

SP APPLICATION RENOVATION & ADDITION TO EXISTING BUILDING

57 PRESCOTT STREET SOMERVILLE, MA 02143

PETER QUINN ARCHITECTS
ARCHITECTURE
PLANNING
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
259 ELM STREET, SUITE 301
SOMERVILLE, MA 02144
PH 617-354-3989

SEAL



CONSULTANT

PROJECT

RENOVATION AND
ADDITION TO
57 PRESCOTT ST

57 PRESCOTT ST
SOMERVILLE, MA

PREPARED FOR

ALEX AND Yael ASEN

57 PRESCOTT ST
SOMERVILLE, MA

DRAWING TITLE

TITLE SHEET

SCALE AS NOTED

REVISION	DATE

SP APPLICATION	17 OCT 2018
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DRAWN BY BI	REVIEWED BY PQ
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SHEET

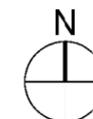
T-1



57 PRESCOTT ST FRONT ELEVATION

LIST OF DRAWINGS		SP APPLICATION 17 OCT 2018		
GENERAL				
T-1	TITLE SHEET	X		
	EXISTING CONDITIONS PLOT PLAN	X		
Z-1	ZONING ANALYSIS	X		
Z-2	ZONING ANALYSIS	X		
Z-3	ZONING ANALYSIS	X		

ARCHITECTURAL				
EC-1	EXISTING FLOOR PLANS	X		
EC-2	EXISTING ROOF PLAN	X		
EC-3	EXISTING ELEVATIONS	X		
EC-4	EXISTING CONDITIONS PHOTOS	X		
A-0	PROPOSED BASEMENT PLAN	X		
A-1	PROPOSED FIRST FLOOR PLAN	X		
A-2	PROPOSED SECOND FLOOR PLAN	X		
A-3	PROPOSED ATTIC LEVEL	X		
A-4	PROPOSED FRONT ELEVATION	X		
A-5	PROPOSED RIGHT ELEVATION	X		
A-6	PROPOSED REAR ELEVATION	X		
A-7	PROPOSED LEFT ELEVATION	X		



LOCUS PLAN

PREPARED BY:

ARCHITECT

PETER QUINN ARCHITECTS LLC
259 ELM ST, STE 301
SOMERVILLE, MA 02144
PH (617) 354 3989

CIVIL ENGINEERS AND
LAND SURVEYORS

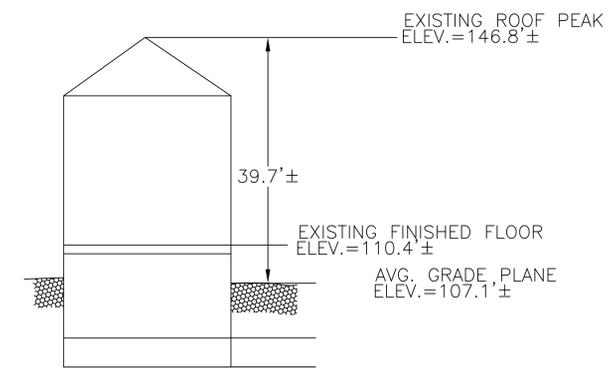
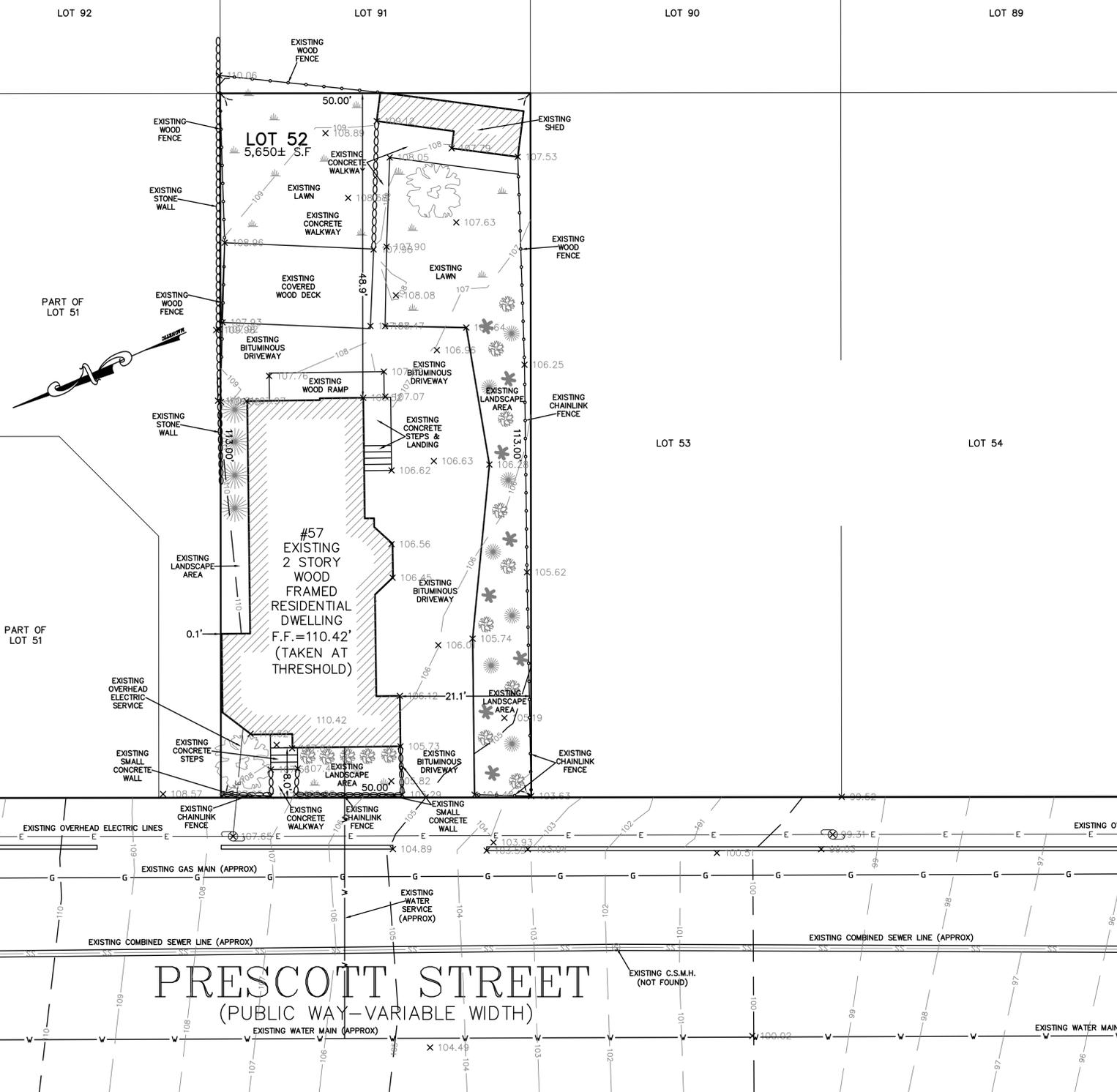
PETER NOLAN & ASSOCIATES LLC
697 CAMBRIDGE STREET, STE 103
BRIGHTON, MA 02135
PH (617) 782 1533

EXISTING LEGEND

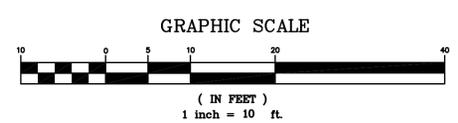
SS	SEWER LINE
⊙	SEWER MANHOLE
—V—	WATER LINE
—G—	GAS LINE
⊕	UTILITY POLE
⊗	GAS VALVE
—E—	OVERHEAD ELECTRIC SERVICE
⊗	WATER VALVE
□	CATCH BASIN
—○—	FENCE
205	CONTOUR LINE (MJR)
195	CONTOUR LINE (MNR)
X	SPOT GRADE
⊕	DRAIN MANHOLE
⊕	HYDRANT
⊕	TREE

NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 7/19/2018.
2. DEED REFERENCE BOOK 66449 PAGE 353
PLAN REFERENCE BOOK 7 PLAN 40,
MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0438E, PANEL NUMBER 0438E, COMMUNITY NUMBER: 250214, DATED JUNE 4, 2010.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. ZONING DISTRICT = R.A. - RESIDENCE A



EXISTING PROFILE
NOT TO SCALE



PRESCOTT STREET
(PUBLIC WAY - VARIABLE WIDTH)

SCALE	1"=10'
DATE	8/15/2018
SHEET	1
PLAN NO.	1 OF 1
CLIENT:	57 PRESCOTT STREET SOMERVILLE MASSACHUSETTS EXISTING CONDITIONS SITE PLAN
DRAWN BY	PUN
CHKD BY	PUN
APPD BY	PUN
REVISION	
BY	
PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 697 CAMBRIDGE STREET, SUITE 103 BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com	
SHEET NO. 1	



DIMENSIONAL TABLE - RA ZONING DISTRICT

ITEM	ALLOWED/REQUIRED	EXISTING	PROPOSED	COMPLIANCE
USE	PER §7.11	RESIDENTIAL	RESIDENTIAL	COMPLIES
NUMBER OF DWELLING UNITS	2	1	2	COMPLIES
LOT SIZE (SF) MIN	10,000	5,650	NO CHANGE	EXISTING NONCOMFORMITY
LOT AREA / UNIT MIN WITH 1-9 UNITS (SF)	2,250	5,650	2,825	COMPLIES
GROUND COVERAGE (%) MAX	50	±30	±44	COMPLIES
LANDSCAPED AREA MIN (% OF LOT)	25	±40	±42	COMPLIES
PERVIOUS AREA MIN (% OF LOT)	35	±40	±53	COMPLIES
NET FLOOR AREA (NSF)	4,237	±1,927	±4,133	COMPLIES
FLOOR AREA RATIO MAX (FAR)	0.75	0.34	0.73	COMPLIES
HEIGHT MAX (FT/ STORIES)	35' 2 1/2 STORY	±24'-6" 2 1/2 STORY	±29' 2 1/2 STORY	COMPLIES
FRONT YARD MIN (FT)	15	7.9	NO CHANGE	EXISTING NONCONFORMITY
REAR YARD MIN (FT)	20	49.8	20.1	COMPLIES
SIDE YARD MIN - LEFT (FT)	8	±0.1	NO CHANGE	EXISTING NONCONFORMITY
SIDE YARD MIN - RIGHT (FT)	9	23.1	9.2	COMPLIES
FRONTAGE MIN (FT)	50	50	NO CHANGE	COMPLIES
NO. OF PARKING SPACES MIN	4**	2	2 - NO CHANGE	REQUIRES RELIEF
MIN NO. BIKE PARKING SPACES	0	0	0	COMPLIES

ALL DIMENSIONS ARE APPROXIMATE & PENDING PLOT PLAN VERIFICATION.
SEE DIMENSIONAL SITE PLAN ON SHEET Z-2.

**NUMBER OF REQUIRED PARKING SPACE PER §9.5
RESIDENTIAL

(2) 3 OR 3+ BR UNITS AT 2 PER UNIT = 2X2 = 4
VISITOR SPACE AT 1 PER 6 UNITS (MIN 6 UNITS) = 0

4

4 SPACES REQUIRED

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ZONING
ANALYSIS

SCALE AS NOTED

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SP APPLICATION 12 OCT 2018

DRAWN BY	REVIEWED BY
BI	PQ

SHEET

Z-1

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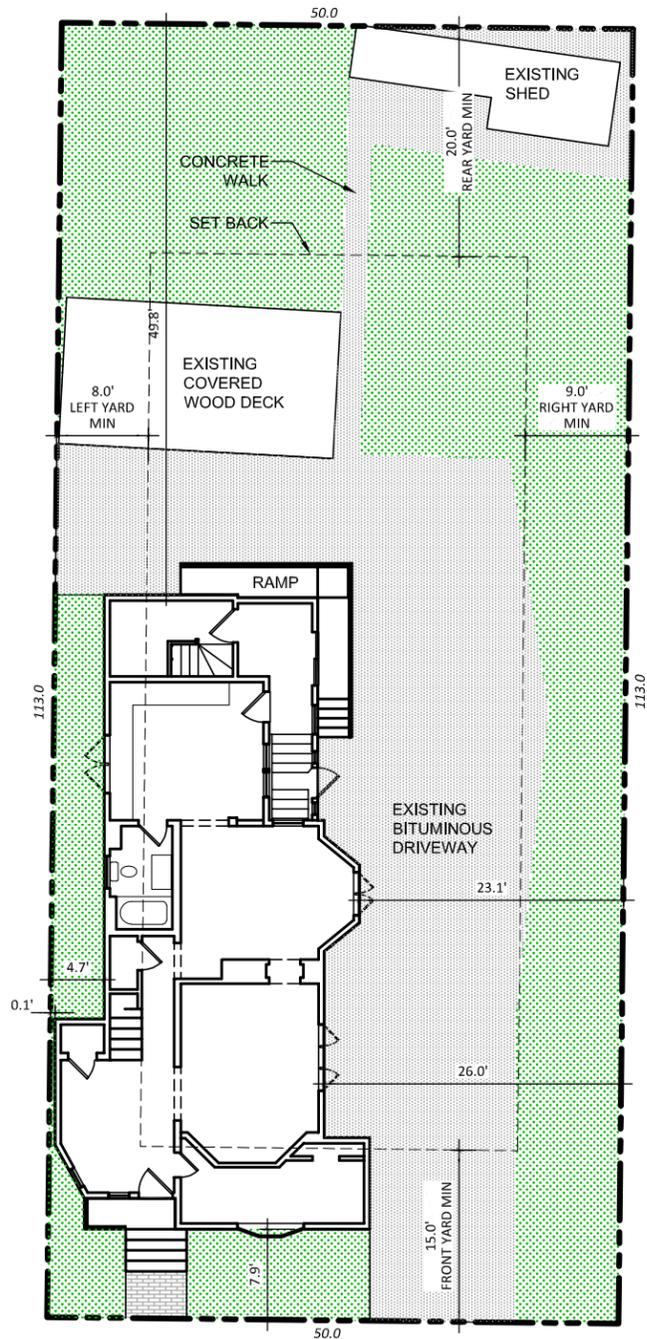
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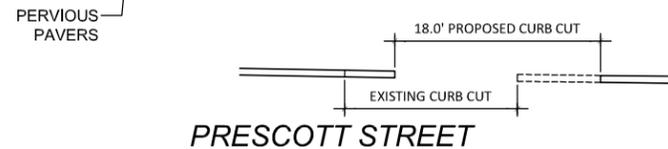
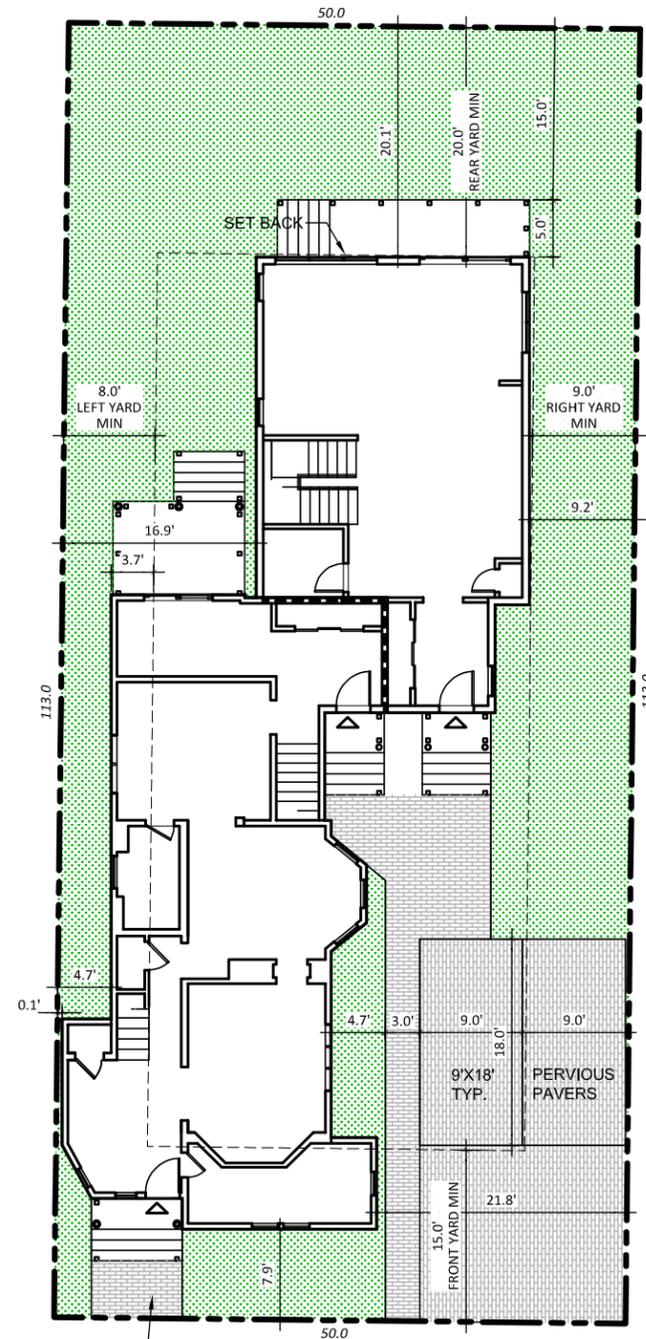
SHEET

Z-2



1 EXISTING DIMENSIONAL SITE PLAN
SCALE: 1/16" = 1'-0" ZONING DISTRICT - RES A

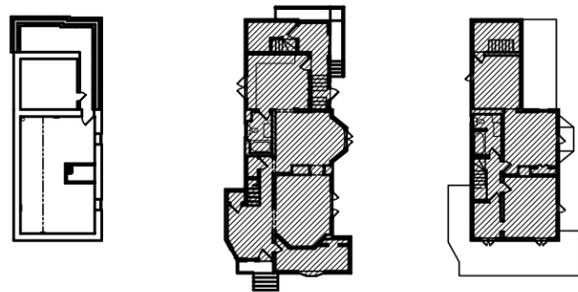
LOT AREA = ±5,650-SF



2 PROPOSED DIMENSIONAL SITE PLAN
SCALE: 1/16" = 1'-0" ZONING DISTRICT - RES A

LOT AREA = ±5,650-SF



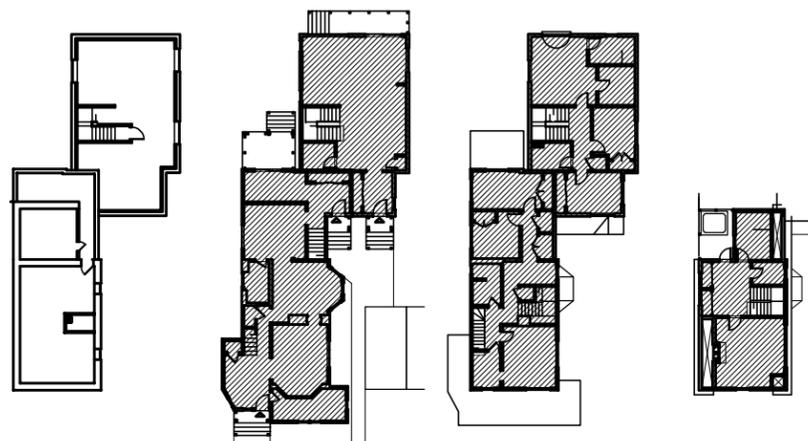


BASEMENT: 0-NSF
 1ST FLOOR: 1,156-NSF
 2ND FLOOR: 771-NSF

EXISTING NET SQUARE FOOTAGE SUMMARY

FLOOR	EXISTING NSF
2ND FL	771
1ST FL	1156
BASEMENT	0
TOTAL	1927

1a EXISTING NSF CALC
 SCALE: 1/40" = 1'-0"



BASEMENT: 0-NSF
 1ST FLOOR: 2,015-NSF
 (-) 94 - NSF STAIR
 BSMT - 1ST FL
 1,921-NSF
 2ND FLOOR: 1,778-NSF
 (-) 97 - NSF STAIR
 1ST - 2ND FL
 1,681-NSF
 ATTIC FLOOR: 584-NSF
 (-) 53 - NSF STAIR
 531-NSF

PROPOSED NET SQUARE FOOTAGE SUMMARY

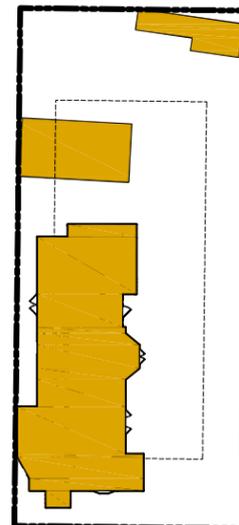
FLOOR	PROPOSED NSF
ATTIC FL	531
2ND FL	1681
1ST FL	1921
BASEMENT	0
TOTAL	4133

1b PROPOSED NSF CALC
 SCALE: 1/40" = 1'-0"

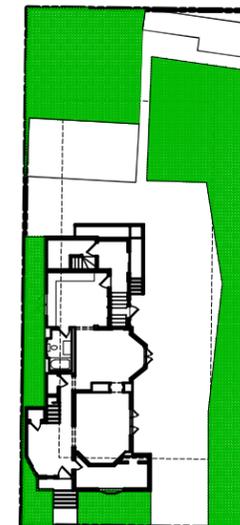


3 BUILDING HEIGHT
 SCALE: 1/16" = 1'-0"

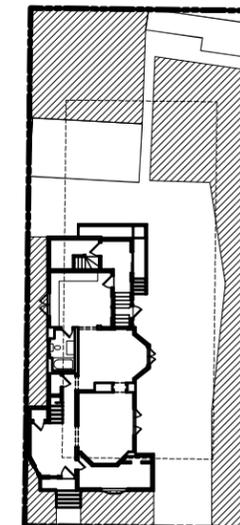
EXISTING



GROUND COVERAGE:
 $\frac{1,720 \text{ SF}}{5,650 \text{ LOT SF}} = 30\%$

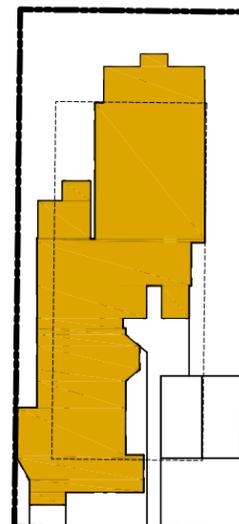


LANDSCAPE AREA:
 $\frac{2,231 \text{ SF}}{5,650 \text{ LOT SF}} = 40\%$

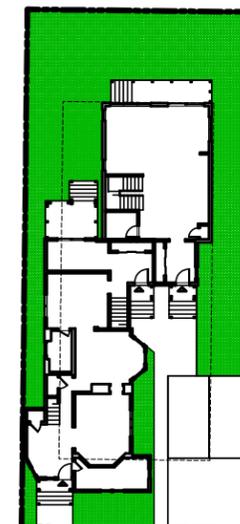


PERVIOUS AREA:
 $\frac{2,231 \text{ SF}}{5,650 \text{ LOT SF}} = 40\%$

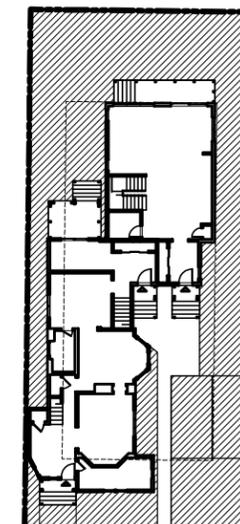
PROPOSED



GROUND COVERAGE:
 $\frac{2,453 \text{ SF}}{5,650 \text{ LOT SF}} = 44\%$



LANDSCAPE AREA:
 $\frac{2,369 \text{ SF}}{5,650 \text{ LOT SF}} = 42\%$



PERVIOUS AREA:
 $\frac{3,012 \text{ SF}}{5,650 \text{ LOT SF}} = 53\%$

2 SITE AREAS
 SCALE: 1/40" = 1'-0"



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SHEET

Z-3



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EXISTING FLOOR PLANS

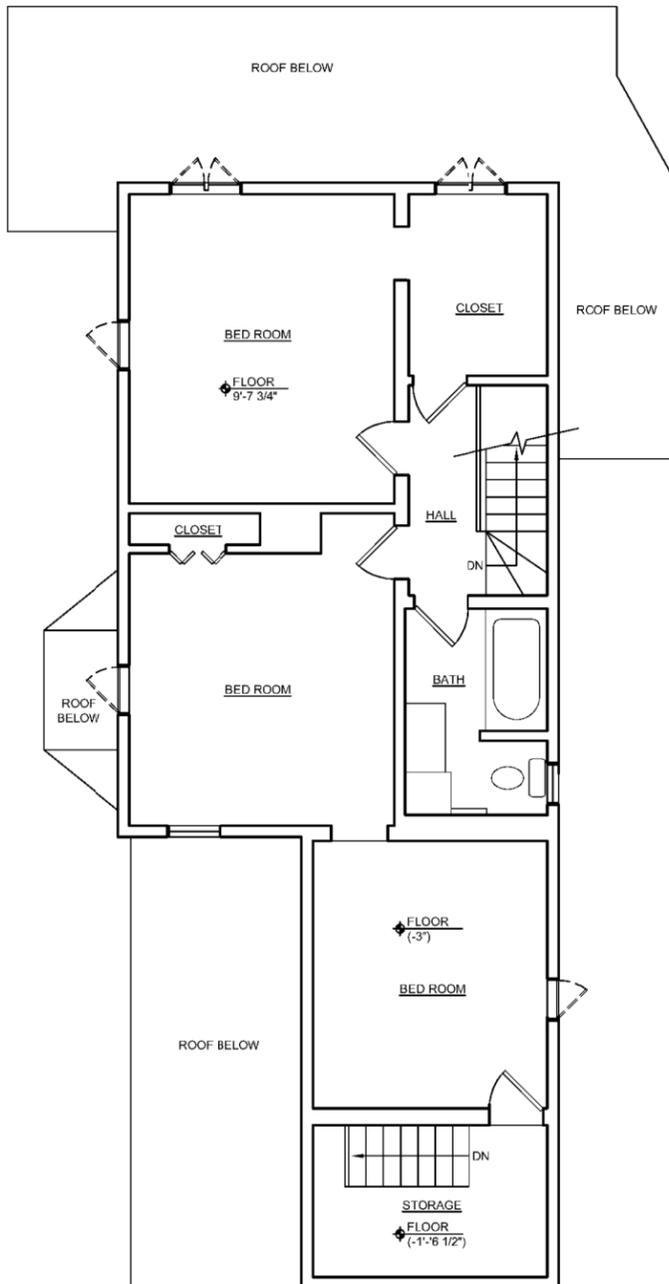
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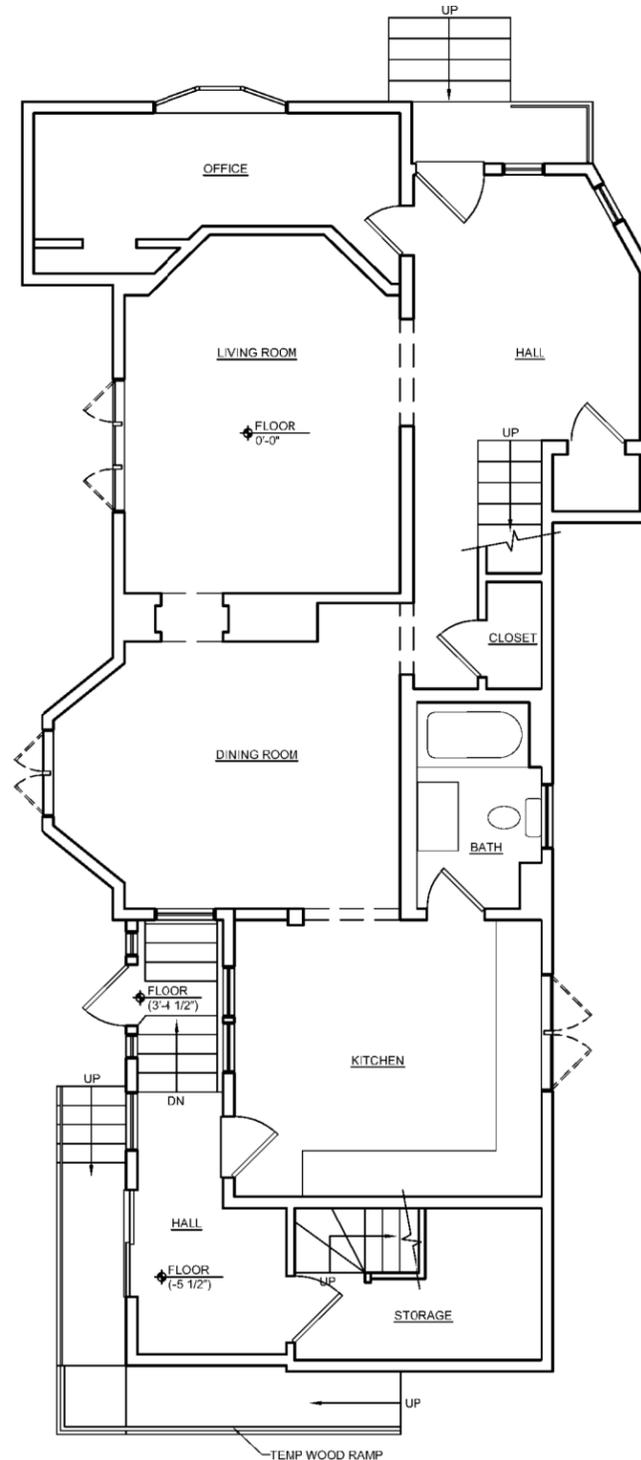
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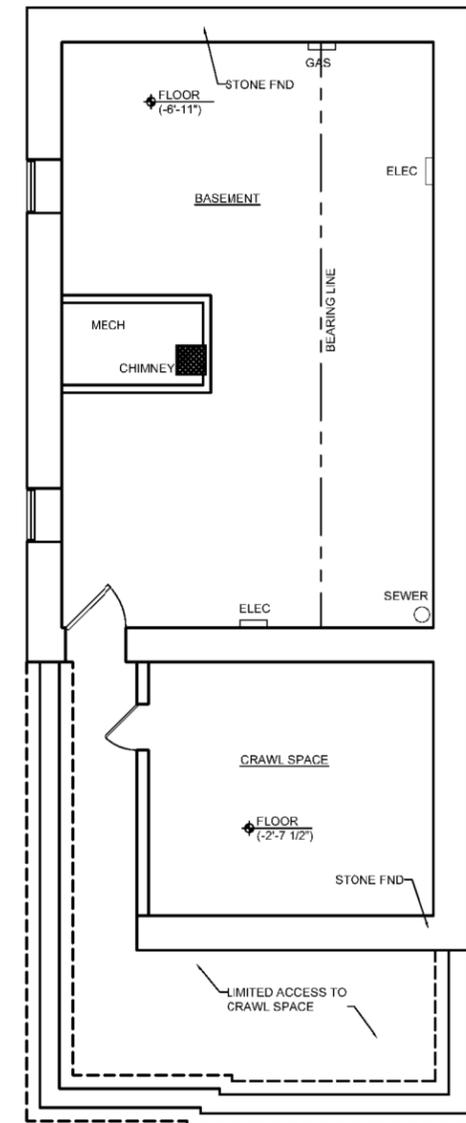
SHEET



3 **EXIST SECOND FL PLAN**
SCALE: 1/8" = 1'-0"



2 **EXIST FIRST FL PLAN**
SCALE: 1/8" = 1'-0"



1 **EXIST BASEMENT**
SCALE: 1/8" = 1'-0"



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EXISTING
ROOF PLAN

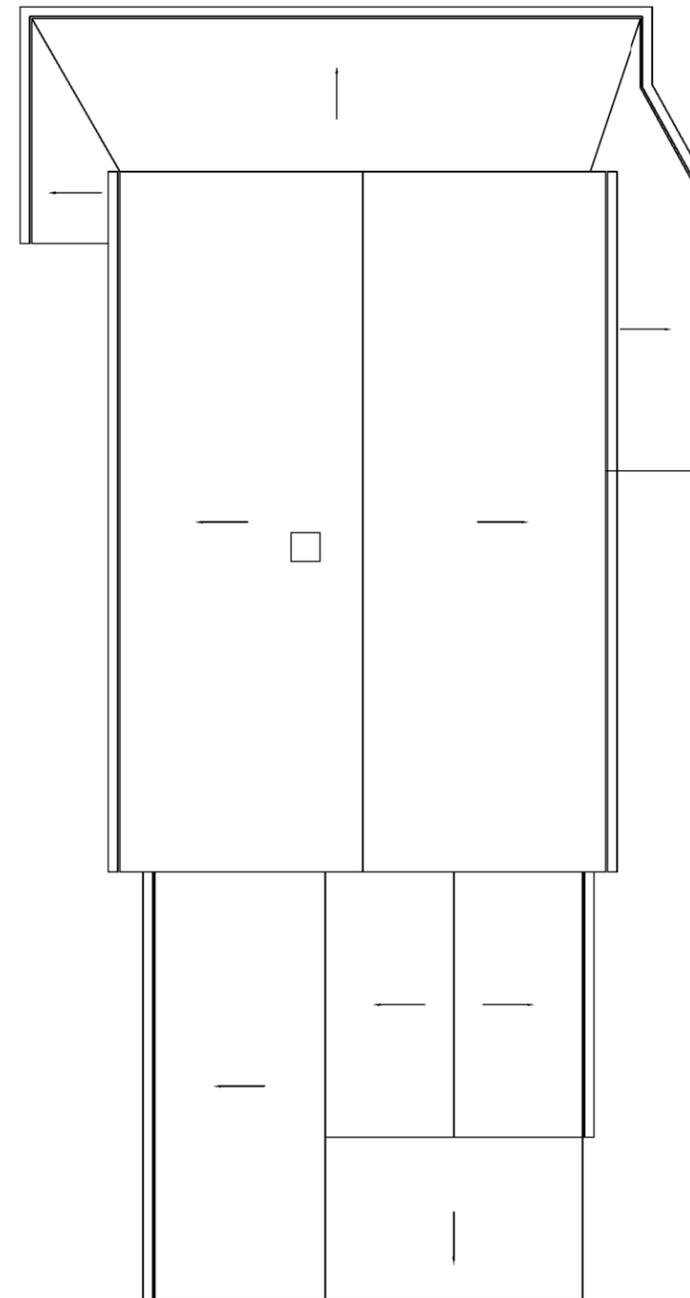
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1 EXIST ROOF PLAN
SCALE: 1/8" = 1'-0"



EC-2

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EXISTING
ELEVATIONS

SCALE AS NOTED

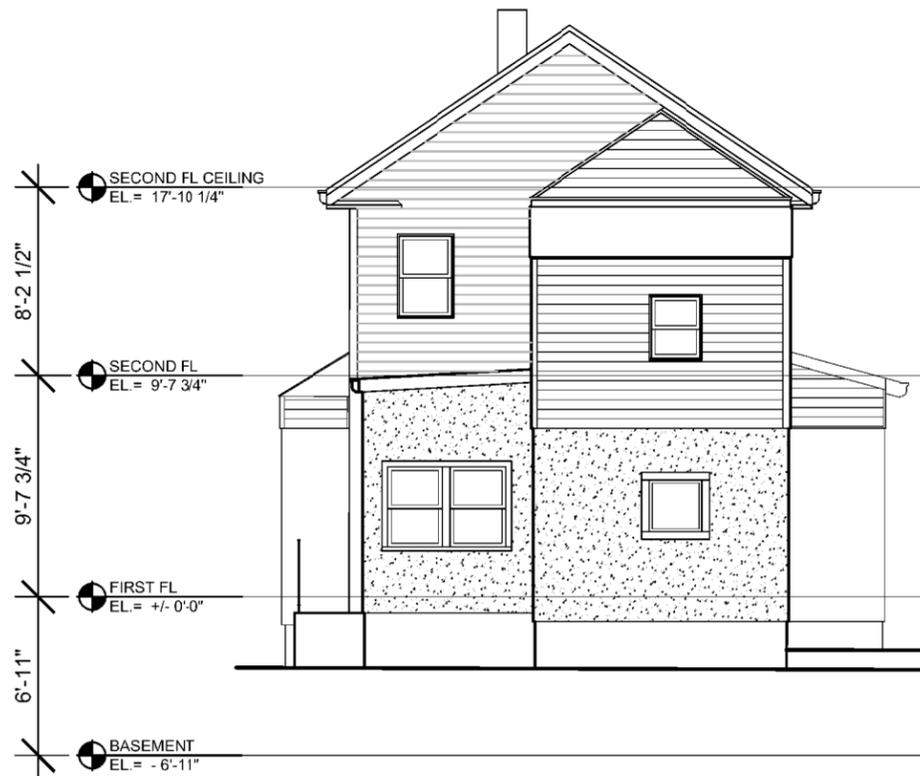
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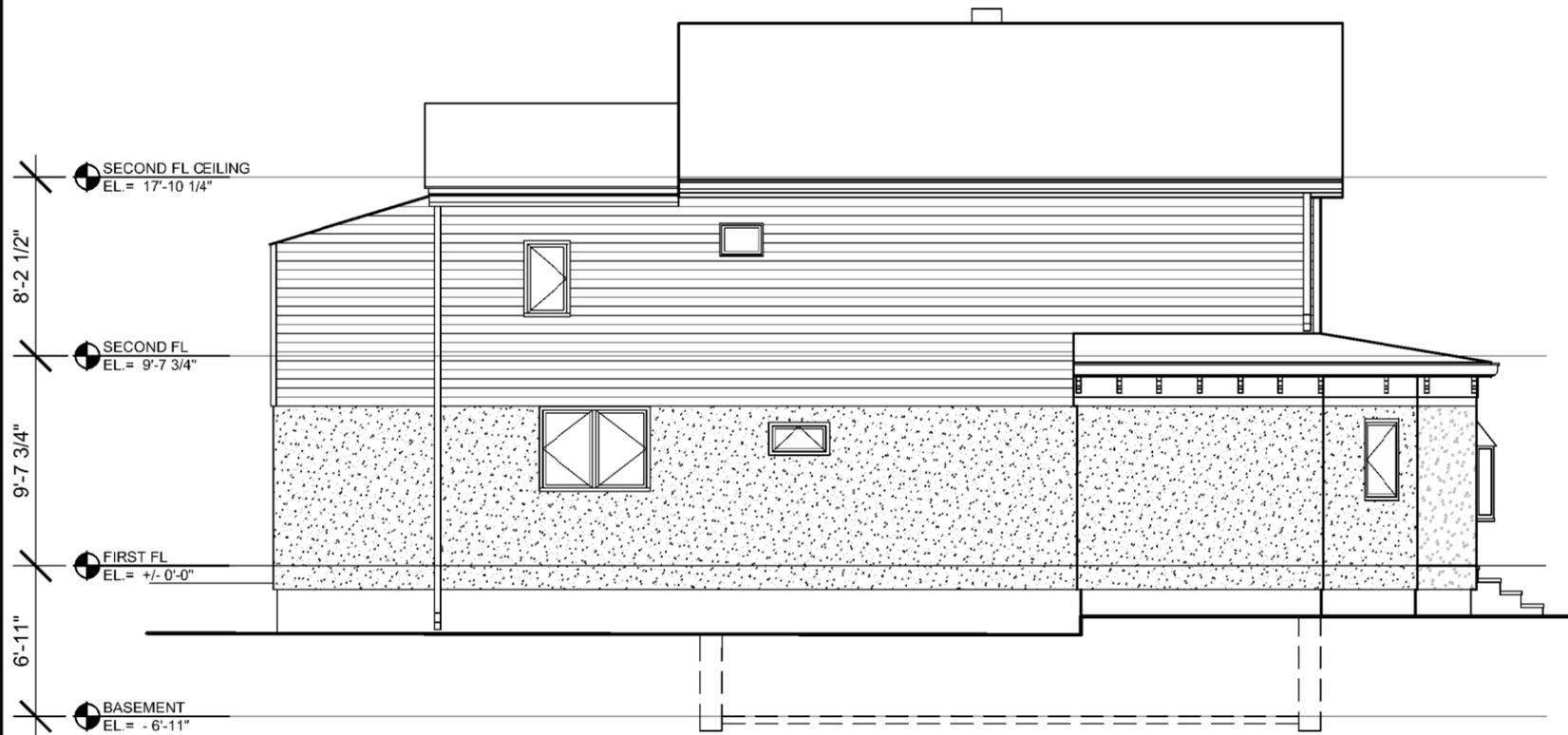
EC-3



4 EXIST REAR ELEVATION
SCALE: 1/8" = 1'-0"



2 EXIST RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



3 EXIST LEFT ELEVATION
SCALE: 1/8" = 1'-0"



1 EXIST FRONT ELEVATION
SCALE: 1/8" = 1'-0"



④ EXISTING VIEW OF REAR



② EXISTING VIEW OF RIGHT



③ EXISTING VIEW OF LEFT



① EXISTING VIEW OF FRONT

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EXISTING
CONDITIONS
PHOTOS

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EC-4

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PROPOSED
BASEMENT
PLAN

SCALE AS NOTED

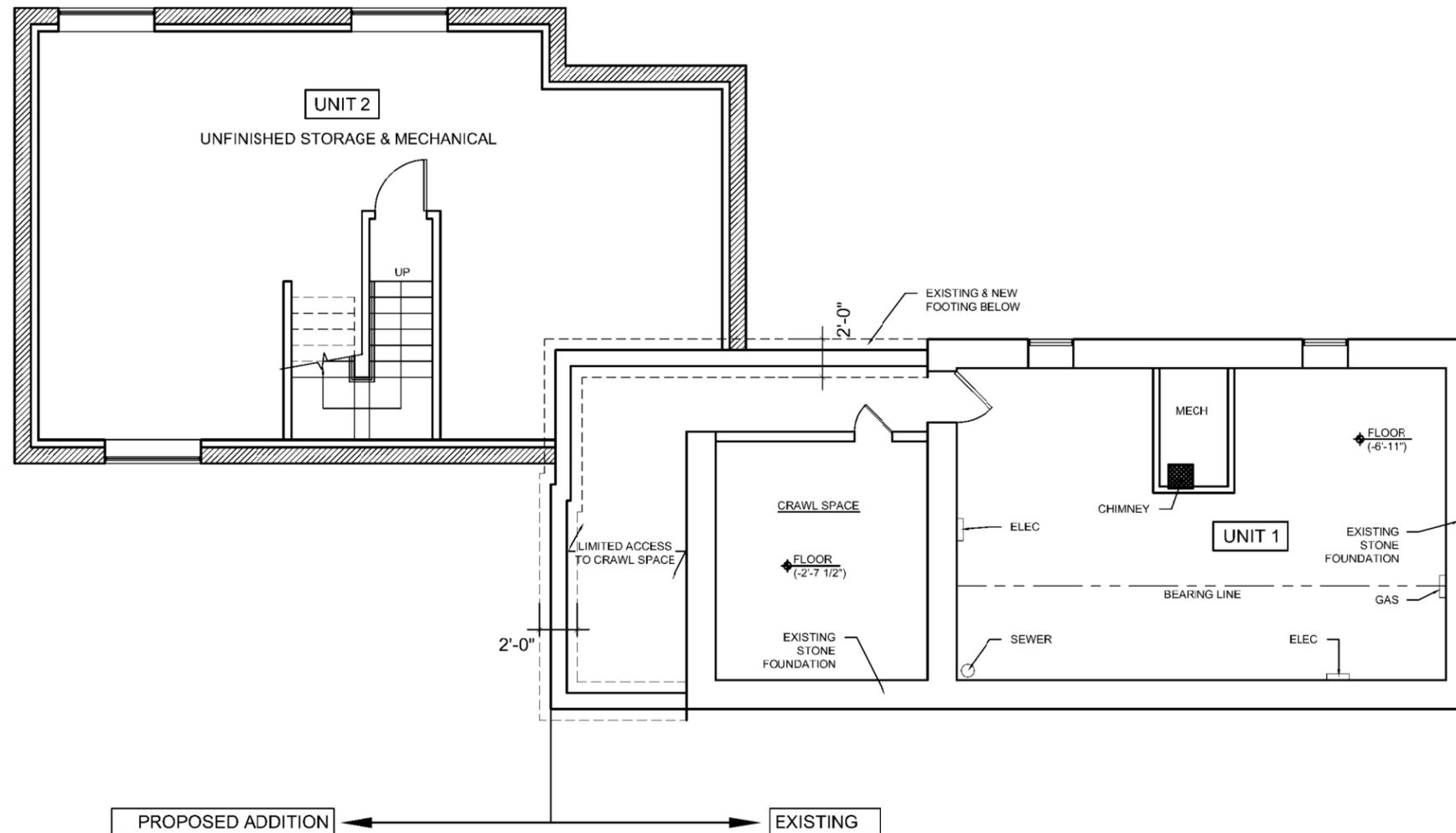
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A-0



1 BASEMENT PLAN
SCALE: 1/8" = 1'-0"

LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



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PROPOSED
SECOND FLOOR
PLAN

SCALE AS NOTED

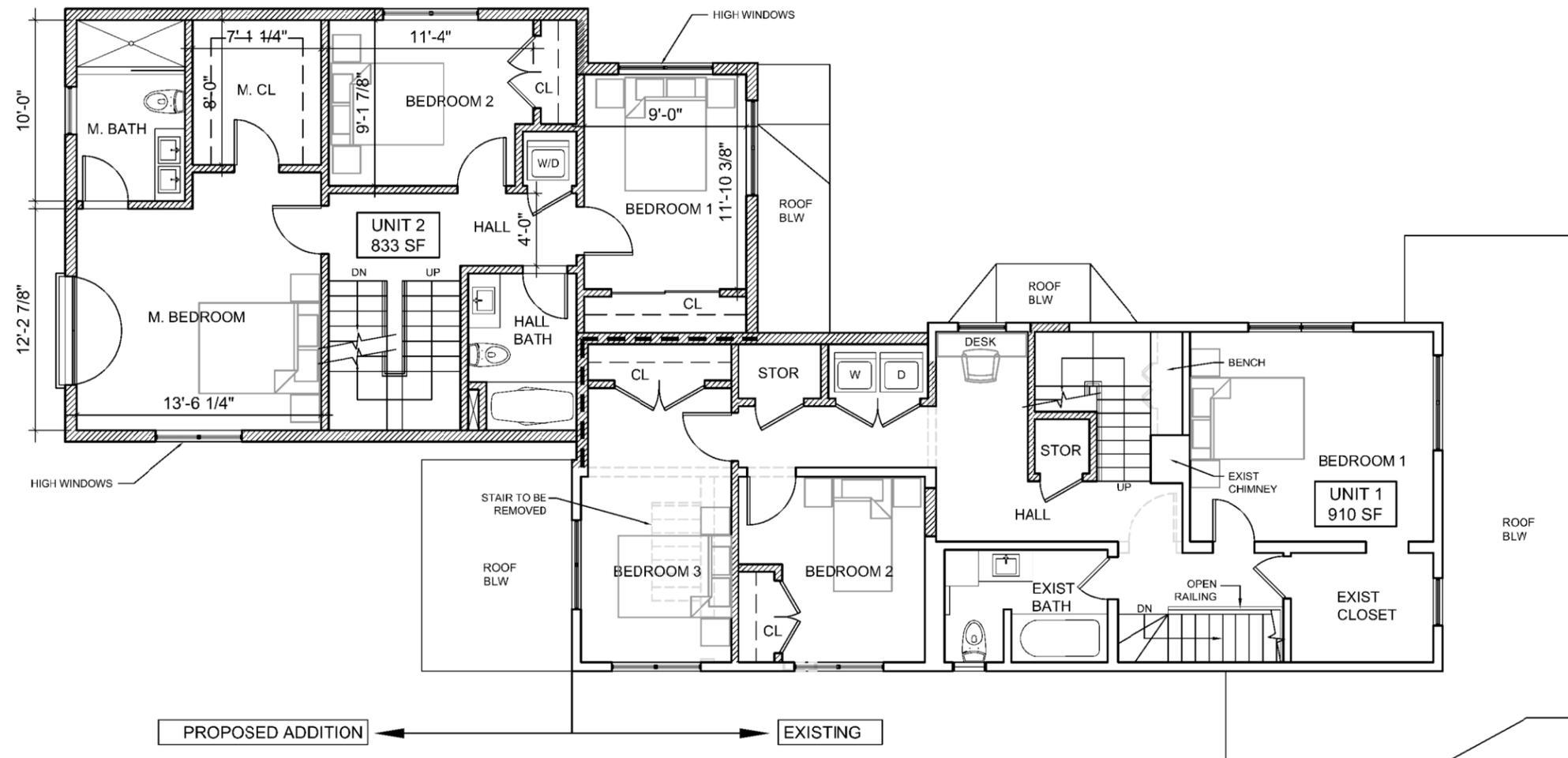
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A-2



PROPOSED ADDITION ← → EXISTING

1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED NEW WALL



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PROPOSED
ATTIC LEVEL

SCALE AS NOTED

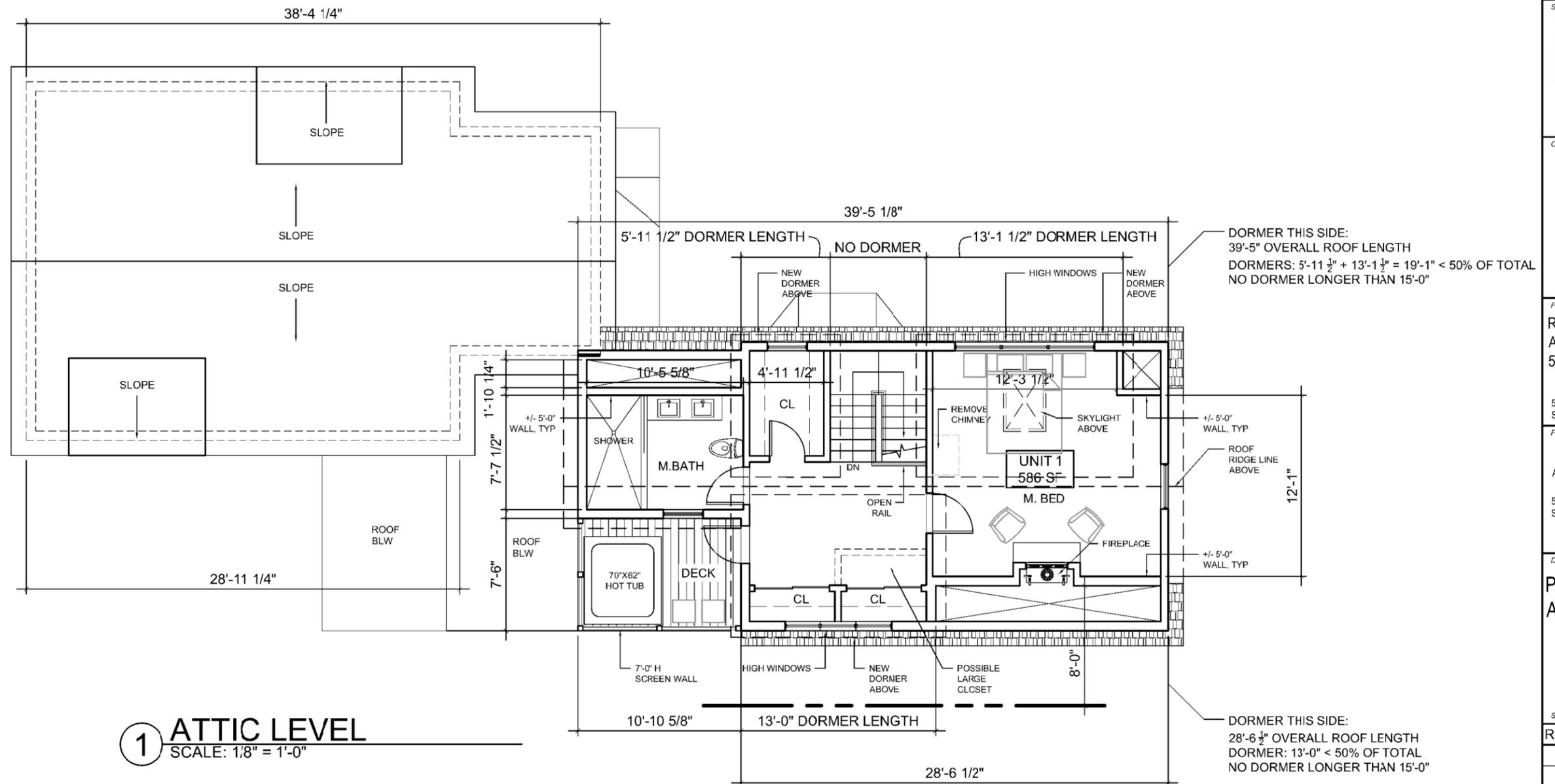
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A-3



1 ATTIC LEVEL
SCALE: 1/8" = 1'-0"

LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
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PROPOSED FRONT
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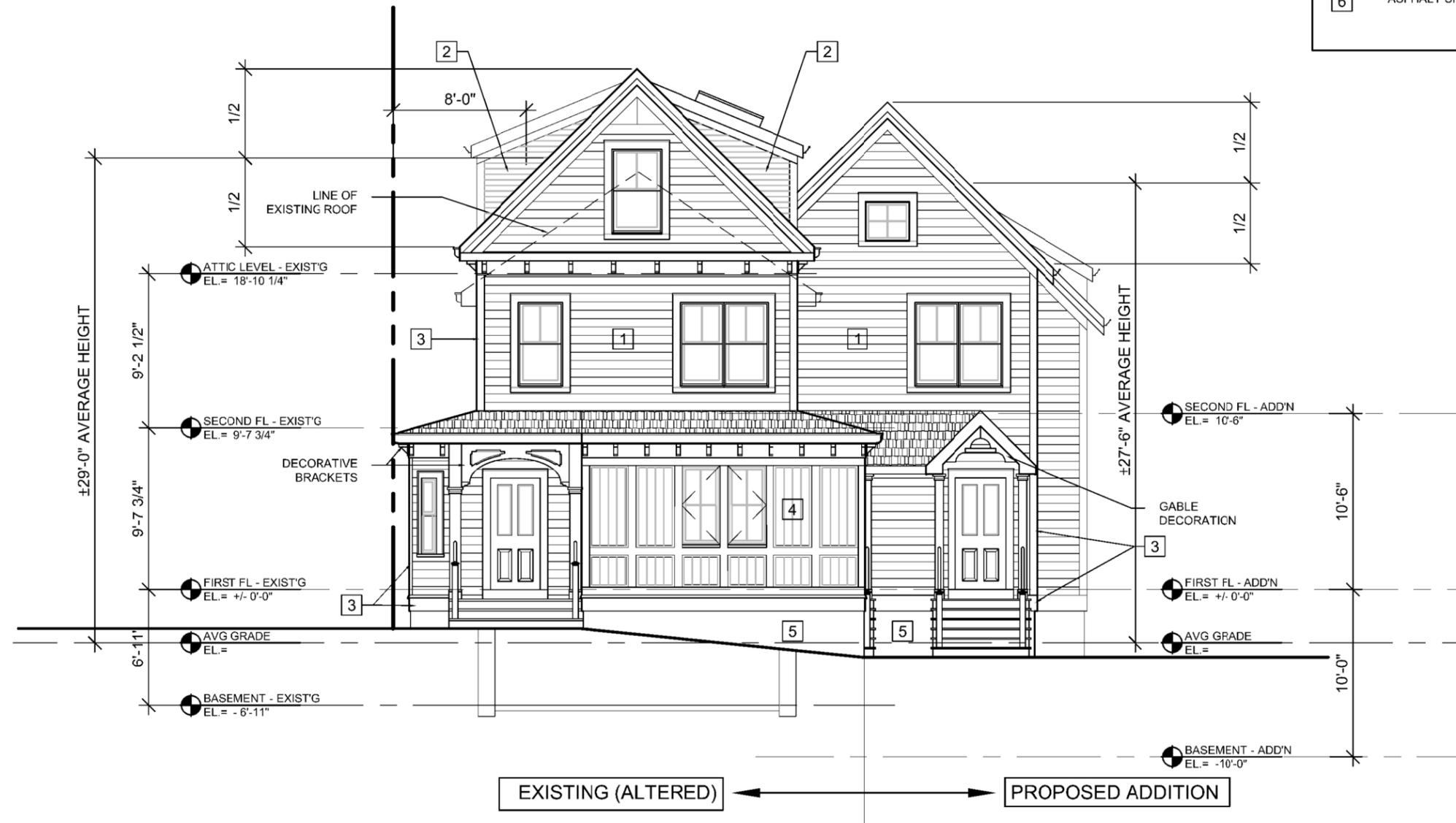
SHEET

A-4

TYPICAL NOTE:
 E = EXISTING WINDOW TO REMAIN

EXTERIOR MATERIALS LEGEND

- 1 ALLURA FIBER CEMENT LAP SIDING, 7 1/4"X12'-0" SIZE; 6' EXPOSURE
- 2 ALLURA FIBER CEMENT LAP SIDING, 5 1/4"X12'-0" SIZE; 4' EXPOSURE
- 3 BORAL TRIM BOARD / CORNER BOARD, OR EQUAL
- 4 BORAL CHANNEL SIDING, OR EQUAL
- 5 PAINTED CONCRETE / STUCCO
- 6 ASPHALT SHINGLES



1 PROPOSED FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

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PROPOSED RIGHT
SIDE ELEVATION

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A-5

TYPICAL NOTE:
E = EXISTING WINDOW TO REMAIN

EXTERIOR MATERIALS LEGEND

- 1 ALLURA FIBER CEMENT LAP SIDING, 7 1/4"X12'-0" SIZE; 6" EXPOSURE
- 2 ALLURA FIBER CEMENT LAP SIDING, 5 1/4"X12'-0" SIZE; 4" EXPOSURE
- 3 BORAL TRIM BOARD / CORNER BOARD, OR EQUAL
- 4 BORAL CHANNEL SIDING, OR EQUAL
- 5 PAINTED CONCRETE / STUCCO
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1 RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

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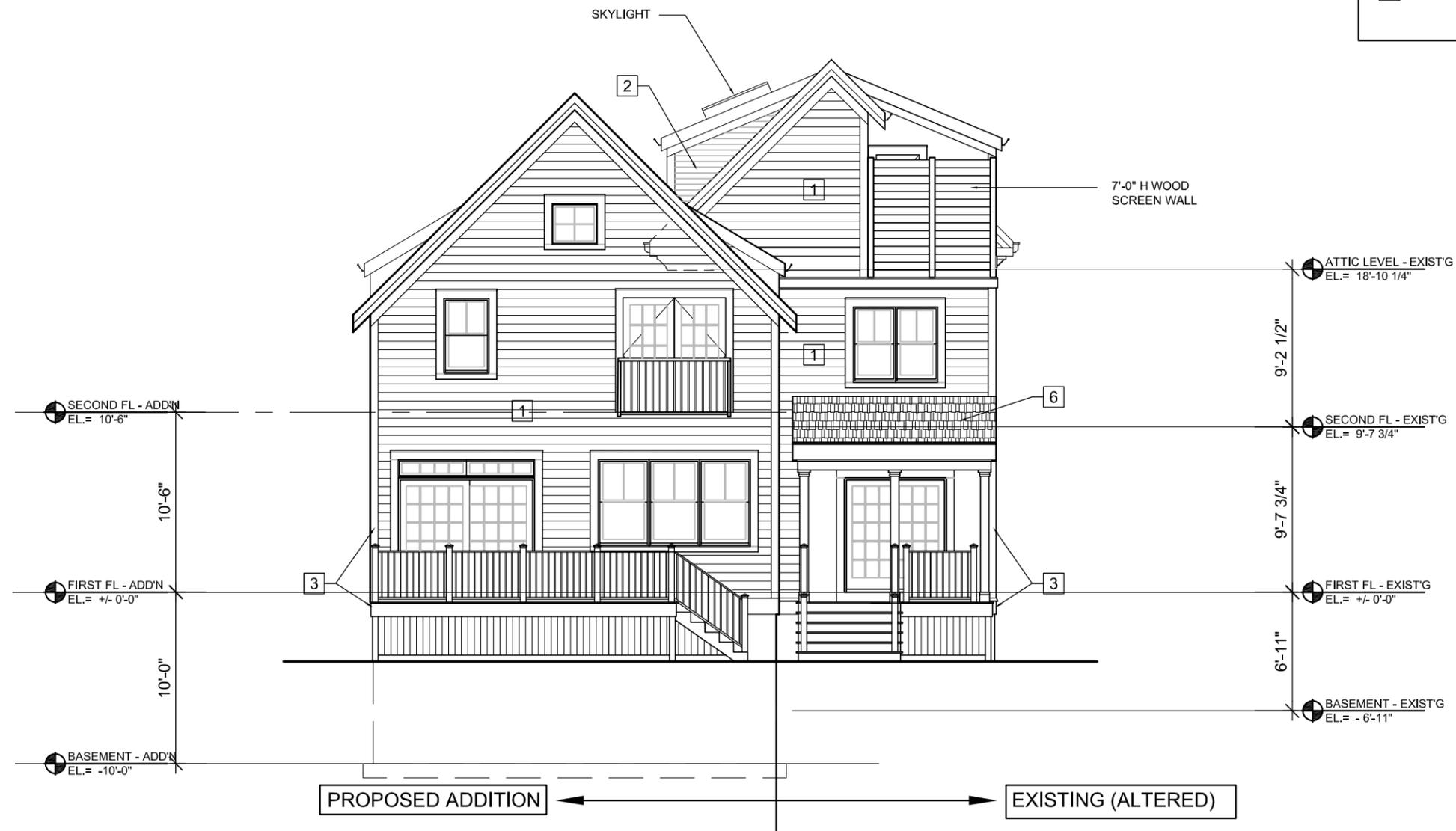
SHEET

A-6

TYPICAL NOTE:
E = EXISTING WINDOW TO REMAIN

EXTERIOR MATERIALS LEGEND

- 1 ALLURA FIBER CEMENT LAP SIDING, 7 1/4"X12'-0" SIZE; 6" EXPOSURE
- 2 ALLURA FIBER CEMENT LAP SIDING, 5 1/4"X12'-0" SIZE; 4" EXPOSURE
- 3 BORAL TRIM BOARD / CORNER BOARD, OR EQUAL
- 4 BORAL CHANNEL SIDING, OR EQUAL
- 5 PAINTED CONCRETE / STUCCO
- 6 ASPHALT SHINGLES



1 REAR ELEVATION
SCALE: 1/8" = 1'-0"

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PROPOSED LEFT
 ELEVATION

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SHEET

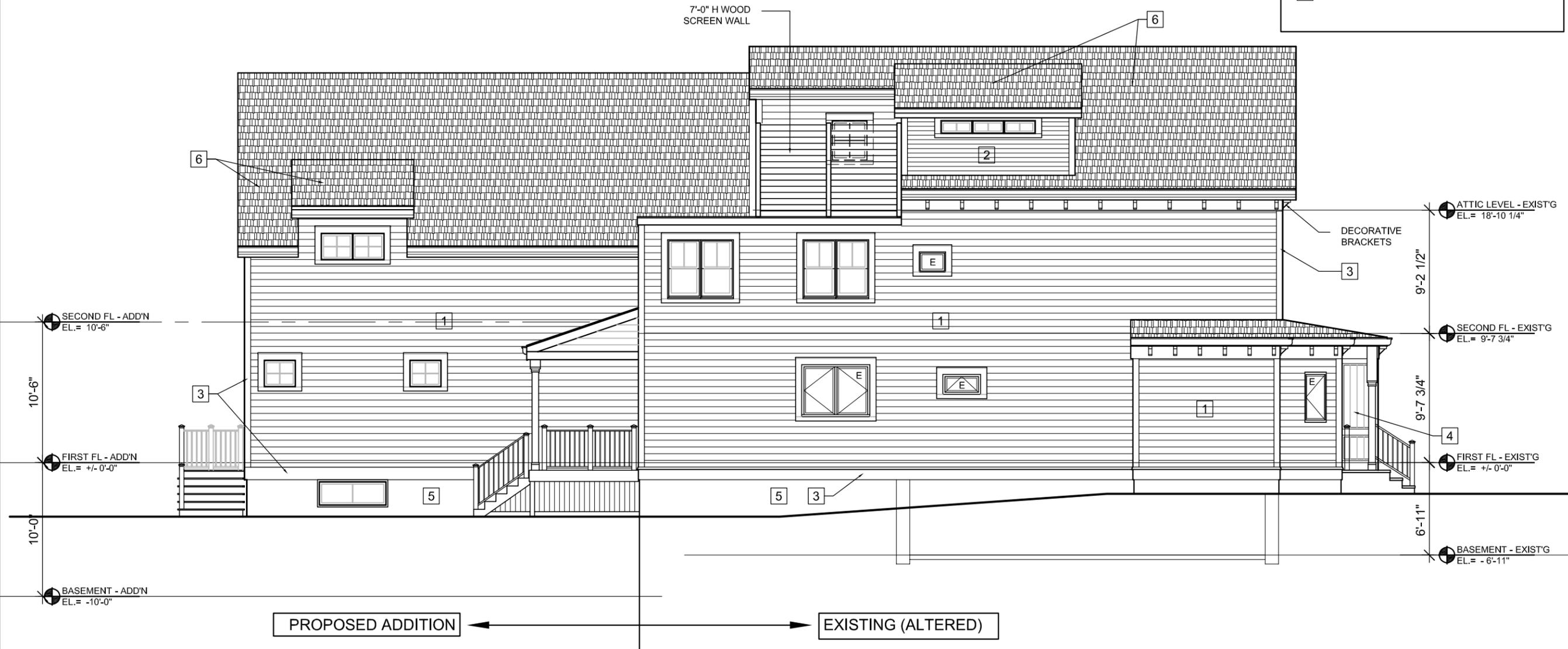
A-7

TYPICAL NOTE:
 E = EXISTING WINDOW TO REMAIN

EXTERIOR MATERIALS LEGEND

- 1 ALLURA FIBER CEMENT LAP SIDING, 7 1/4"X12'-0" SIZE; 6" EXPOSURE
- 2 ALLURA FIBER CEMENT LAP SIDING, 5 1/4"X12'-0" SIZE; 4" EXPOSURE
- 3 BORAL TRIM BOARD / CORNER BOARD, OR EQUAL
- 4 BORAL CHANNEL SIDING, OR EQUAL
- 5 PAINTED CONCRETE / STUCCO
- 6 ASPHALT SHINGLES

7'-0" H WOOD
 SCREEN WALL



PROPOSED ADDITION

EXISTING (ALTERED)

1 LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"