

50 OLIVER STREET

Somerville, MA

ARCHITECT:
CENTREPOINT
 ARCHITECTS
 561 Windsor Street A404
 Somerville, ma 02143 t:617.718.9707

Symbol Legend

- 100 ROOM NUMBER
- 1 DOOR NUMBER
- X WINDOW MARK
- X COLUMN LINE

- FE FIRE EXTINGUISHER
- FD FLOOR DRAIN
- FS FLOOR SINK
- HD HUB DRAIN
- LAV LAVATORY
- MT METAL THRESHOLD
- SS SERVICE SINK
- WC WATER CLOSET
- WH WATER HEATER

Detail References

- 3/A7 ROOM OR CABINET ELEVATION
- 3/A7 WALL + DETAILS SECTION
- 3/A7 ITEM NUMBER SHEET NUMBER
- 3/A7 EXTERIOR ELEVATION
- ITEM - SHEET
- DETAIL REFERENCES

Abbreviations

- ACOUSTICAL CEILING
- ABOVE FINISH FLOOR
- ALUMINUM
- BOTTOM
- CONTROL JOINT

Zoning Review

Story	Existing Gross	Existing Net	Proposed Gross	Proposed Net
B	2,291.43	0.00	2,291.43	1,314.00
1	2,238.55	1,950.72	2,238.55	1,950.72
2	2,301.95	1,929.49	2,301.95	1,929.49
Porches	66.95	66.95	66.95	66.95
TOTAL SF	6,831.93	3,880.21	6,831.93	5,261.16
Lot Area	5,275.00	5,275.00	5,275.00	5,275.00
FAR		0.74		1.00

Category	Zoning Code Requirements	Existing Condition	Proposed Condition
District	RB	RB	RB
Uses	2-3 - family residential	4-family residential	4-family residential
Lot Size	7,500 sq.ft.	5,275 sq.ft.	5,275 sq.ft.
Min. lot area per dwelling unit	1,500 sq.ft.	1,318.75 sq.ft.	1,318.75 sq. ft.
Ground Coverage	50%	47.5%	Existing
Landscaped area, % of lot	25%	6%	Existing
Pervious Area, % of lot	35%	6%	Existing
FAR (Somerville Net Area/Lot size)	1.00	0.74	1.00
Height in Stories	3	2	2
Height in feet	40 ft	15 ft	Existing
Front Yard			
Side Yard	8ft (17ft total)	2'-9" / 4'-9"	Existing
Rear Yard	20 ft	35'-7.5"	Existing
Parking	1.5 per 2 bed unit 2.0 per 3 + bed unit	4	Existing

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PERMITTING

No.	ISSUE	DATE
01	PERMITTING	11.20.2018
02	PERMITTING	12.18.2018

PROJECT #:
 11818

DRAWING TITLE:
 TITLE

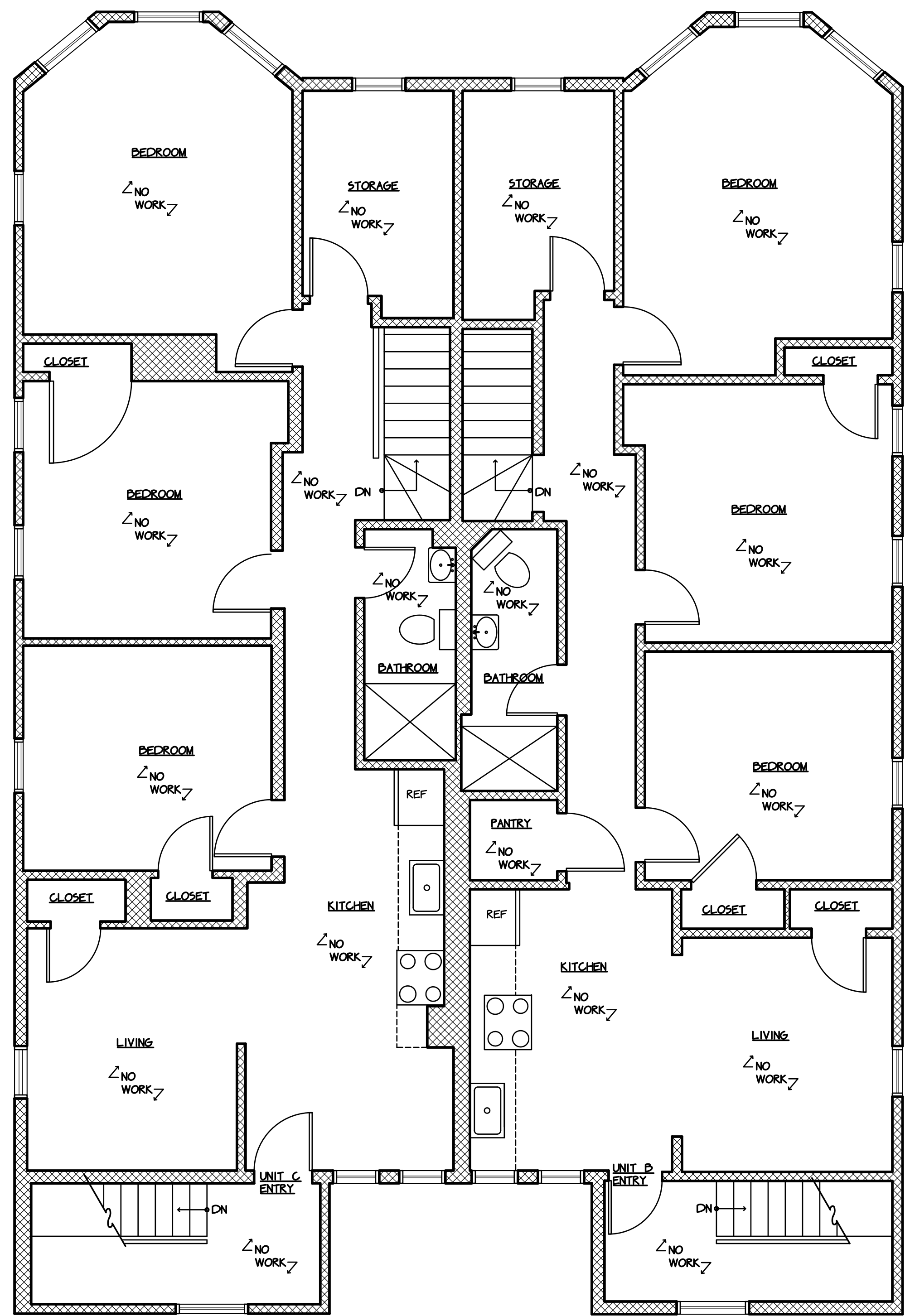
T1

General Notes

- G.C. IS RESPONSIBLE FOR THE COORDINATION OF ALL PARTS OF THE WORK SO THAT NO WORK SHALL BE LEFT IN AN UNFINISHED OR INCOMPLETE CONDITION. G.C. SHALL COORDINATE ALL SUBTRADES SUPPLIED BY OWNER. ALL TRADES INVOLVED WITH THE PROJECT SHALL COOPERATE WITH ONE ANOTHER. SHALL CONSCIOUSLY SAVE AND PROTECT WORK BEING PERFORMED BY OTHER TRADES.
- G.C. SHALL SECURE ALL PROPER PERMITS AND NECESSARY INSPECTIONS FOR AND FROM REGULATORY AGENCIES AFFECTING THIS PROJECT.
- ALL WORK SHALL CONFORM TO ALL INDUSTRY AND MANUFACTURER'S PUBLISHED STANDARDS AS WELL AS ALL REQUIREMENTS IN THESE DRAWINGS AND SPECIFICATIONS. ANY CONFLICTING REQUIREMENTS OF THE SOURCES LISTED ABOVE SHALL BE BROUGHT TO ARCHITECT'S ATTENTION PRIOR TO PROCEEDING WITH WORK.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND GOVERNING AUTHORITIES, INCLUDING LOCAL REQUIREMENTS.
- NO SUBSTITUTIONS FOR ITEMS SPECIFIED WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT, ENGINEER OR OWNER.
- G.C. SHALL PROTECT WORK BY OTHER CONTRACTORS. G.C. SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ALL WORK BY OTHER INCURRED WHILE FULFILLING THE OBLIGATIONS OF THIS CONTRACT.
- ALL WORK NOTED "BY OTHERS" OR "N.I.C." IS TO BE THE RESPONSIBILITY OF THE OWNER AND IS NOT TO BE PART OF THE CONSTRUCTION AGREEMENT. G.C. SHALL COOPERATE WITH THE OWNER AND OWNER'S OUTSIDE CONTRACTORS AS REQUIRED.
- G.C. IS RESPONSIBLE FOR ALL SHORING AND BRACING OF EXISTING SOILS DURING DEMOLITION AND CONSTRUCTION.
- G.C. IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL DEMOLITION AND CONSTRUCTION MATERIALS.
- G.C. SHALL MAINTAIN A CLEAN AND ORDERLY WORKSITE AT ALL TIMES.
- G.C. SHALL CLEAN SITE AT COMPLETION OF CONSTRUCTION.
- ALL WORK SHALL BE GUARANTEED BY THE G.C. AGAINST DEFECTS AND POOR WORKMANSHIP FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM SUBSTANTIAL COMPLETION.
- G.C. SHALL BE RESPONSIBLE FOR BLOCKING AND ELECTRICAL CONNECTIONS FOR ALL MILLWORK. PROVIDE ADEQUATE CONCEALED BLOCKING FOR ALL MILLWORK HUNG FROM PARTITIONS. ALL WOODWORK, BLOCKING, GROUNDS, ETC. SHALL BE FIRE TREATED IN ACCORDANCE WITH ALL APPLICABLE CODES.

Drawing Index

- T1 TITLE SHEET / CODE INFORMATION
- ARCHITECTURAL:
 - D10 DEMOLITION BASEMENT AND FIRST FLOOR PLANS
 - D11 EXISTING SECOND FLOOR PLAN
 - A10 PROPOSED BASEMENT + FIRST FLOOR PLAN



1 EXISTING SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

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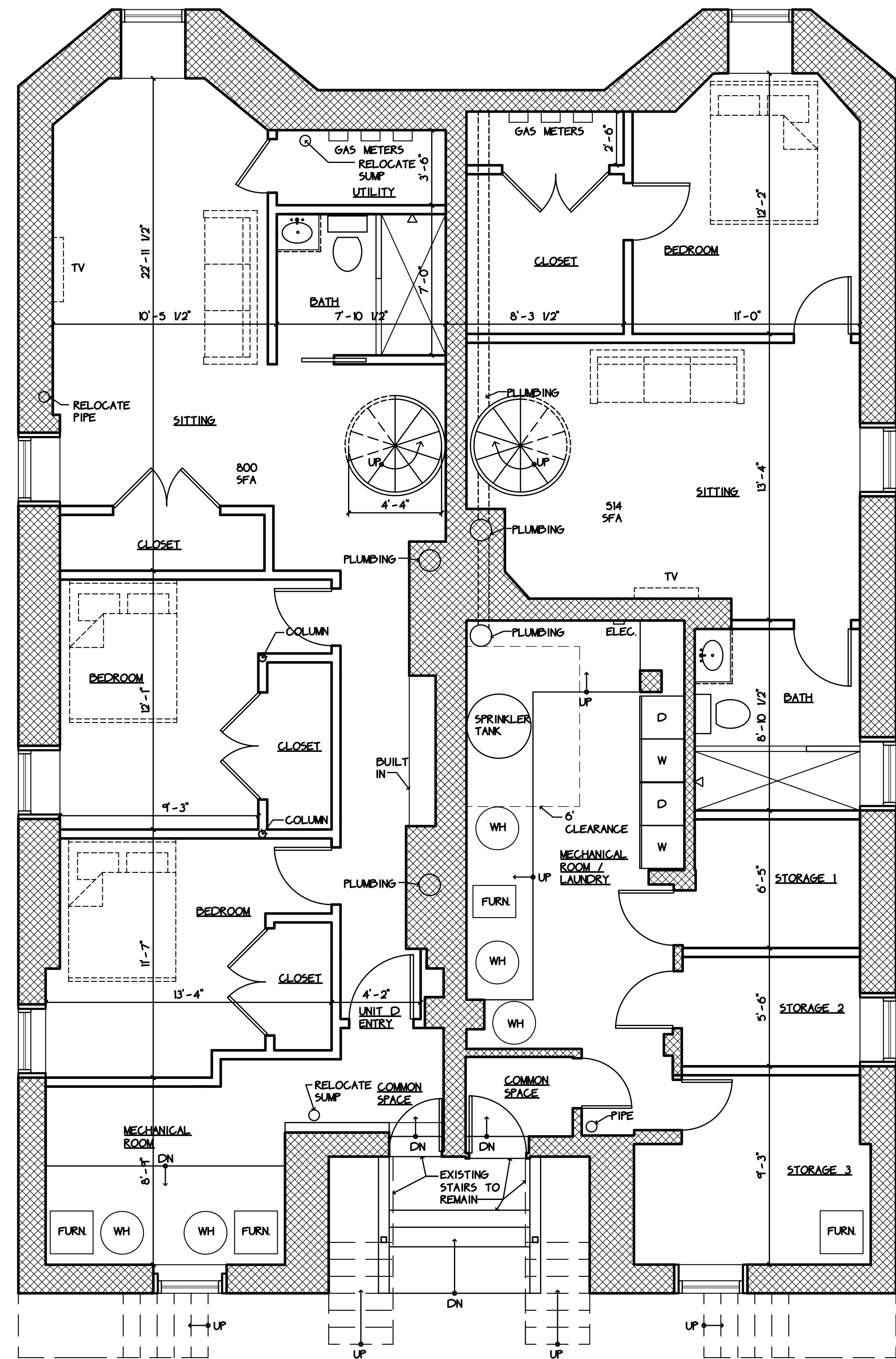
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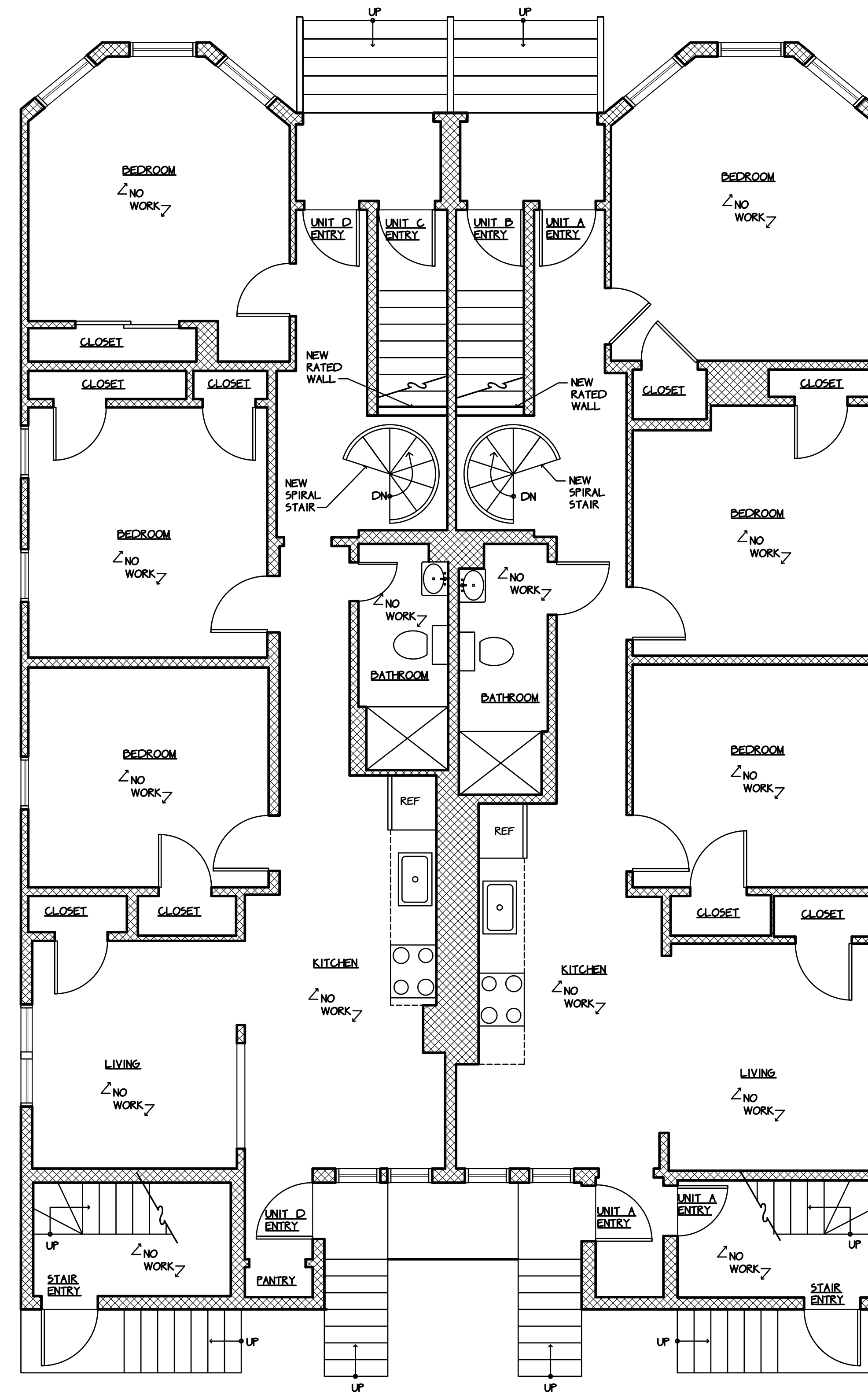
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DRAWING TITLE:
EXISTING PLAN

D1.1



1 PROPOSED BASEMENT PLAN
Scale: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

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DRAWING TITLE:
PROPOSED PLANS

A1.0