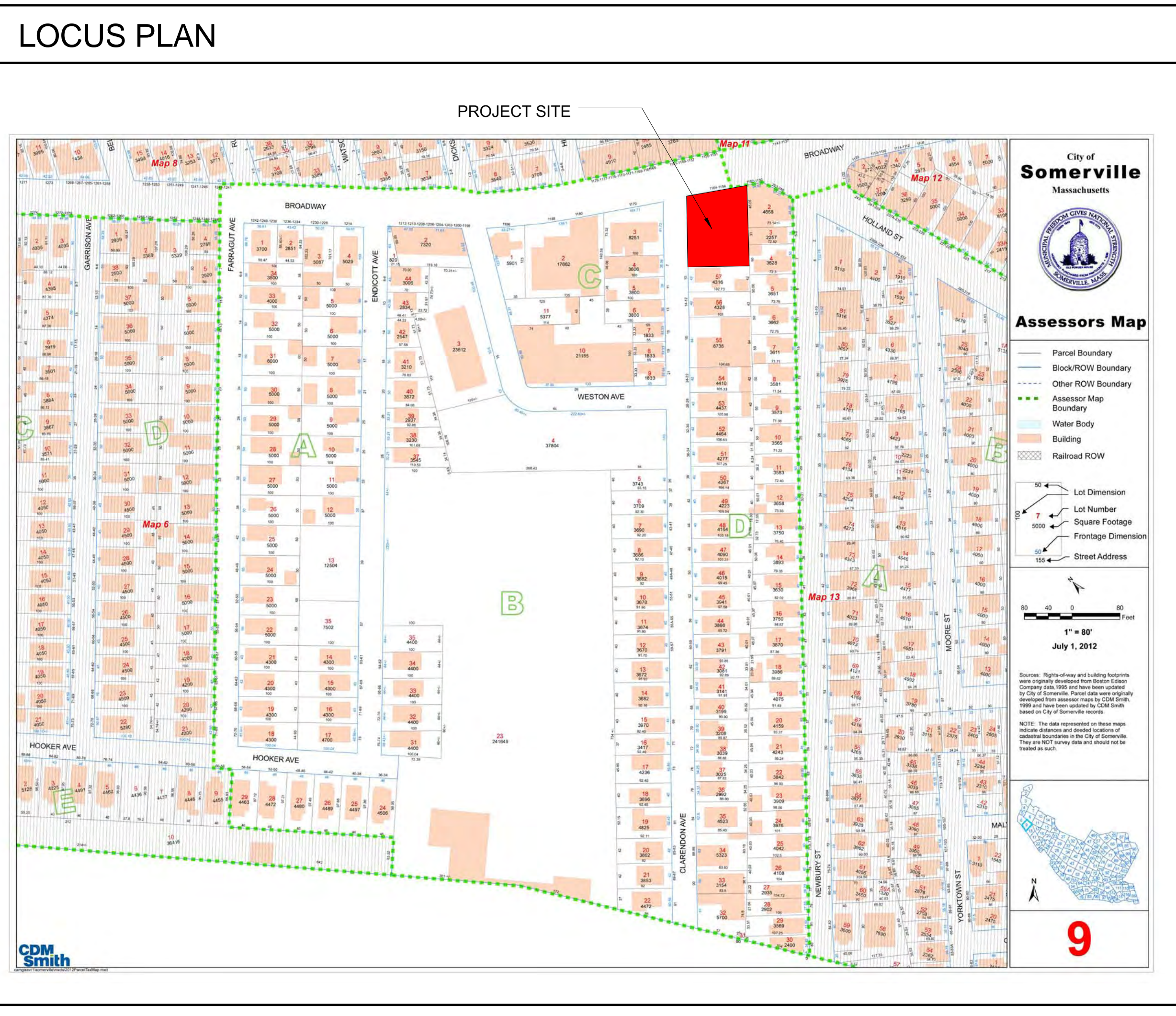
**REVISIONS**

No.	Description	Date

Cover Sheet

**A-000**

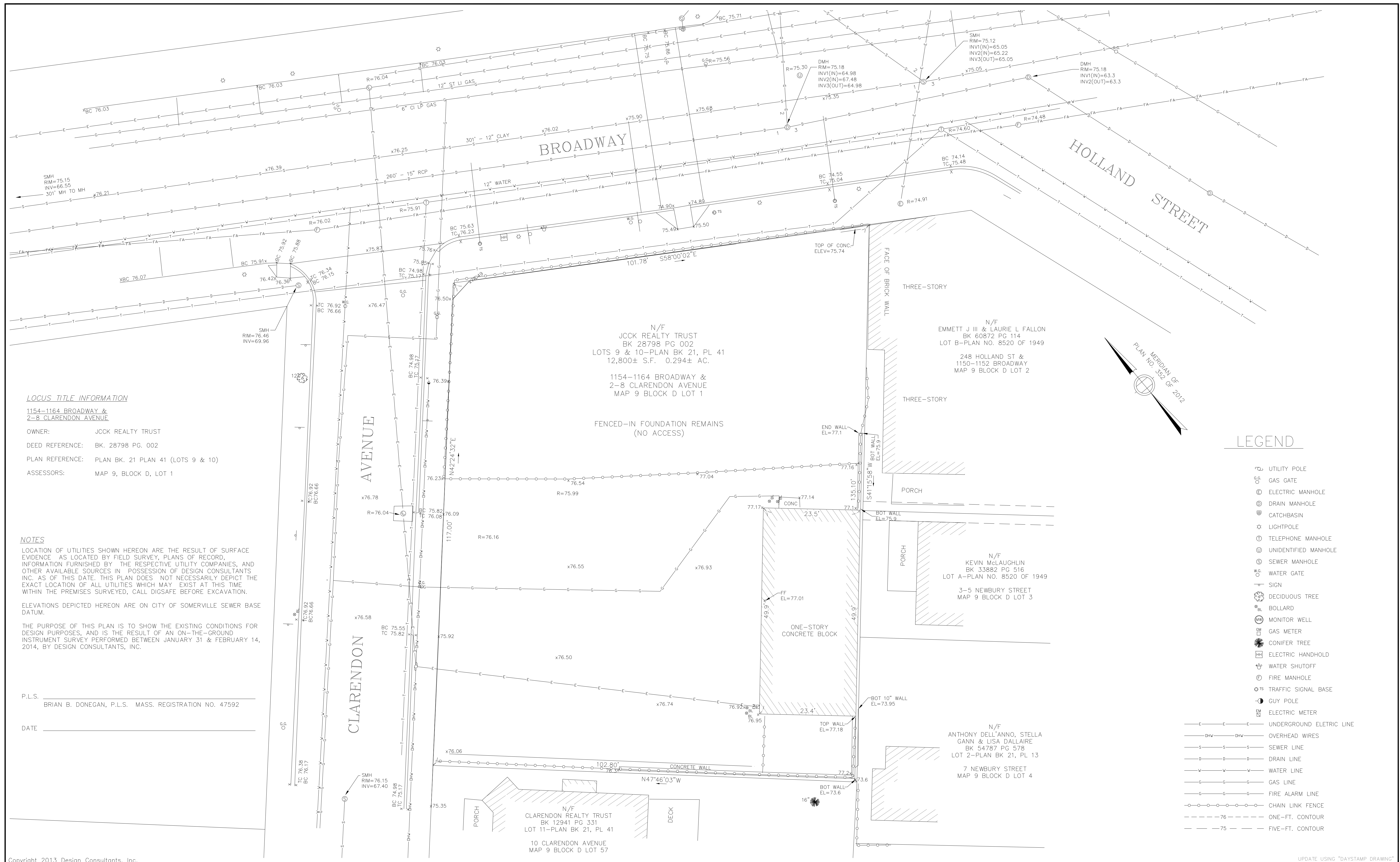
BROADWAY HOTEL



Architectural Drawing List

Sheet Number	Sheet Name	Sheet Issue Date
0-Cover		
A-000	Cover Sheet	12/17/07
1-Civil		
C-1	Existing Conditions Plan	05/16/18
L-1	Illustrative Landscape	05/16/18
2-Architectural		
A-020	Site Plan	05/18/17
A-100	Floor Plans	05/18/17
A-300	Elevations	05/18/17
AV-1	Rendering - Broadway Facade	05/04/18
AV-2	Rendering - Broadway Approaching	05/04/18
AV-3	Rendering - Pedestrian Broadway View	05/08/18
AV-4	Rendering - Curtis St. View	05/08/18
AV-5	Rendering - Hotel Caffee Courtyard View	05/08/18
AV-6	Rendering - Roof Deck View	05/08/18
AV-7	Rendering - Clarendon St. View	05/09/18
AV-8	Perspectives	05/23/17
AV-9	Neighborhood Context	05/14/18
AV-10	Shadow Study - Summer/Fall	05/14/18
AV-11	Shadow Study - Winter/Spring	05/14/18





**LOCUS TITLE INFORMATION**

1154-1164 BROADWAY &  
2-8 CLARENDON AVENUE

OWNER: JCKK REALTY TRUST  
 DEED REFERENCE: BK. 28798 PG. 002  
 PLAN REFERENCE: PLAN BK. 21 PLAN 41 (LOTS 9 & 10)  
 ASSESSORS: MAP 9, BLOCK D, LOT 1

**NOTES**

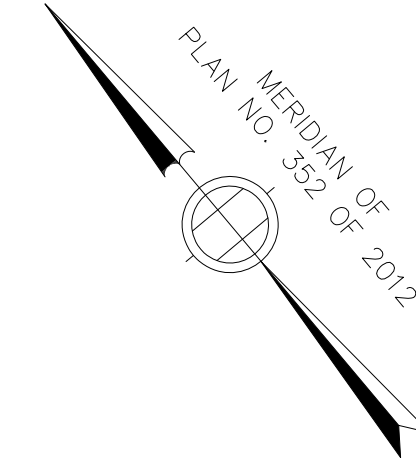
LOCATION OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES IN POSSESSION OF DESIGN CONSULTANTS INC. AS OF THIS DATE. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED, CALL DIGSAFE BEFORE EXCAVATION.

ELEVATIONS DEPICTED HEREON ARE ON CITY OF SOMERVILLE SEWER BASE DATUM.

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS FOR DESIGN PURPOSES, AND IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN JANUARY 31 & FEBRUARY 14, 2014, BY DESIGN CONSULTANTS, INC.

P.L.S. BRIAN B. DONEGAN, P.L.S. MASS. REGISTRATION NO. 47592

DATE \_\_\_\_\_



**LEGEND**

- ⊕ UTILITY POLE
- ⊙ GAS GATE
- ⊕ ELECTRIC MANHOLE
- ⊕ DRAIN MANHOLE
- ⊕ CATCHBASIN
- ☆ LIGHTPOLE
- ⊕ TELEPHONE MANHOLE
- ⊕ UNIDENTIFIED MANHOLE
- ⊕ SEWER MANHOLE
- ⊕ WATER GATE
- SIGN
- ⊕ DECIDUOUS TREE
- ⊕ BOLLARD
- ⊕ MONITOR WELL
- ⊕ GAS METER
- ⊕ CONIFER TREE
- ⊕ ELECTRIC HANDHOLD
- ⊕ WATER SHUTOFF
- ⊕ FIRE MANHOLE
- ⊕ TRAFFIC SIGNAL BASE
- ⊕ GUY POLE
- ⊕ ELECTRIC METER
- UNDERGROUND ELETRIC LINE
- OVERHEAD WIRES
- SEWER LINE
- DRAIN LINE
- WATER LINE
- GAS LINE
- FIRE ALARM LINE
- CHAIN LINK FENCE
- ONE-FT. CONTOUR
- FIVE-FT. CONTOUR

UPDATE USING "DAYSTAMP DRAWING"

**Design Consultants, Inc.**  
Consulting Engineers and Surveyors

120 MIDDLESEX AVENUE SOMERVILLE, MA 02145 617-776-3350  
 68 PLEASANT STREET NEWBURYPORT, MA 01950 978-358-7173

SCALE:  
 HORIZ: 1" = 10'  
 VERT: \_\_\_\_\_

NO.	DATE	BY	REVISIONS

FIELD: LG  
 CALCS: BD  
 CHECKED: EJC  
 APPROVED: EJC

EXISTING CONDITIONS PLAN  
 1154-1164 BROADWAY  
 SOMERVILLE, MA

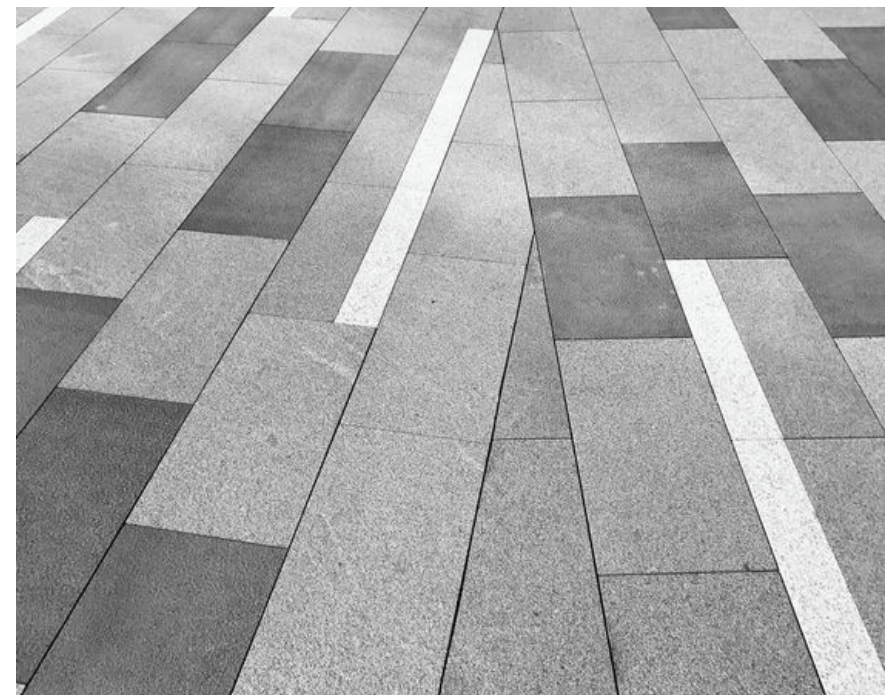
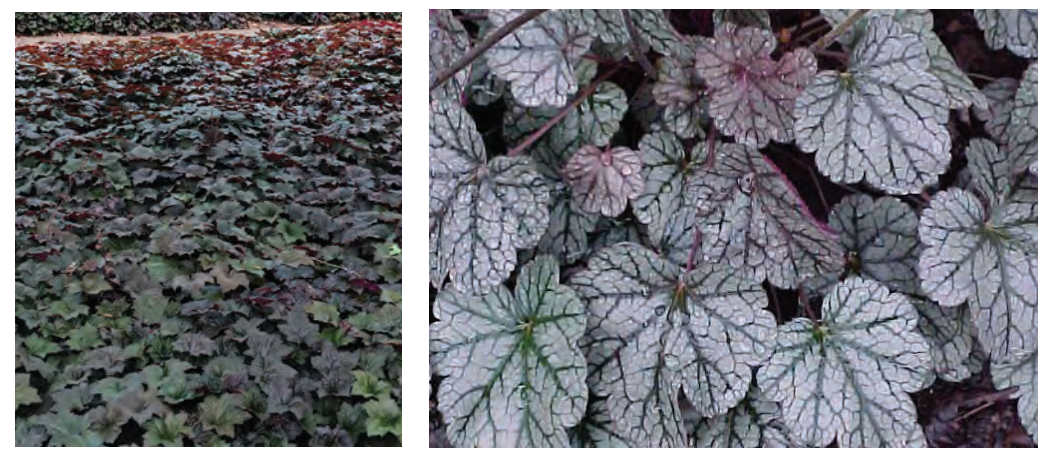
PLAN OF LAND IN  
 SOMERVILLE, MASSACHUSETTS  
 SURVEYED FOR  
 S McPHEE ENTERPRISES LLC

PROJECT NO. 2014-007  
 DATE: FEB. 27, 2014  
 SHEET NO. 1 OF 1





Protect plantings with raised metal planters with showy groundcovers and ornamental grasses.



Hotel drop off area is defined with contemporary concrete unit paving and/or integral colored concrete pavement.



Define safe pedestrian area with contemporary bollards



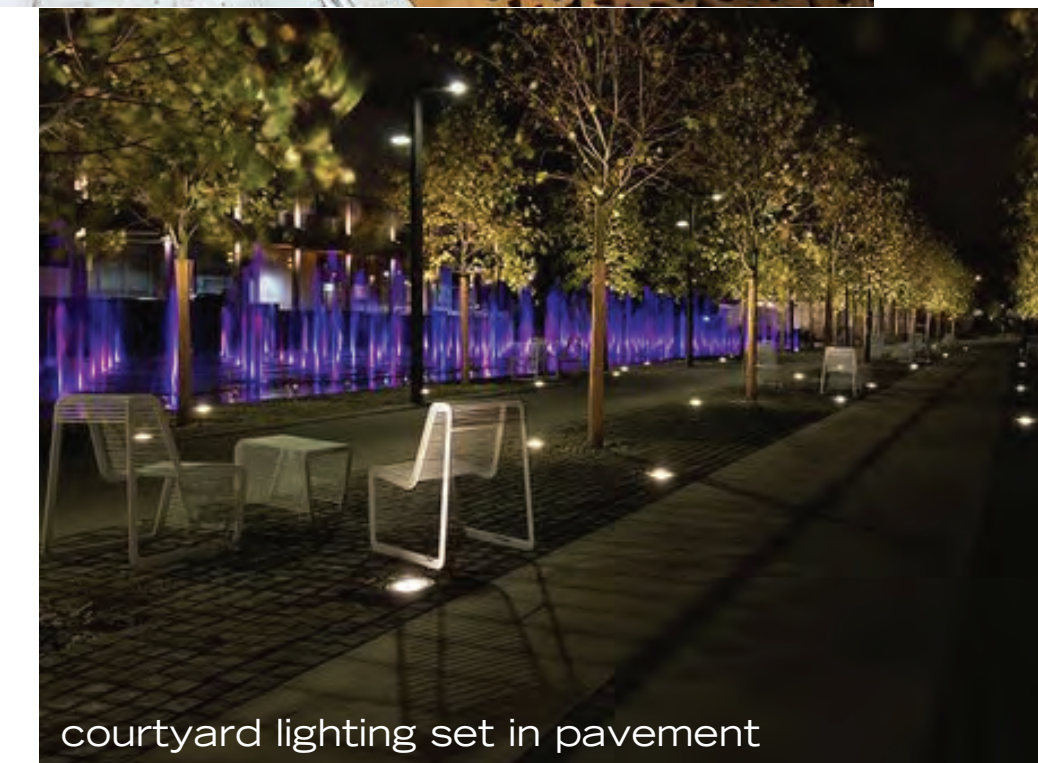
greenscreen with vines to screen drop off



continuous tree grate with sand-based structural planting medium



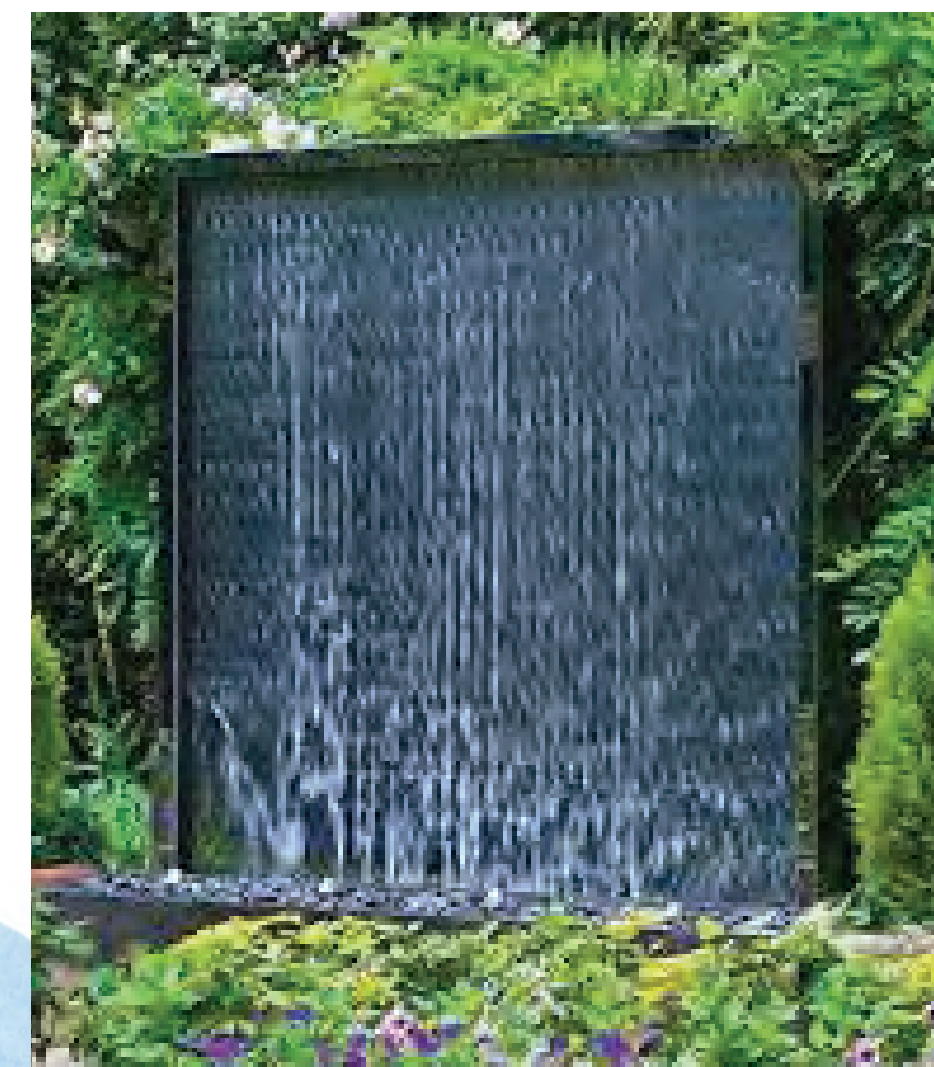
greenscreens along adjacent building face



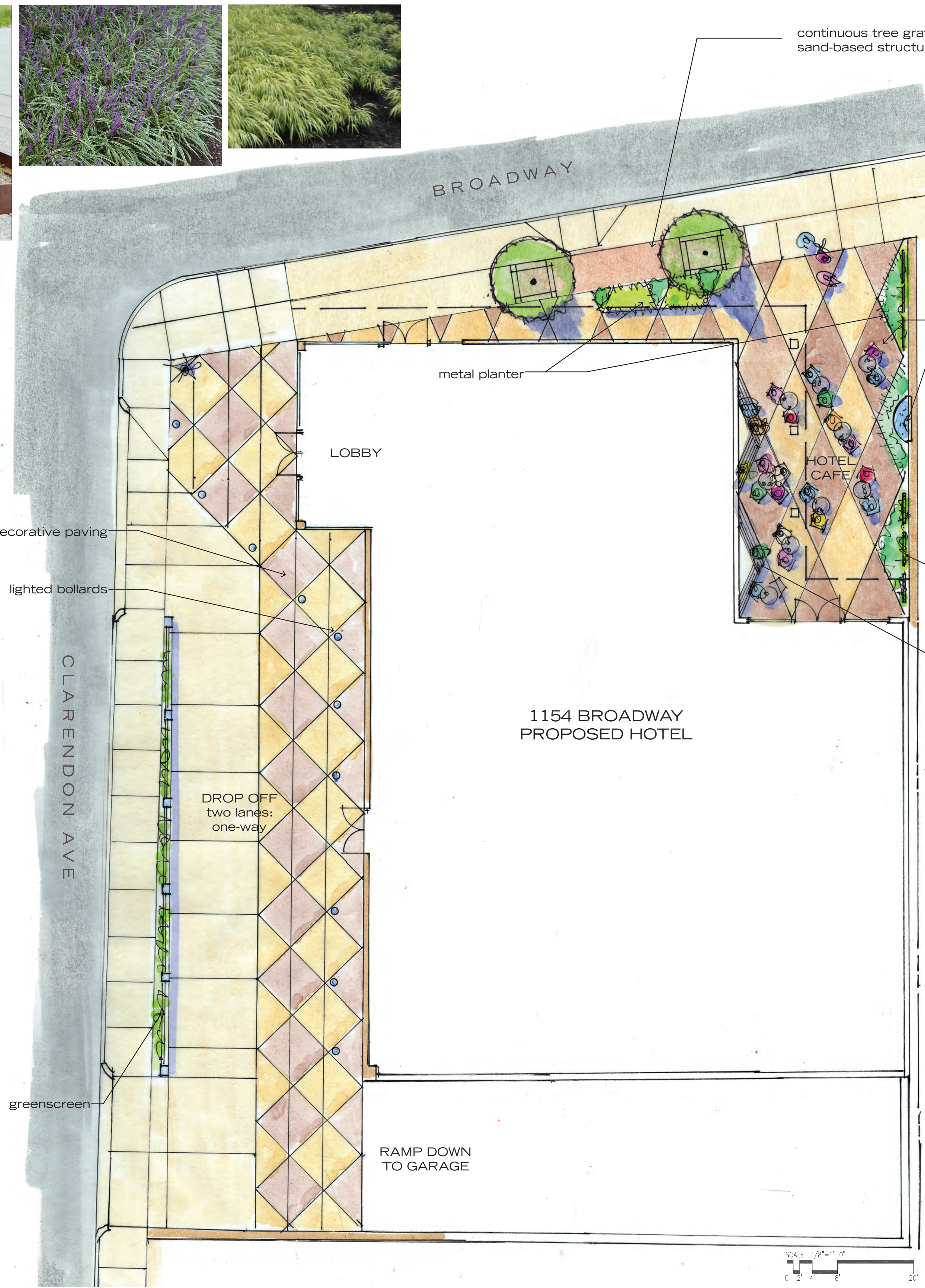
courtyard lighting set in pavement



angular benches - possibly with backs



water wall



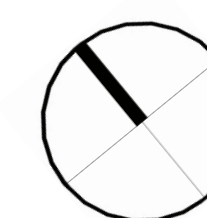
1154 BROADWAY PROPOSED HOTEL

SCALE: 1/8"=1'-0"

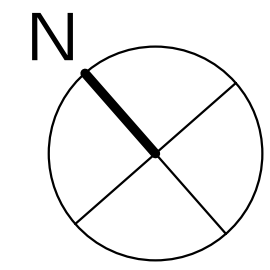


COURTYARD SIDE WALL | ELEVATION

NTS



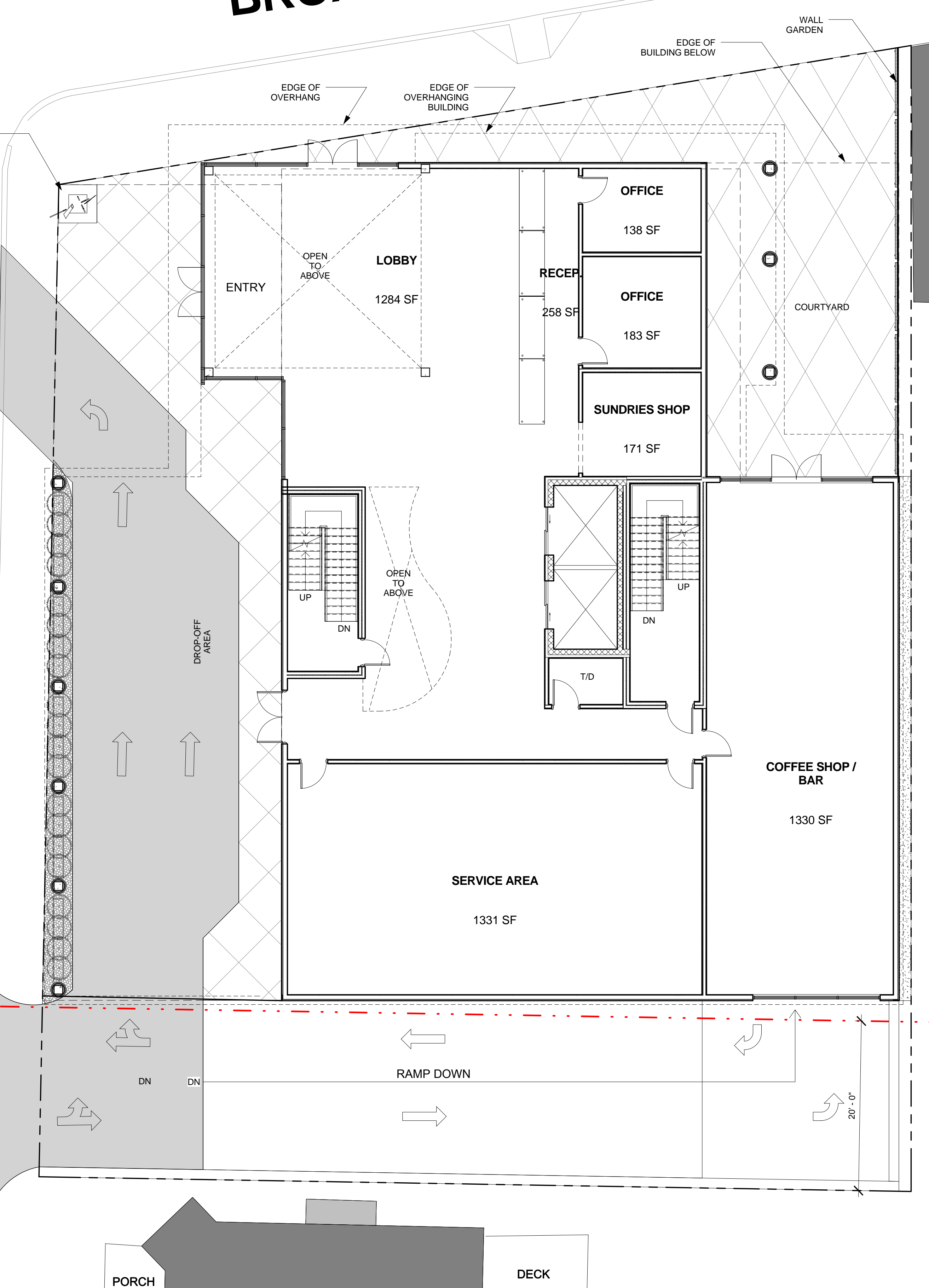




**BROADWAY**

**CLARENDON AVE.**

ABSTRACT SCULPTURE



PORCH

DECK

1 Site Plan  
1/8" = 1'-0"

**ZONING CHART**

ZONE : NB	REQUIRED	EXISTING	PROPOSED	REMARKS
LOT AREA, MIN S.F.	N/A	12,800 S.F.	12,800 S.F.	COMPLIES
LOT AREA, MIN S.F. / DU	N/A	N/A	N/A	COMPLIES
MAX. FAR	2.0 (25,600 S.F. MAX)	N/A	3.41 (43,645 SF)	DOES NOT COMPLY
MIN. LANDSCAPE AREA	10% (1,280 S.F.)	N/A	19% (2,431 S.F.)	COMPLIES
MIN. FRONT YARD	N/A	N/A	BROADWAY (0'; 50'-7") CLARENDON AVE. (1'-4"; 17'-2")	COMPLIES
MIN SIDE YARDS	N/A <small>(12)</small>	N/A	LEFT (1'-6"; 16')	COMPLIES COMPLIES COMPLIES COMPLIES
			RIGHT (N/A)	
MIN REAR YARD	NB, CBD, BA, and BB districts: 10 feet, plus 2 feet for each story above the ground floor (also see footnote 12)	N/A	(21'-4"; 22'-6")	COMPLIES
MAX HEIGHT	3 STORIES / 40' <small>(18)(19)(20)(21)</small>	N/A	6 STORIES / 62'	DOES NOT COMPLY
MIN RATIO OF PRIVATE OP. SP. TO LOT AREA	N/A	N/A		COMPLIES
PARKING			35 TOTAL (2 HANDICAPPED)	DOES NOT COMPLY

FAR Area	
Level	Area
1st Floor Level	5905 SF
2nd Floor Level	7947 SF
3rd - 5th Floor Plans	7954 SF
4th Floor Level	7954 SF
5th Floor Level	7954 SF
6th Floor Level	5931 SF
	43645 SF

Building Gross Area	
Level	Area
0 Garage Level	9787 SF
1st Floor Level	6597 SF
2nd Floor Level	8759 SF
3rd - 5th Floor Plans	8759 SF
4th Floor Level	8759 SF
5th Floor Level	8759 SF
6th Floor Level	6745 SF
	58165 SF

12. Side and rear yards for sites abutting residential districts: Where a lot in a business or industrial district abuts a lot or district line in a RA, RB, or RC district, no building in the business or industrial district shall be erected closer to the residential line than one-third (1/3) the height of the said building, but not less than fifteen (15) feet.  
 18. Four-story Height for Residential Use Allowed in NB Districts: Within the Neighborhood Business District (NB), four (4) stories up to forty-two (42) feet is allowed for buildings where all four (4) stories are residential use or where the first floor is commercial/business use and the top three (3) floors are residential. For buildings which are two (2) or more stories of commercial business use, the maximum height limit shall be three (3) stories and forty (40) feet.  
 19. Top Story Setback in NB Districts: A minimum setback of five (5) feet from the front lot line for the top story is required if the building is above forty (40) feet in height in NB districts.  
 20. Height Limit for Structures Abutting Residential Districts: Where a lot abuts an RA, RB or RC zoning district line, any structure (or portion of a structure) within thirty (30) feet of said district line shall be limited to three (3) stories and forty (40) feet in height.  
 21. Setback for Rooftop Installations: All elevator and stairwell penthouses, roof-mounted mechanical equipment (including enclosure, if any) and other similar rooftop installations shall be set back behind a plane inclined at forty-five (45) degrees from the vertical, beginning at the maximum height of the building as defined in Section 8.5 (40'), along all street lines and rear lot line.

PROJECT NAME  
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1154 BROADWAY  
SOMERVILLE, MA

CLIENT  
**BINOJ PRADHAN**



17 VALOO STREET SUITE 400  
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REGISTRATION

Project number 16060  
Date 5-14-2018  
Drawn by PS, NB  
Checked by JSK  
Scale As indicated

REVISIONS

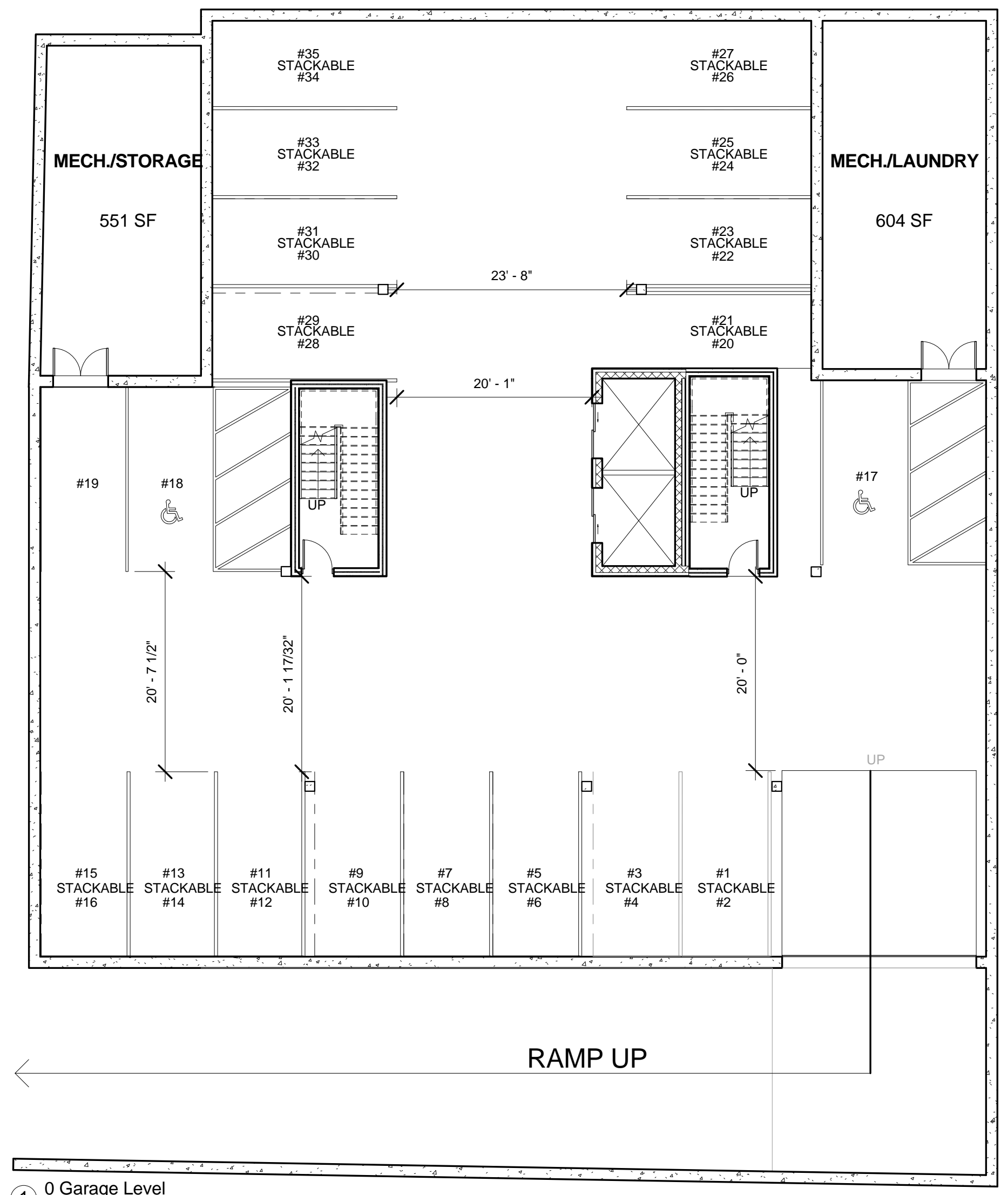
No.	Description	Date

Site Plan

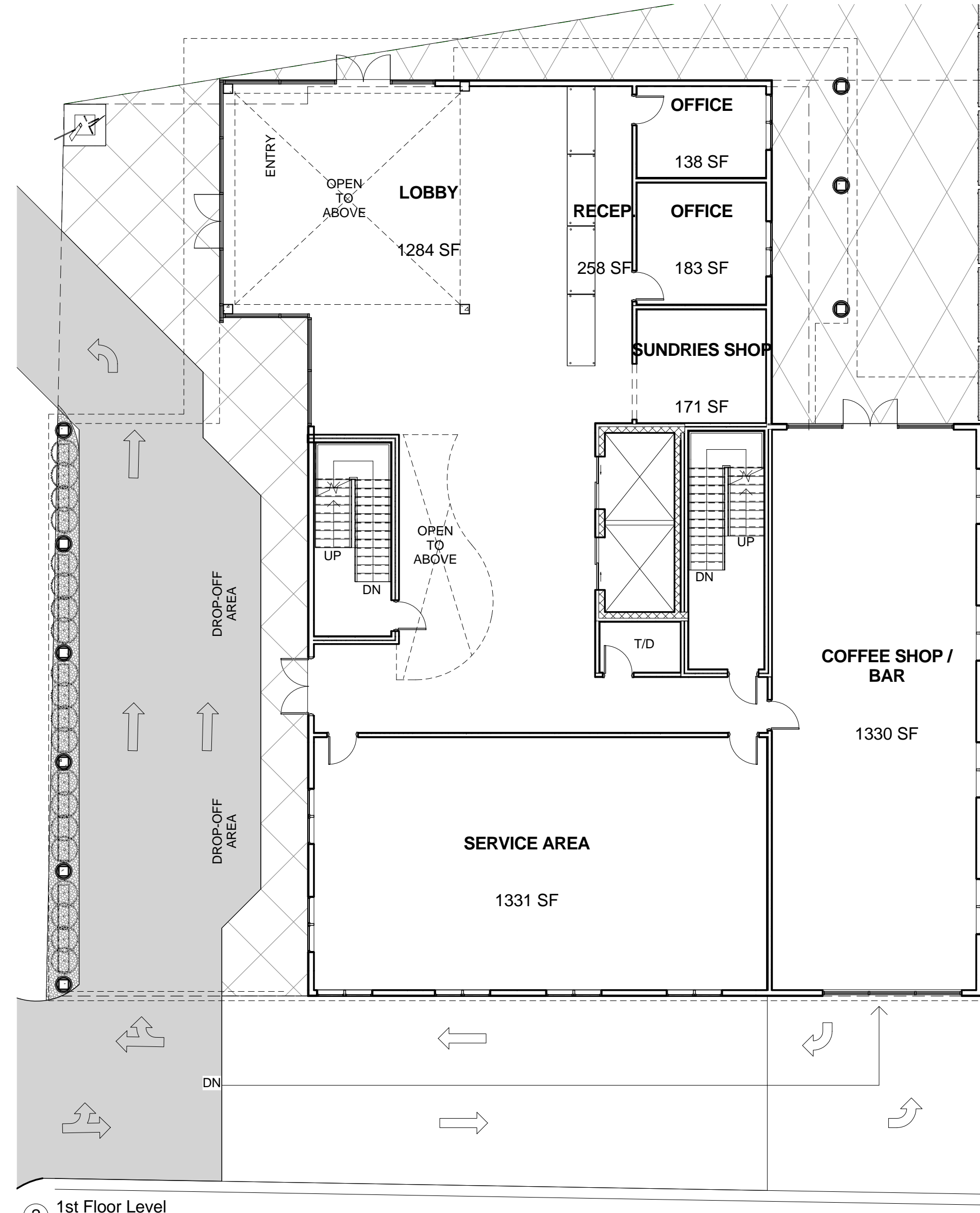
**A-020**

BROADWAY HOTEL

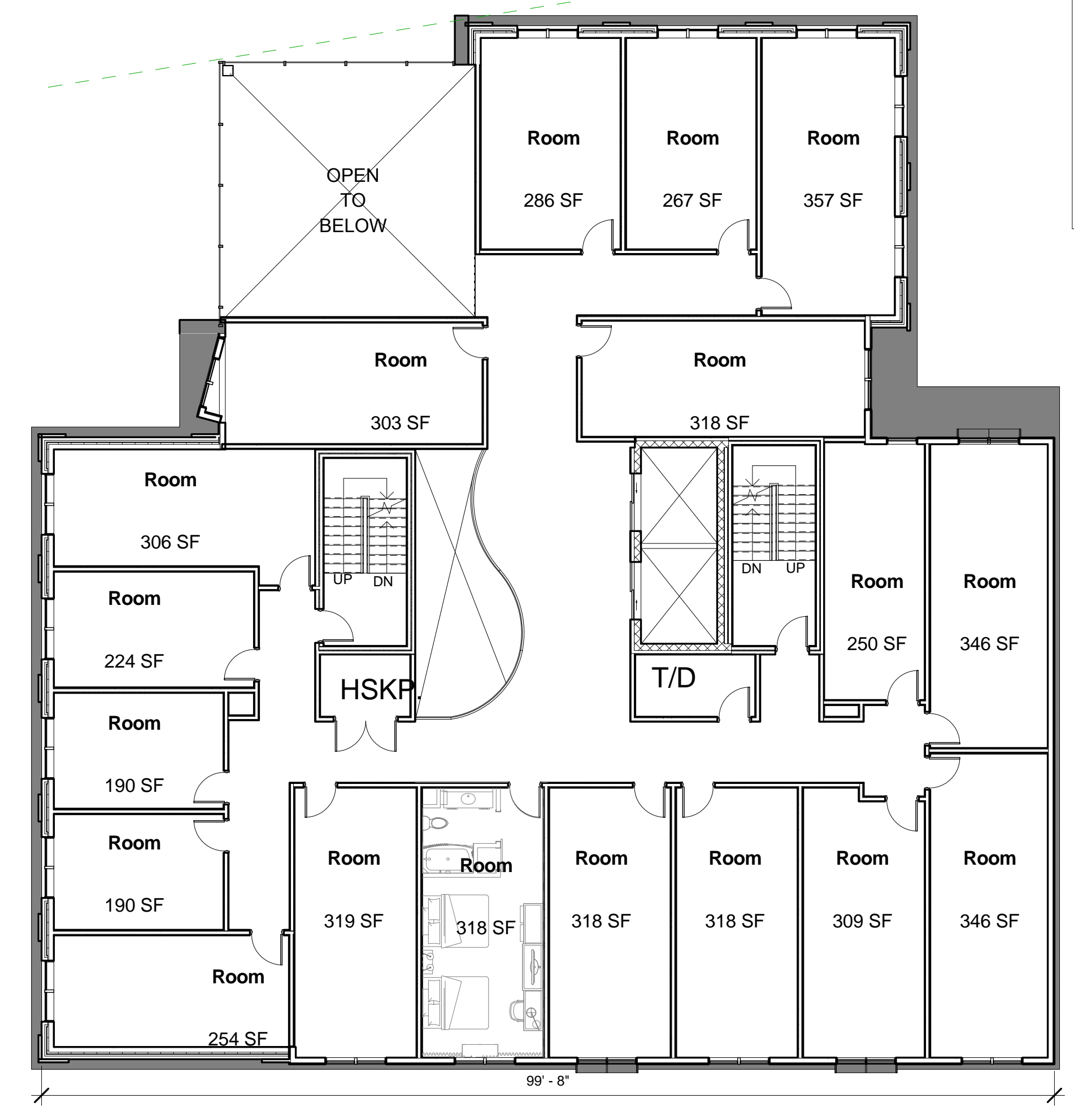




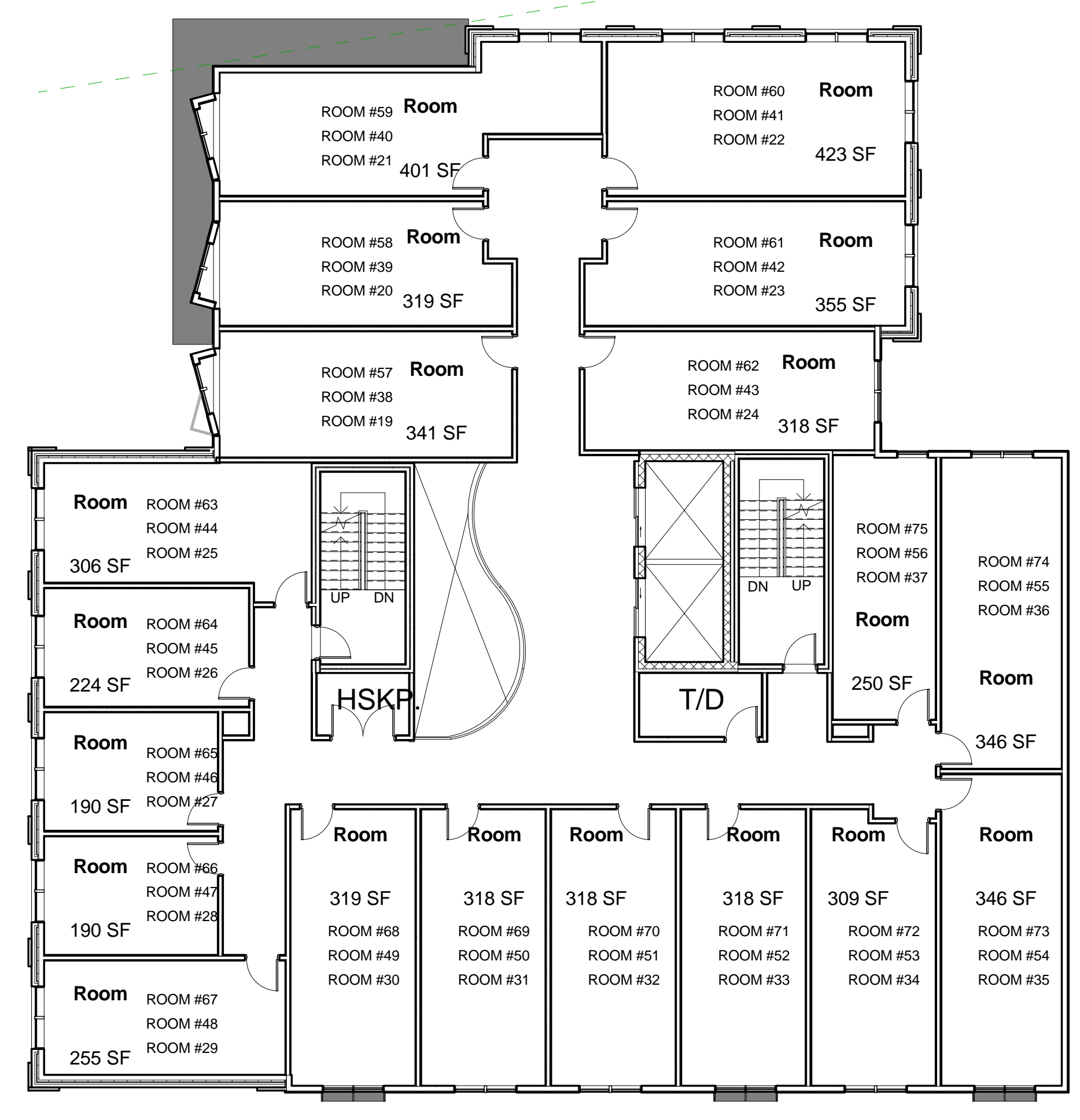
1 0 Garage Level  
3/32" = 1'-0"



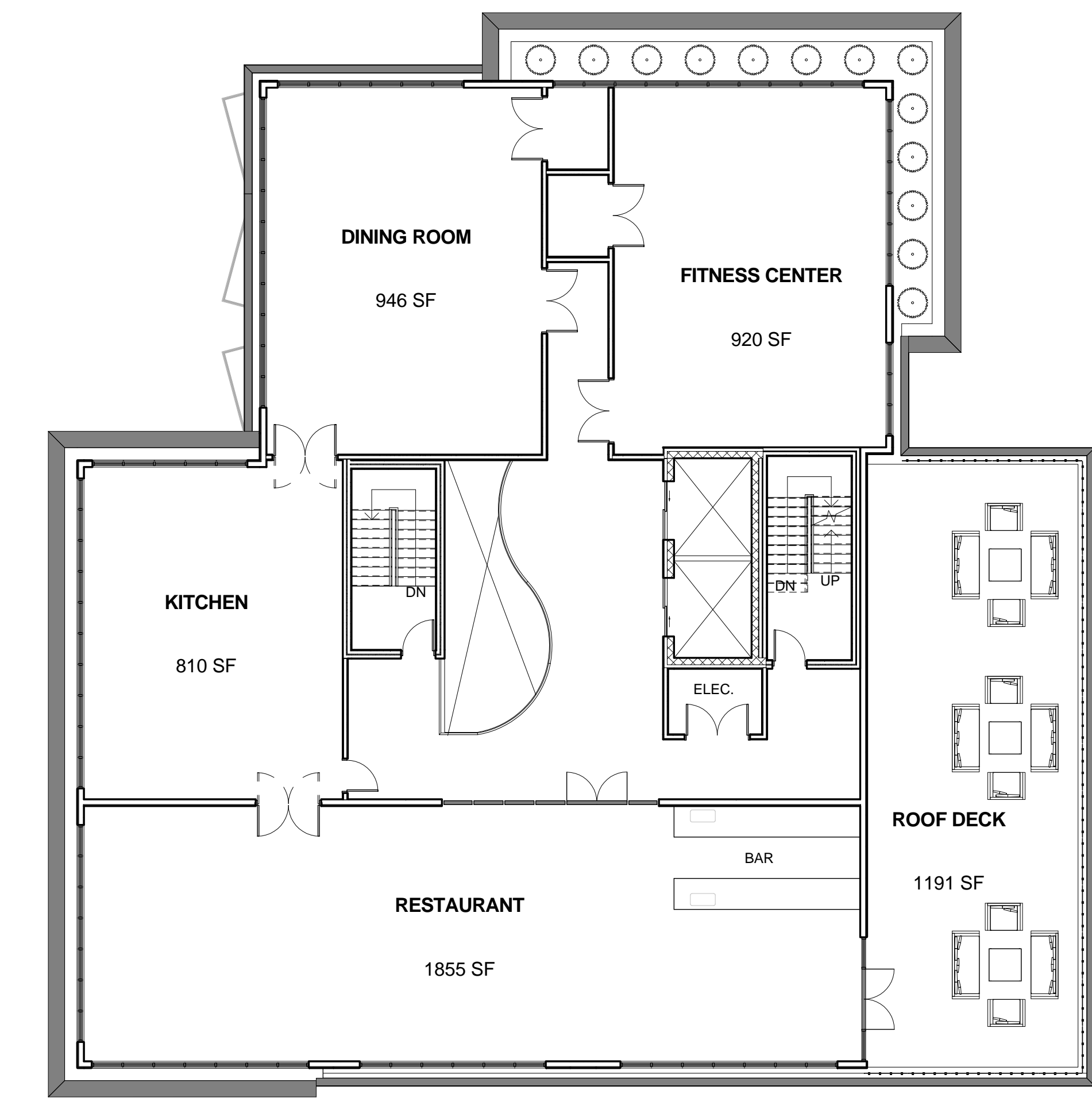
2 1st Floor Level  
3/32" = 1'-0"



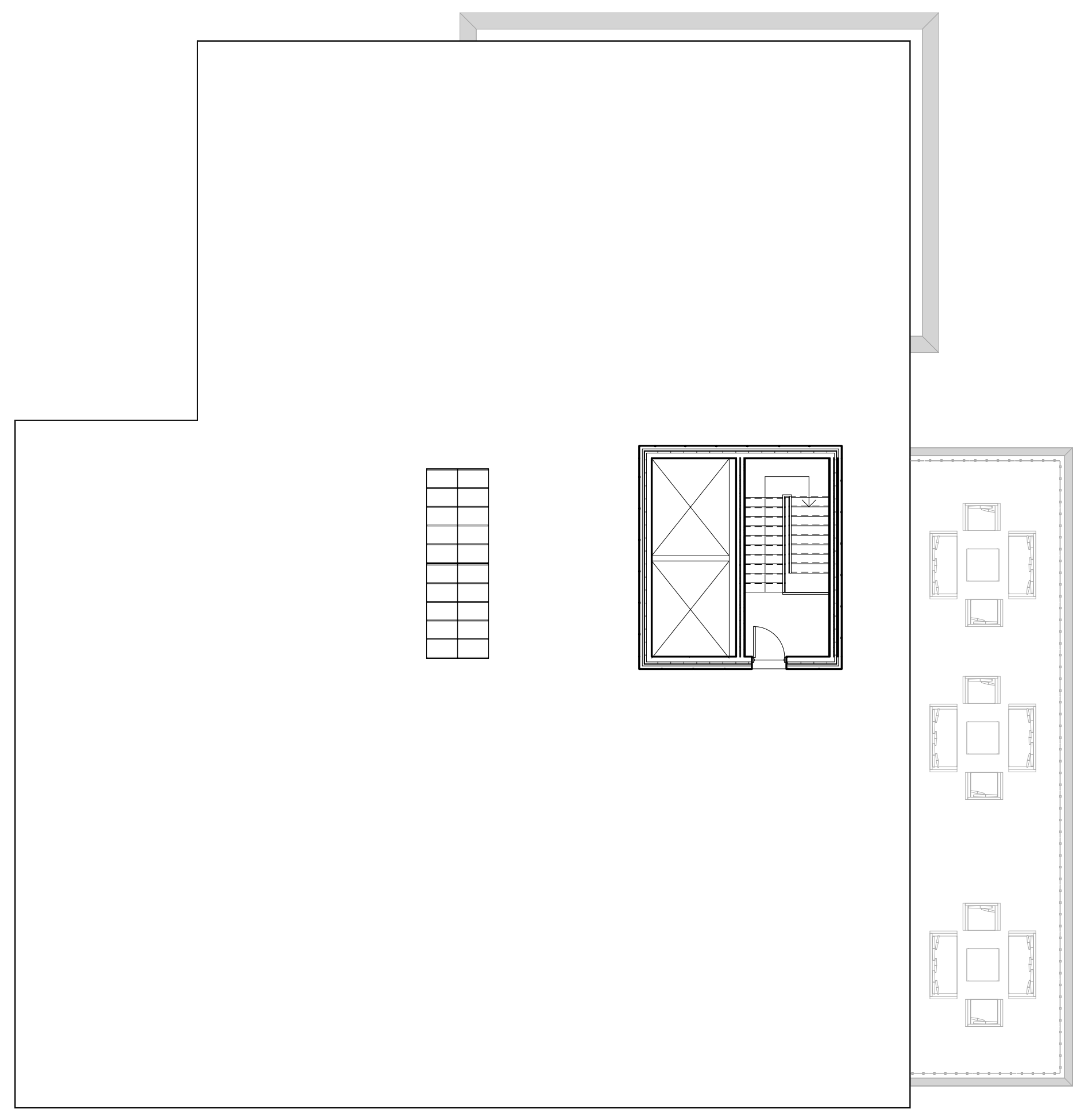
3 2nd Floor Level  
3/32" = 1'-0"



4 3rd - 5th Floor Plans  
3/32" = 1'-0"



5 5th Floor Level  
3/32" = 1'-0"



6 6th Floor Level  
3/32" = 1'-0"

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**BINOJ PRADHAN**

ARCHITECT  
**DESIGN**  
**HALSA**

17 IVALOO STREET SUITE 400  
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Date	5-14-2018
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Scale	3/32" = 1'-0"

REVISIONS

No.	Description	Date

Floor Plans

**A-100**

BROADWAY HOTEL

5/15/2018 11:52:05 AM \\ITKG-Server\Drawn\1616060-Binoj-Pradha\1154 Broadway\03 Drawings\00\_ARCH\SD\_DDI16060\_1154 Broadway\_SD.rvt





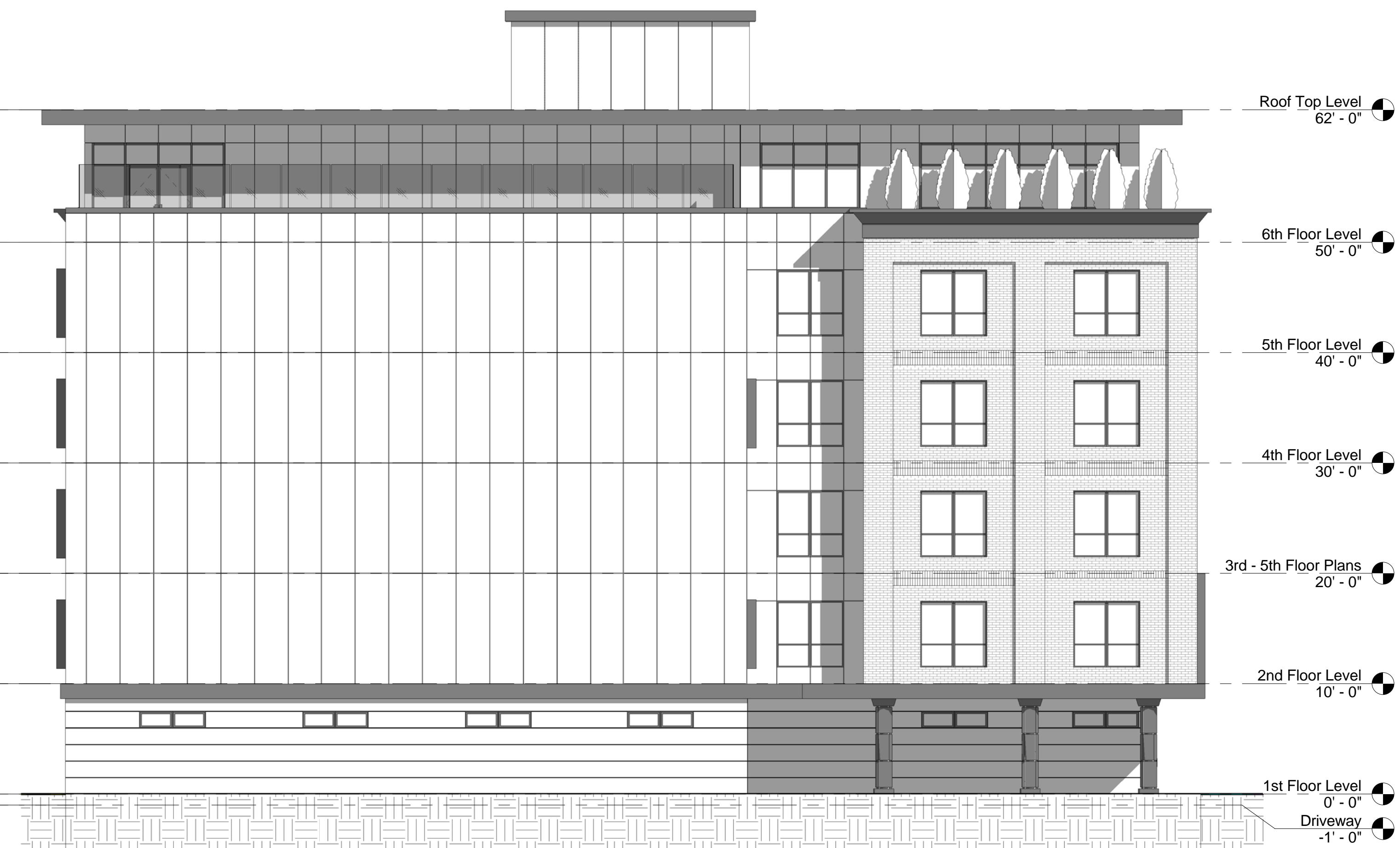
① Front Elevation (Broadway View)  
1/8" = 1'-0"



② Rear Elevation  
1/8" = 1'-0"



③ Right Elevation (Clarendon Ave. View)  
1/8" = 1'-0"



④ Left Elevation  
1/8" = 1'-0"

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Date 5-14-2018  
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Scale 1/8" = 1'-0"

**REVISIONS**

No.	Description	Date

Elevations

**A-300**

BROADWAY HOTEL





PROJECT NAME  
**BROADWAY HOTEL**

PROJECT ADDRESS  
 1154 BROADWAY  
 SOMERVILLE, MA

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**BINOJ PRADHAN**



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 Date 5-14-2018  
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 Checked by JSK  
 Scale

**REVISIONS**

No.	Description	Date

Rendering -  
 Broadway Facade

**AV-1**  
 BROADWAY HOTEL





PROJECT NAME

**BROADWAY HOTEL**

PROJECT ADDRESS

1154 BROADWAY  
SOMERVILLE, MA

CLIENT

**BINOJ PRADHAN**

ARCHITECT



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Project number	16060
Date	5-14-2018
Drawn by	MI
Checked by	JSK
Scale	

REVISIONS

No.	Description	Date

Rendering -  
Broadway  
Approaching

**AV-2**  
BROADWAY HOTEL





PROJECT NAME  
**BROADWAY HOTEL**

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 Scale

REVISIONS

No.	Description	Date

Rendering -  
 Pedestrian  
 Broadway View

**AV-3**  
 BROADWAY HOTEL





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No.	Description	Date

Rendering - Curtis  
St. View

**AV-4**

BROADWAY HOTEL

\\TKG-Server\Drawn\1616060-Binoj-Teal\Sq-1154 Broadway\03 Drawings\03\_ARCH\_SD\_DDI16060\_1154 Broadway\_SD.rvt 5/15/2018 11:52:42 AM





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**BINOJ PRADHAN**

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Scale

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No.	Description	Date

Rendering - Hotel  
Caffee Courtyard  
View

**AV-5**

BROADWAY HOTEL

I:\TKG-Server\Drawn\1616060-Binoj-Pradha\1154 Broadway\1154 Broadway\_S.DWG 5/15/2018 11:52:43 AM






PROJECT NAME  
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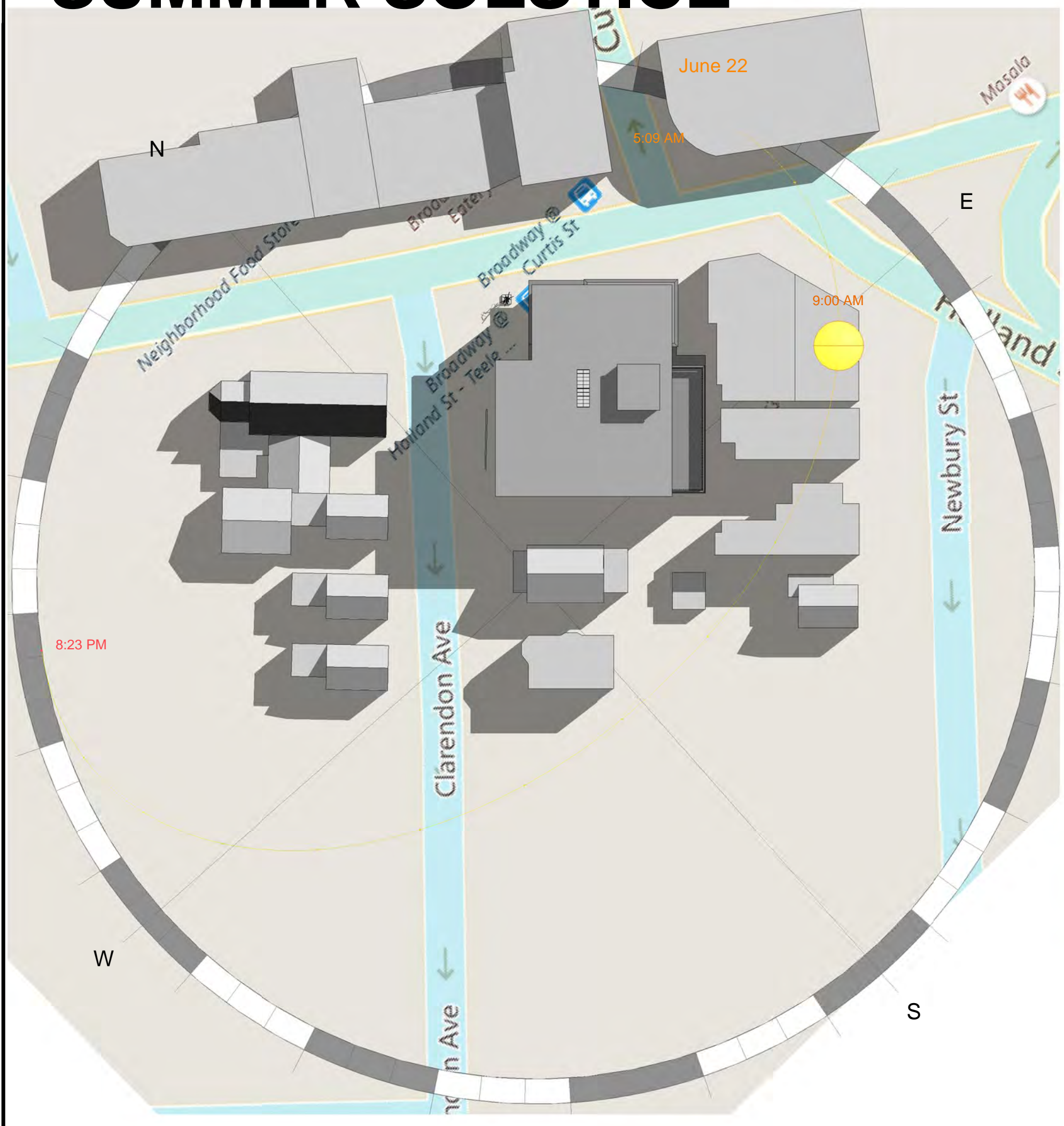
Rendering - Roof  
Deck View

**AV-6**  
BROADWAY HOTEL

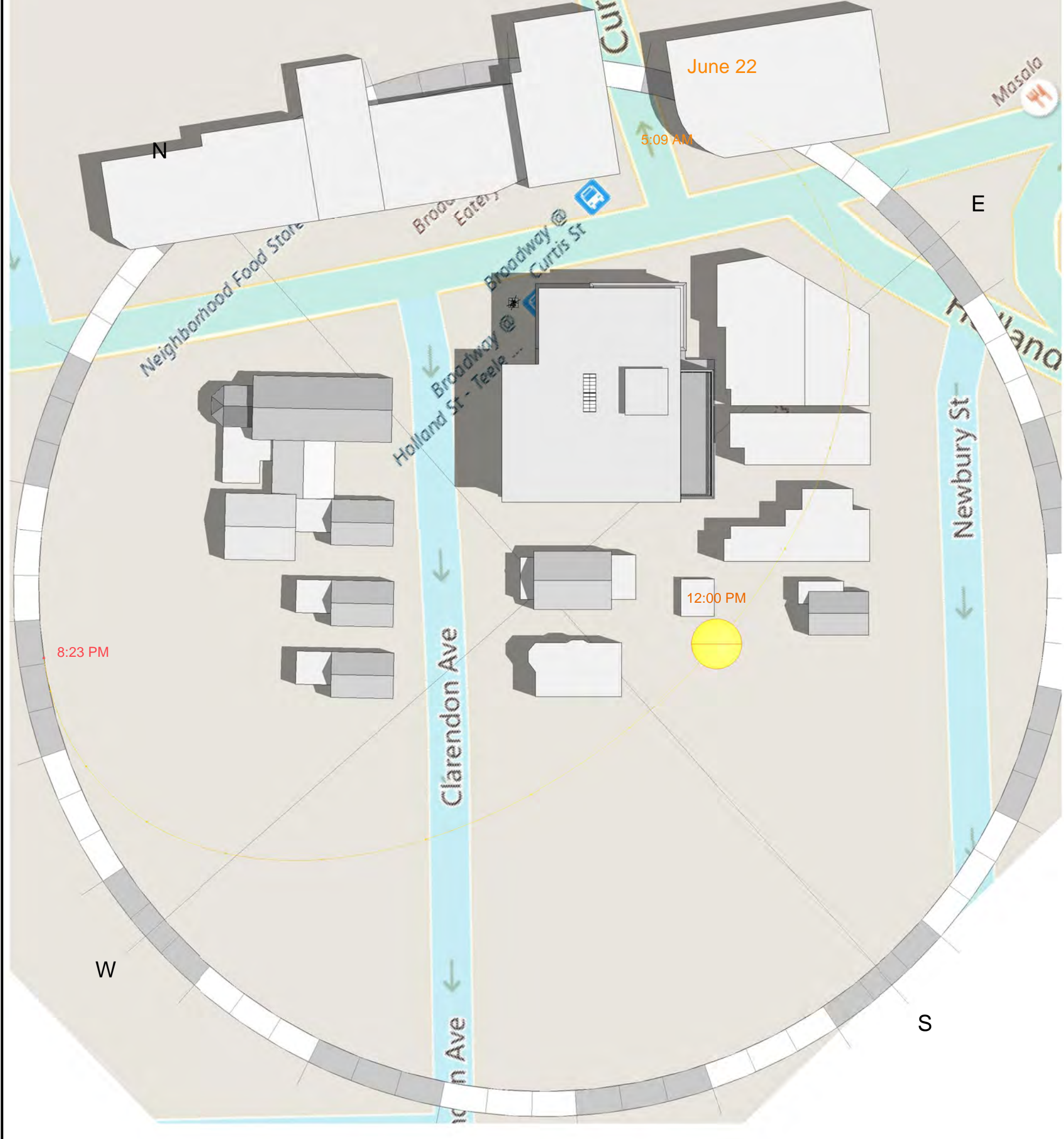


# SUMMER SOLSTICE

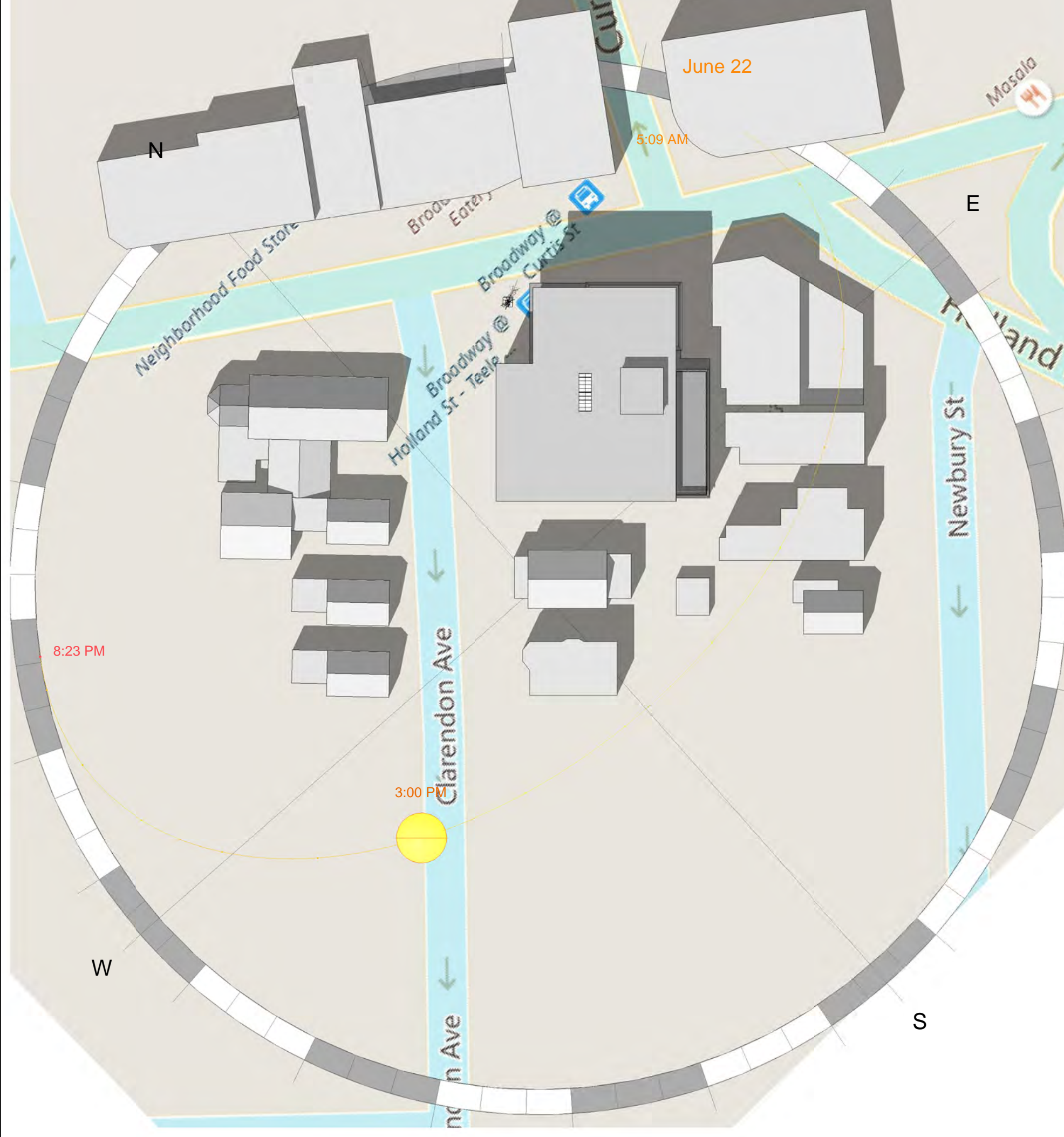
9 AM



12 PM

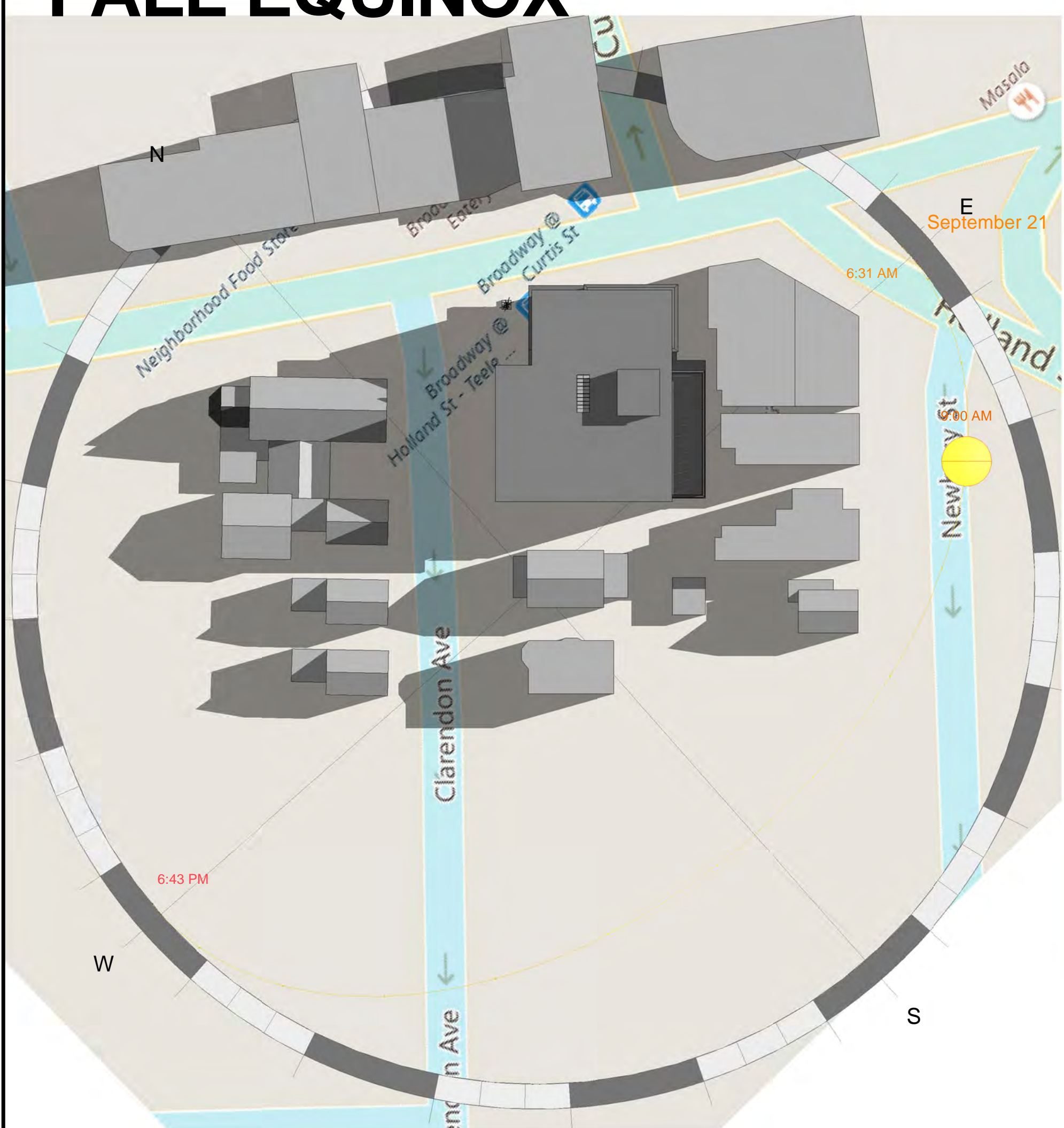


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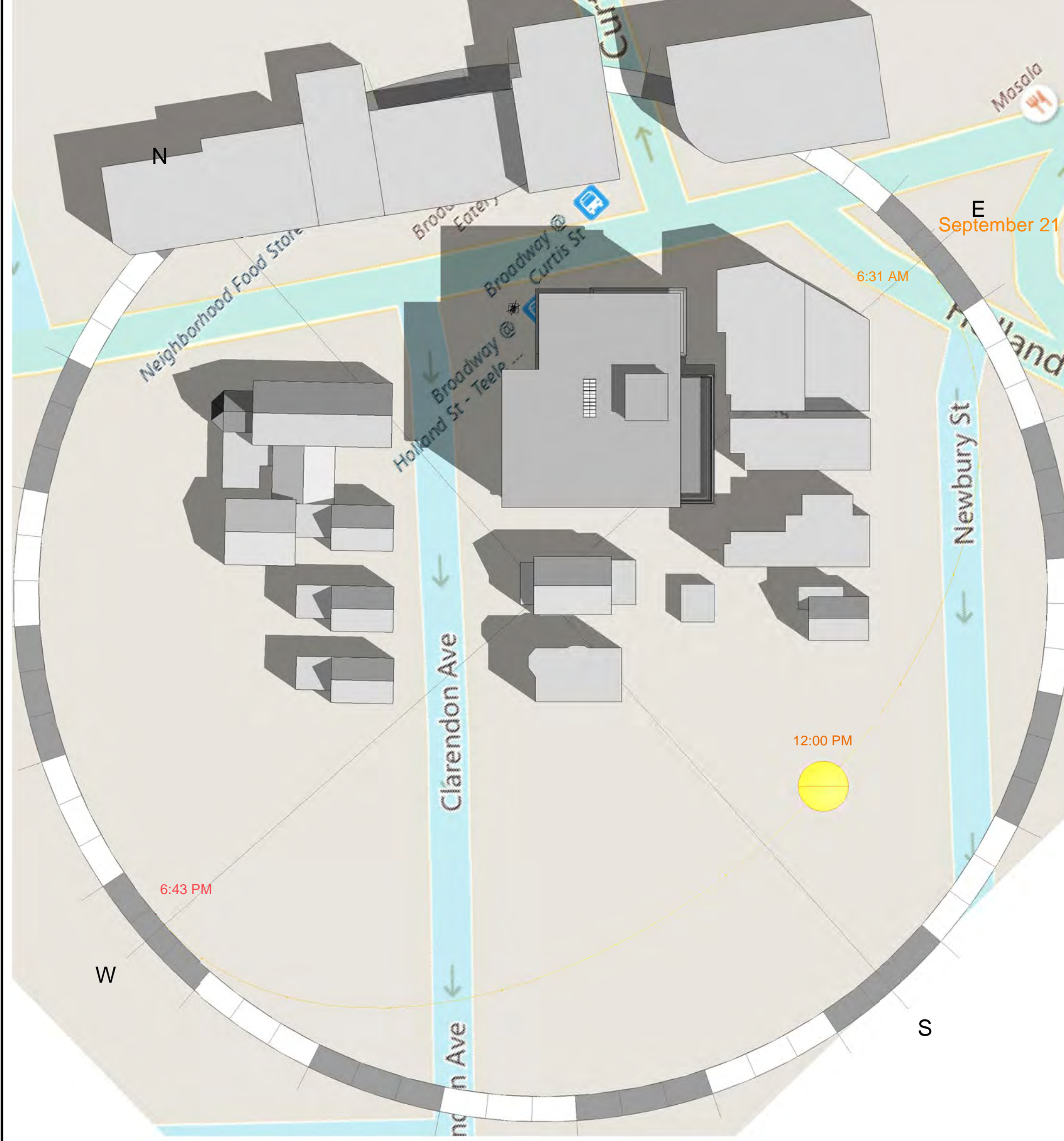


# FALL EQUINOX

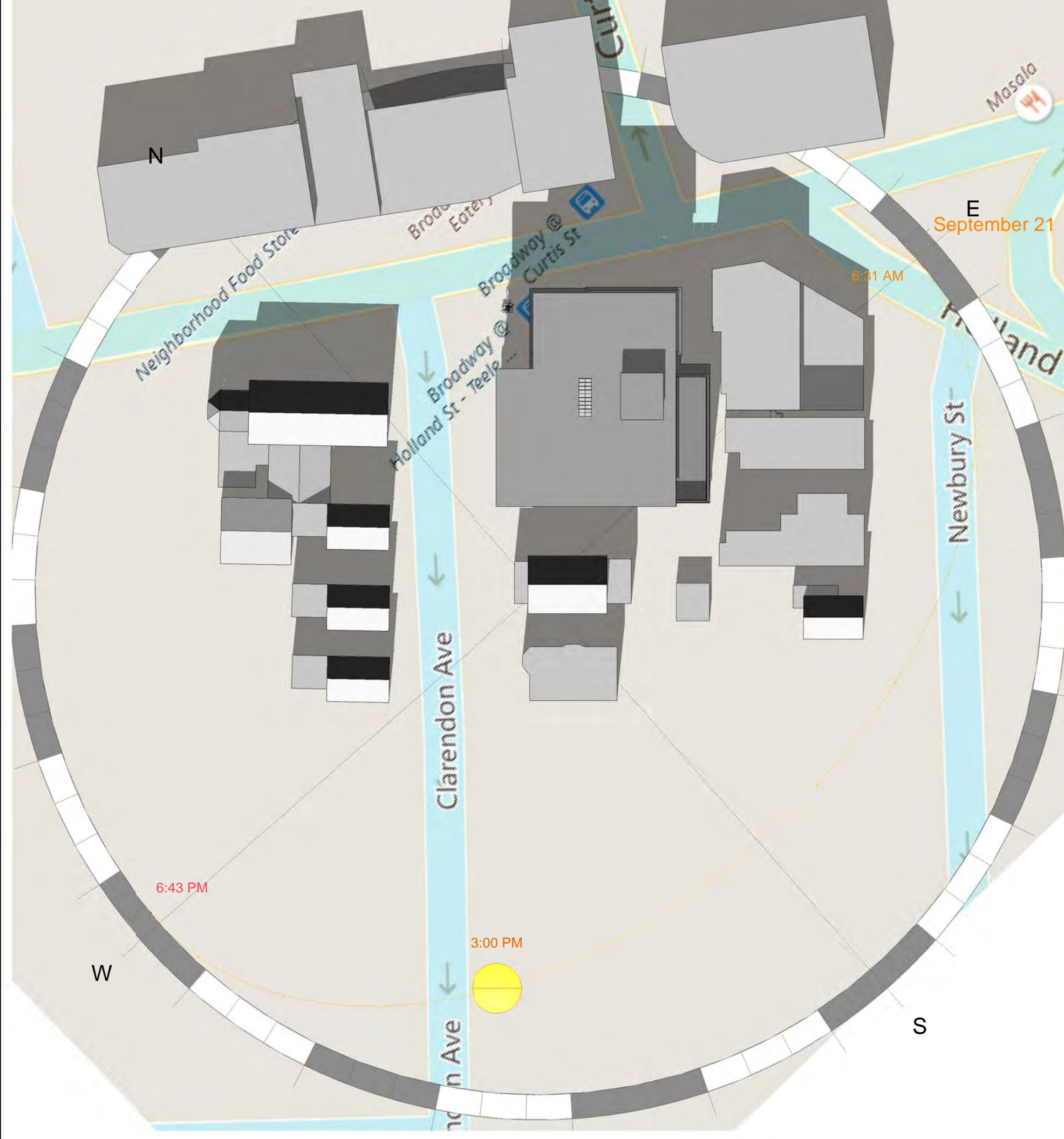
9 AM



12 PM



3 PM



PROJECT NAME  
**BROADWAY HOTEL**

PROJECT ADDRESS  
1154 BROADWAY  
SOMERVILLE, MA

CLIENT  
**BINOJ PRADHAN**



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

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**REGISTRATION**

Project number	16060
Date	5-14-2018
Drawn by	NB
Checked by	JSK
Scale	1" = 50'-0"

**REVISIONS**

No.	Description	Date

Shadow Study -  
Summer/Fall

**AV-10**  
BROADWAY HOTEL

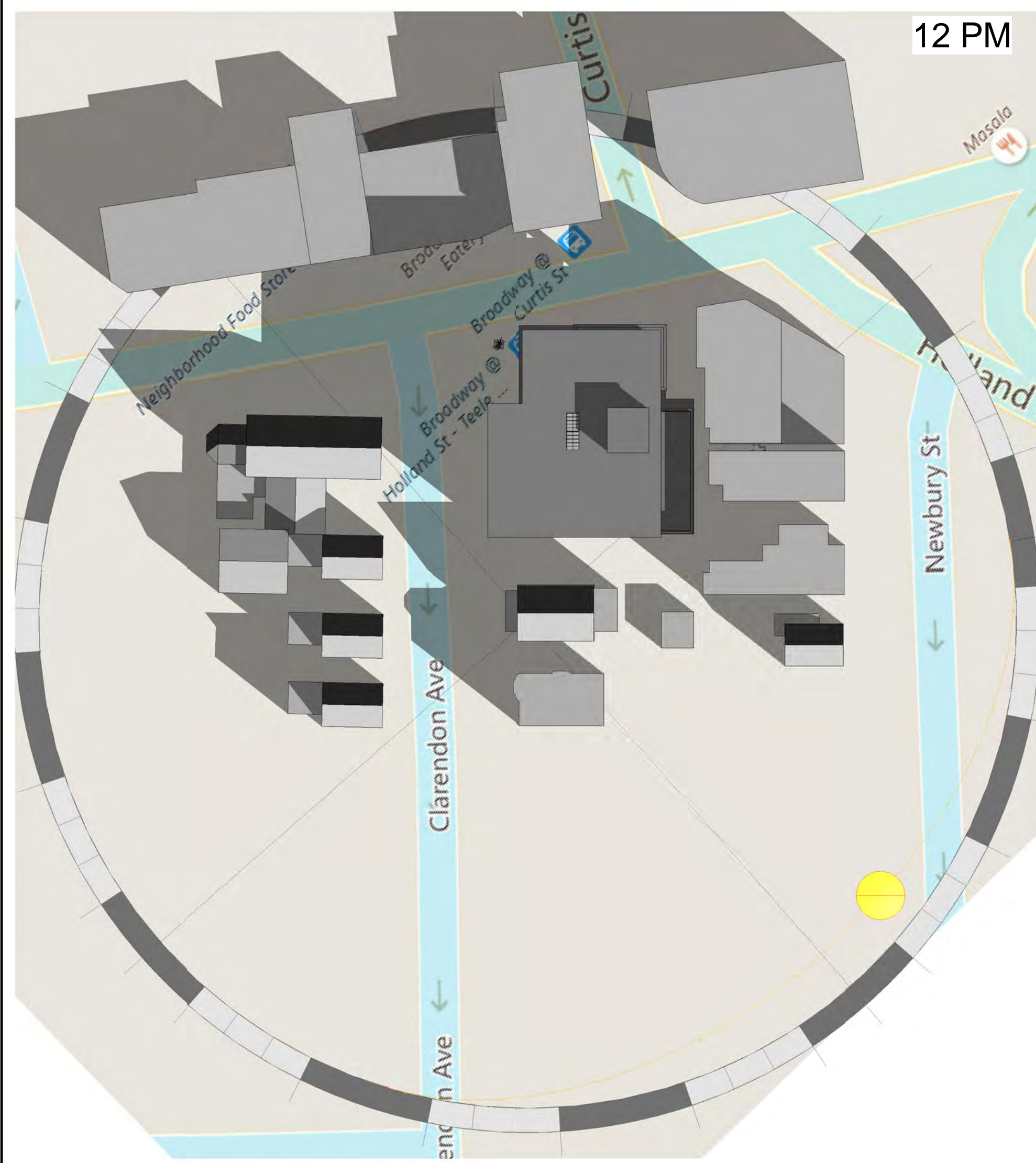


# WINTER SOLSTICE

9 AM



12 PM

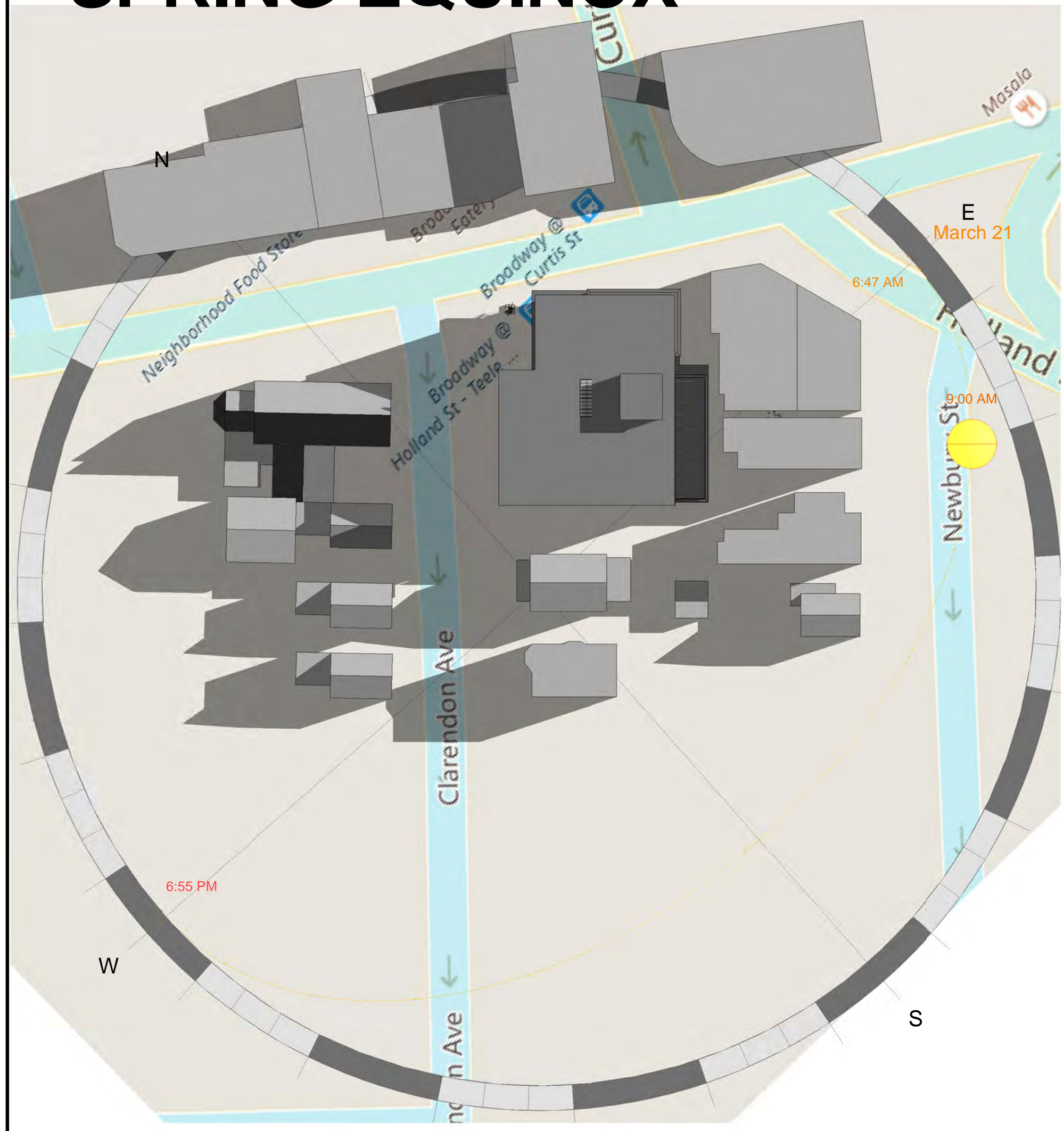


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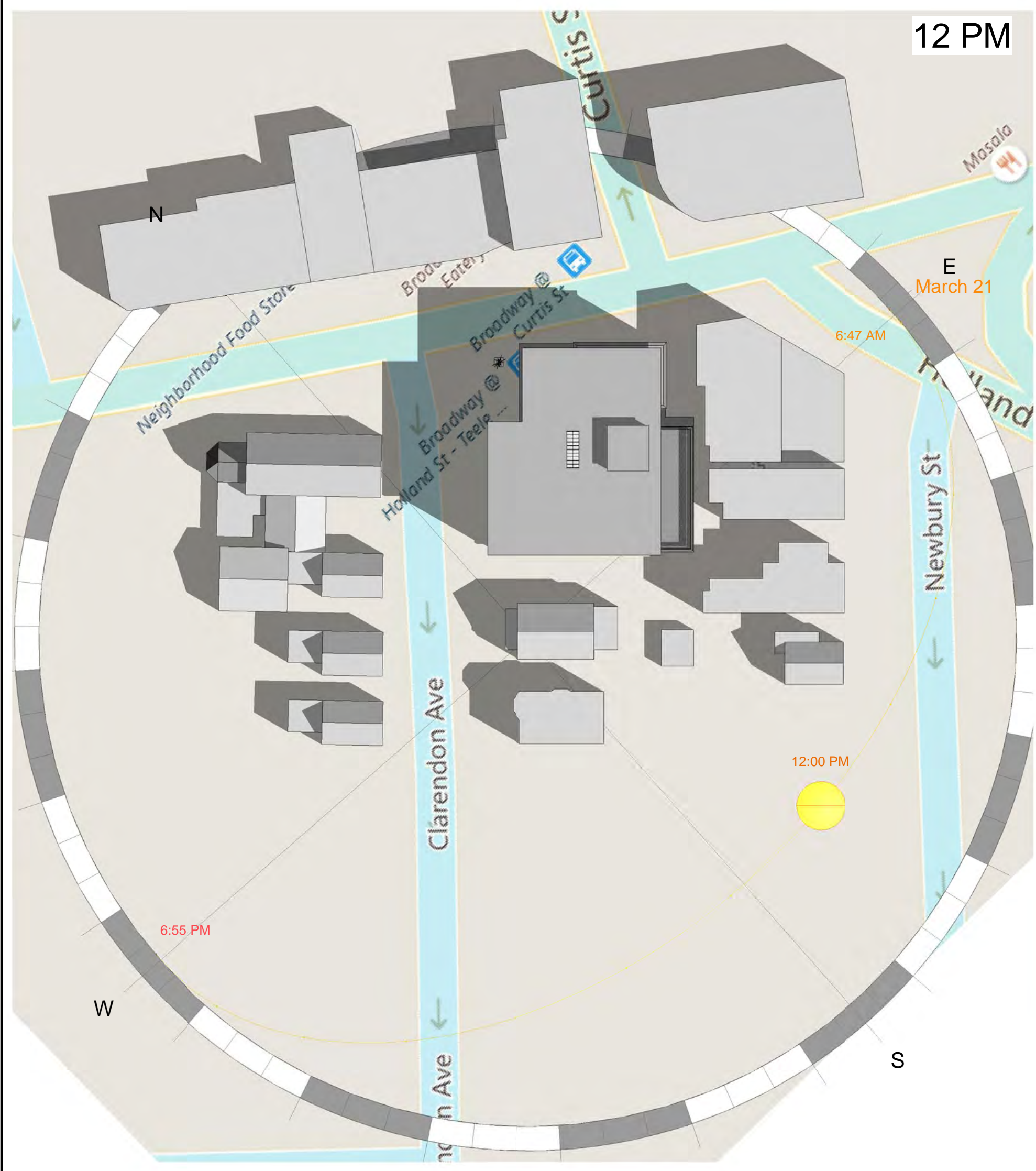


# SPRING EQUINOX

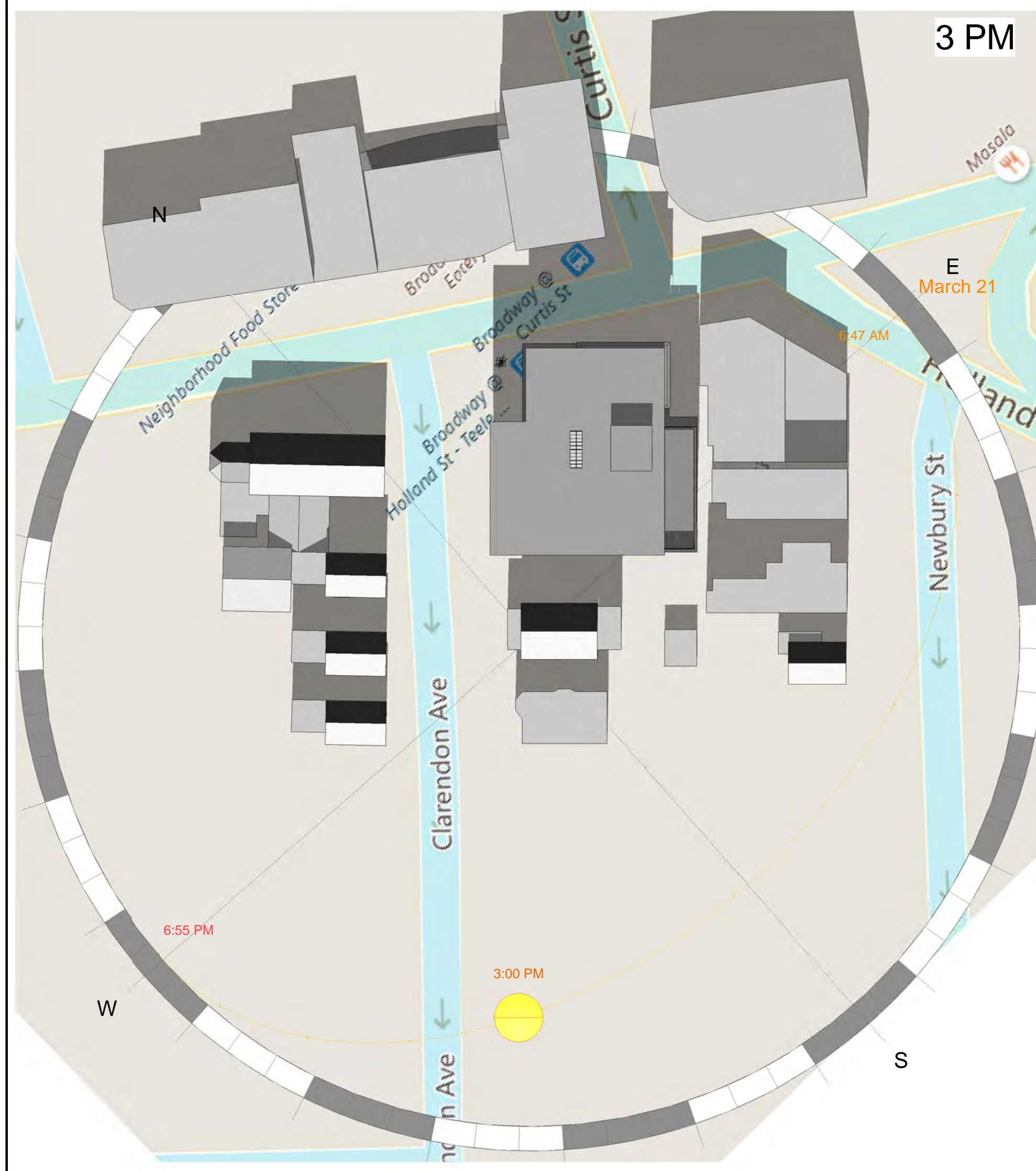
9 AM



12 PM



3 PM



PROJECT NAME  
**BROADWAY HOTEL**

PROJECT ADDRESS  
1154 BROADWAY  
SOMERVILLE, MA

CLIENT  
**BINOJ PRADHAN**

ARCHITECT



**KHALSA**

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REGISTRATION

Project number	16060
Date	5-14-2018
Drawn by	NB
Checked by	JSK
Scale	1" = 50'-0"

REVISIONS

No.	Description	Date

Shadow Study -  
Winter/Spring

**AV-11**  
BROADWAY HOTEL





1. TEEPLE SQUARE



4. COMMERCIAL STOREFRONT w/ APT. ABOVE



6. TYPICAL TWO & THREE FAMILY



2. FIRE-HOUSE



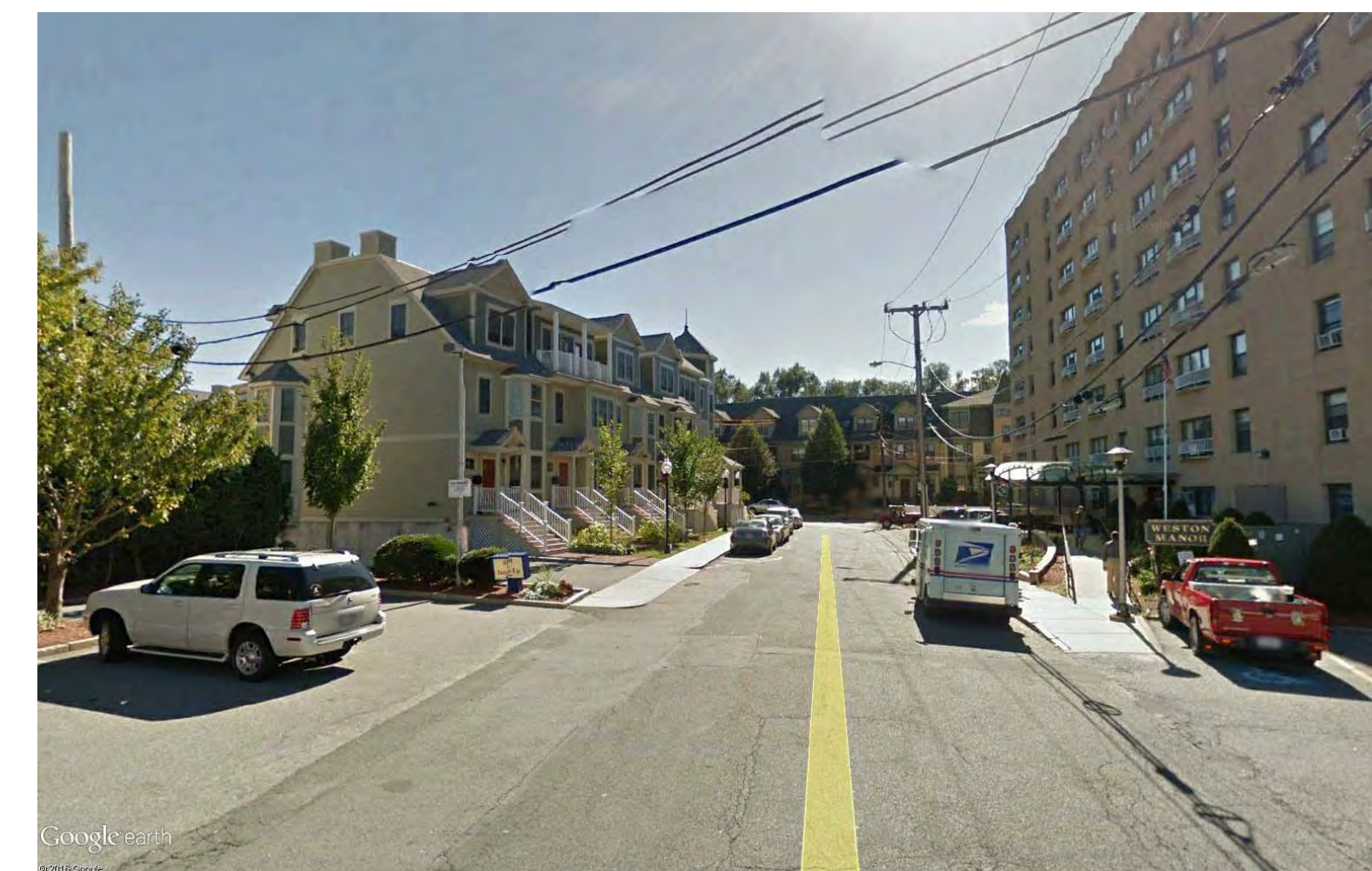
7. FOUR STORY MIXED-USED



3. RUDY'S (ADJACENT TO SITE)



5. ST. JAMES CHURCH



8. TOWNHOUSE STYLE DEVELOPMENT

PROJECT NAME

**1154 Broadway**

PROJECT ADDRESS  
1154 Broadway  
Somerville, MA 02144

CLIENT

**1154 Broadway Realty Trust**

ARCHITECT

**KHALSA DESIGN INC.**



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REGISTRATION

Project number	-
Date	08-04-2016
Drawn by	Author
Checked by	Checker
Scale	

REVISIONS

No.	Description	Date

Neighbourhood  
Context

**AV-3**

1154 Broadway