

FIELD BOOK	PAGE	INSP. BY	DRAFT. BY	CHECKED BY
C22	69	C/D	DRM	GCC

EASEMENT PLAN OF LAND

LOCATED AT

**29 WARD STREET
SOMERVILLE, MA**

SCALE: 1 INCH = 20 FEET

DATE: AUGUST 3, 2010

PREPARED FOR: SCOTT W. FLANAGAN
29 WARD STREET
SOMERVILLE, MA

REGISTRY OF DEEDS USE ONLY

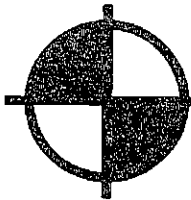


REFERENCES

DEED: BOOK 43094 ; PAGE 561
 PLAN: PLAN BOOK 17B ; PLAN 89
 PLAN: L.C.C. # 43197-A
 SOMERVILLE ENGINEERS F.B. # 136 ; PGS.176-181
 WARD STREET LAYOUT VOL.19 ; PG.26

CERTIFICATION

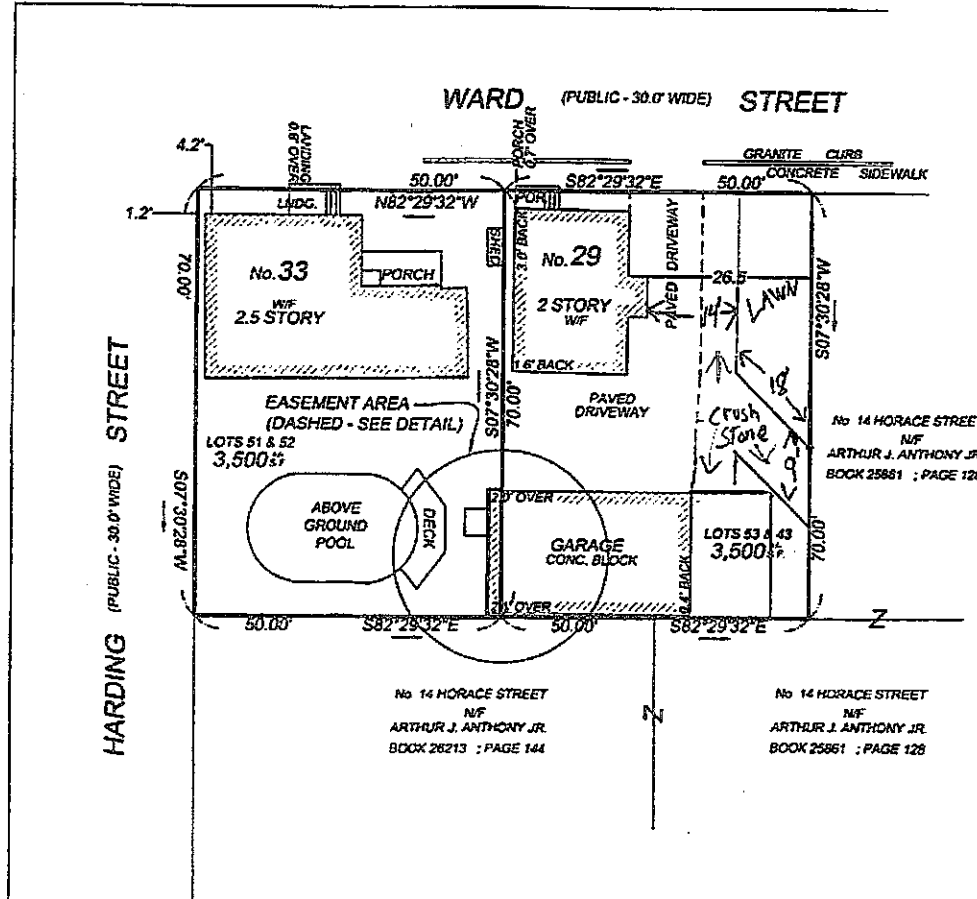
I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND BETWEEN THE DATES OF JUNE 7 AND JUNE 8, 2010 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.



**BOSTON
SURVEY, INC.**

UNIT C-6 SHIPWAYS PLACE
CHARLESTOWN, MA. 02129
(617)242-1315

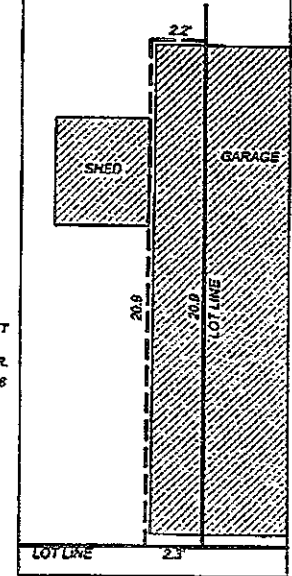
HARDING STREET (PUBLIC - 30.0' WIDE)



DETAIL

NOT TO SCALE

EASEMENT AREA: 47 S.F. +/- (DASHED)



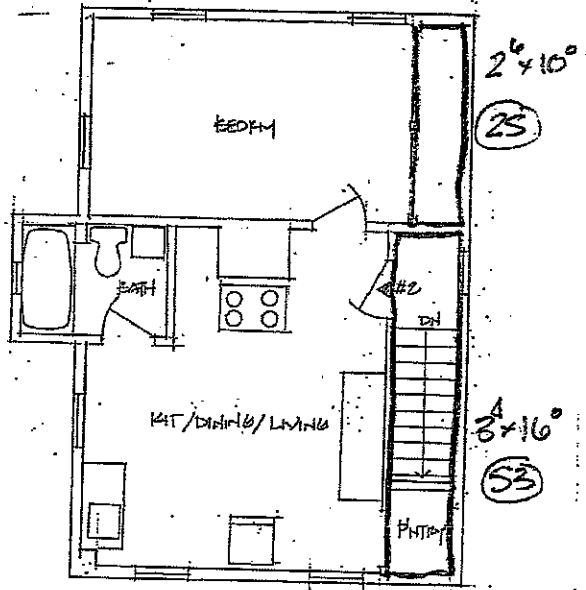
No 14 HORACE STREET
N/F
ARTHUR J. ANTHONY JR.
BOOK 28213 ; PAGE 144

No 14 HORACE STREET
N/F
ARTHUR J. ANTHONY JR.
BOOK 25881 ; PAGE 128

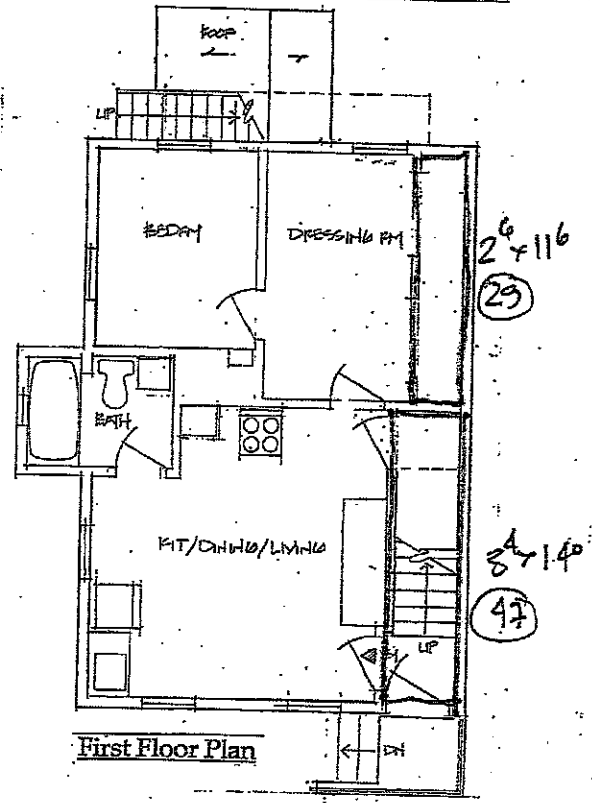


FILE # 10-00368-6/9/10

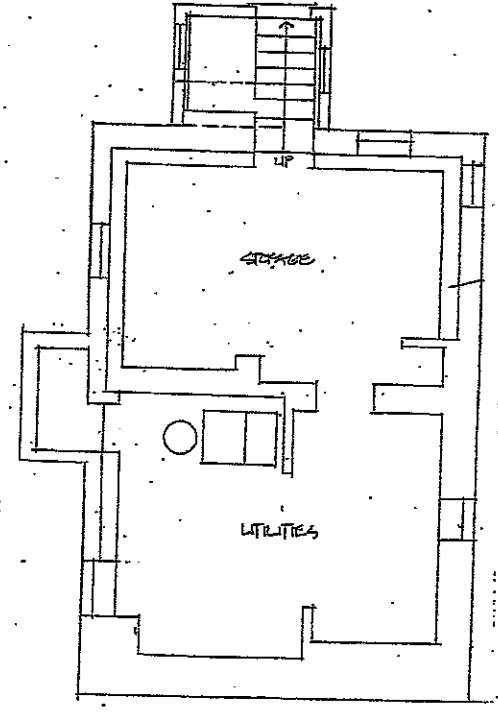
JOB # 10-00368



Second Floor Plan



First Floor Plan



Basement Floor Plan

General Notes re: Demolition

1. Internal walls to be reconfigured except for Bath - typical.
2. Maintain structural stability during demolition. See proposed structural drawings.
3. Fire escape to be removed.
4. Roof to be removed.
5. Windows to be replaced with new windows.
6. Siding to be replaced with new siding.
7. Stairs to be rebuilt.
8. Consult with Owner re: new utilities, appliances, fixtures, flooring, tiling etc.
9. CHIMNEY TO BE REMOVED.

$$18' \times 26' = 468.4$$

$$30' \times 5' = 150$$

$$499$$

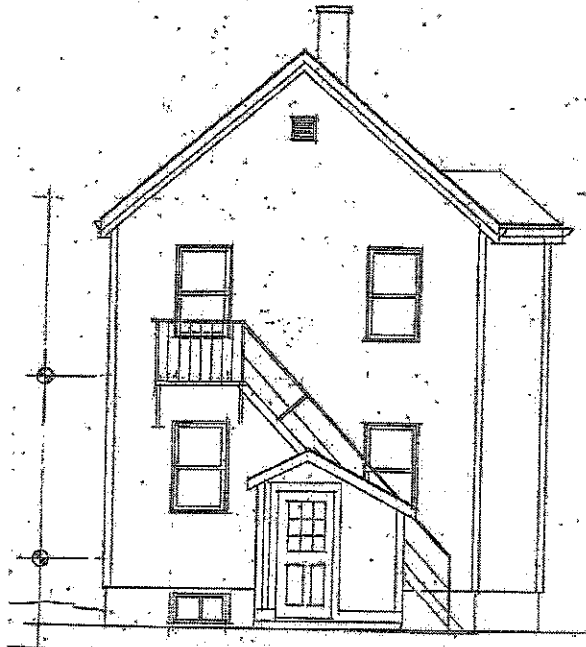
$$499 + 499 = 998$$

$$998 - 25 - 53 - 29 - 47 = 844 \text{ NET SF}$$

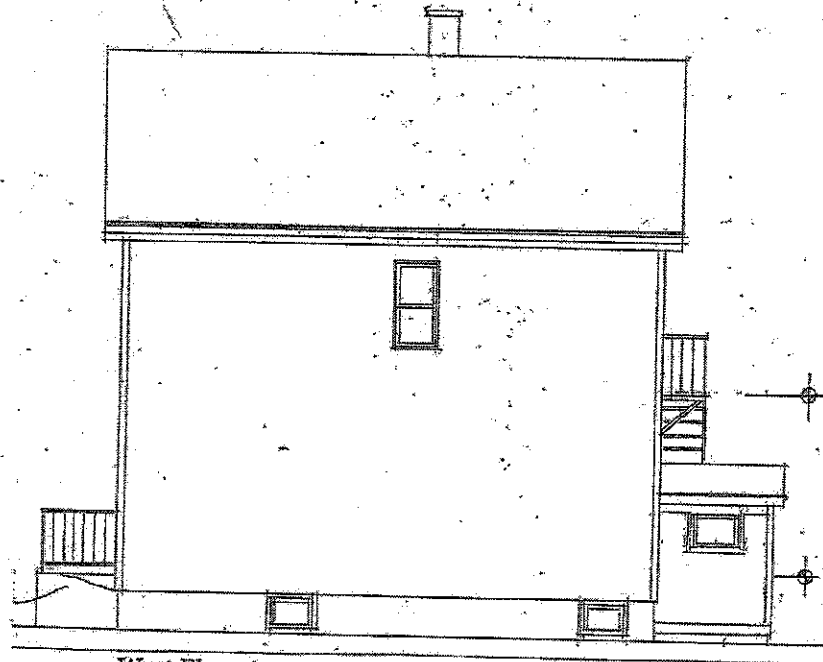
29 Ward Street Somerville MA

Floor Plans - Existing 20 February 2018

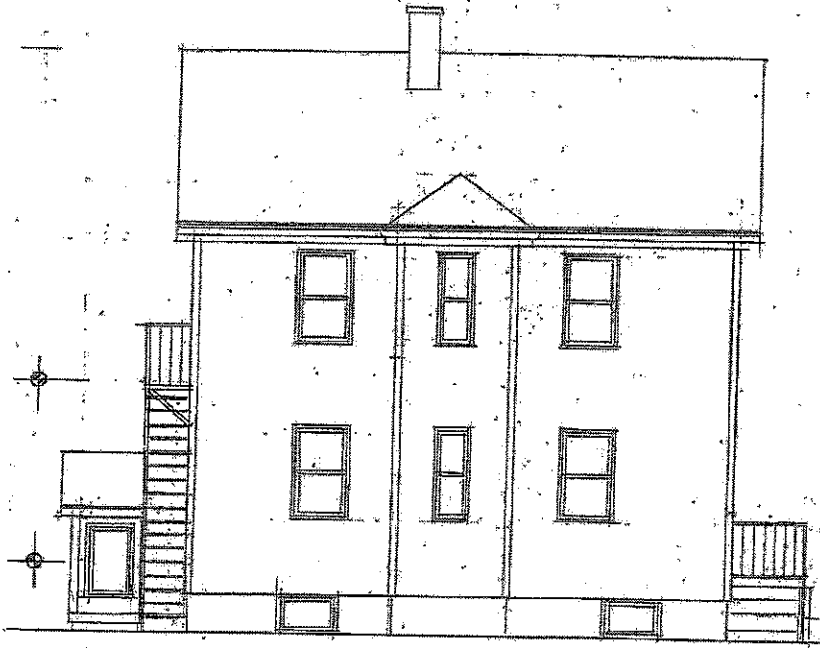
Share + Source Design 617 625-2935



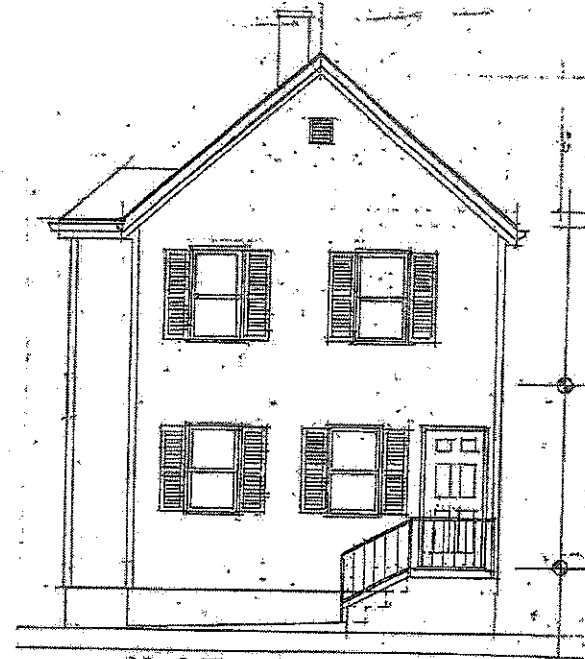
South Elevation



West Elevation



East Elevation

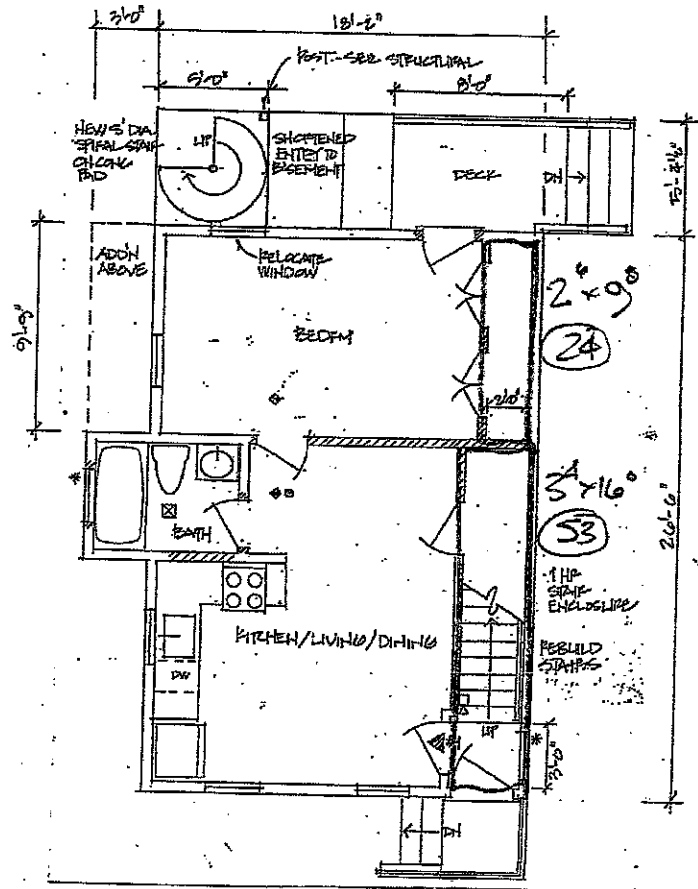


North Elevation

29 Ward Street, Somerville MA

Floor Plans - Existing 20 February 2018

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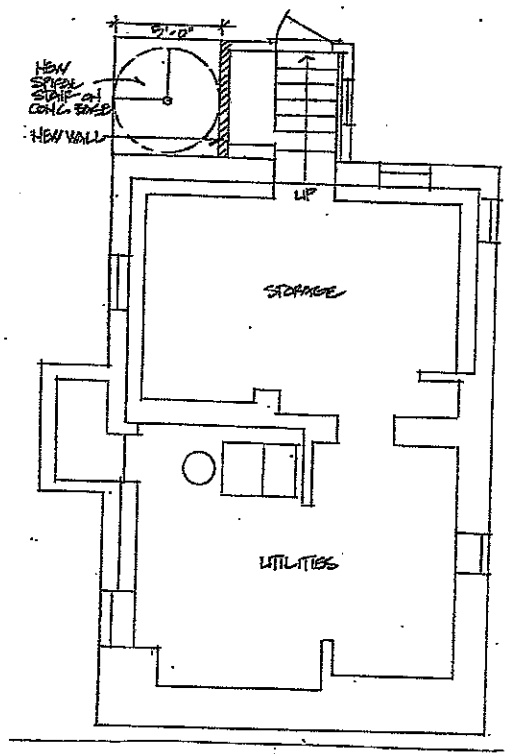


First Floor Plan

LEGEND

- EXISTING WALLS
- ▨ NEW WALLS
- ⊙ SMOKE DET., HARDWIRED
- ⊙⊙ COMBINATION SMOKE + CO DET., HARDWIRED
- ⊠ MECH. EXHAUST TO EXTERIOR
- * NEW OR ENLARGED WINDOW
- ⊠ EMERGENCY LIGHTING - STAIR AS PER/C

Note: All work to be in compliance with IBC 2015 in conjunction with the 9th edition Massachusetts amendments, including IEBC per Classification of Work - Alterations Level 2 for Use Group R-2.



Basement Floor Plan

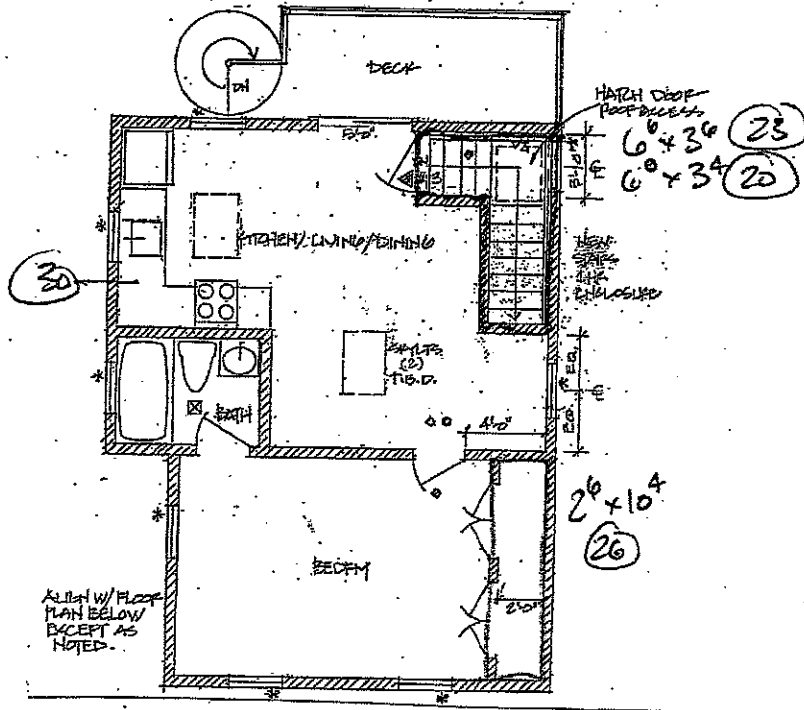
General Notes

1. New wall assemblies separating units and common stairs to be 5/8" fire rated gypsum each side, 2x4 wood stud minimum, 3" thermafiber SAFB to meet or exceed BBN - 76093 (STC 50) and UL 327 (1 hour fire).
2. New ceiling assemblies between units to receive 3" thermafiber SAFB, secured under subfloor with lightning clips, 5/8" wood strapping (or equal) at 16" o.c., single leg resilient channel furring strips at 16" o.c., and 5/8" fire rated gypsum - to meet or exceed CK-6412-9 (STC 50) and UL-L514 (1 hour fire).
3. Existing perimeter exterior walls to be R - 15 minimum.
4. New perimeter exterior walls to be R - 21 minimum.
5. New roof to be R - 49 minimum.
6. This building is to have a sprinkler system installed.

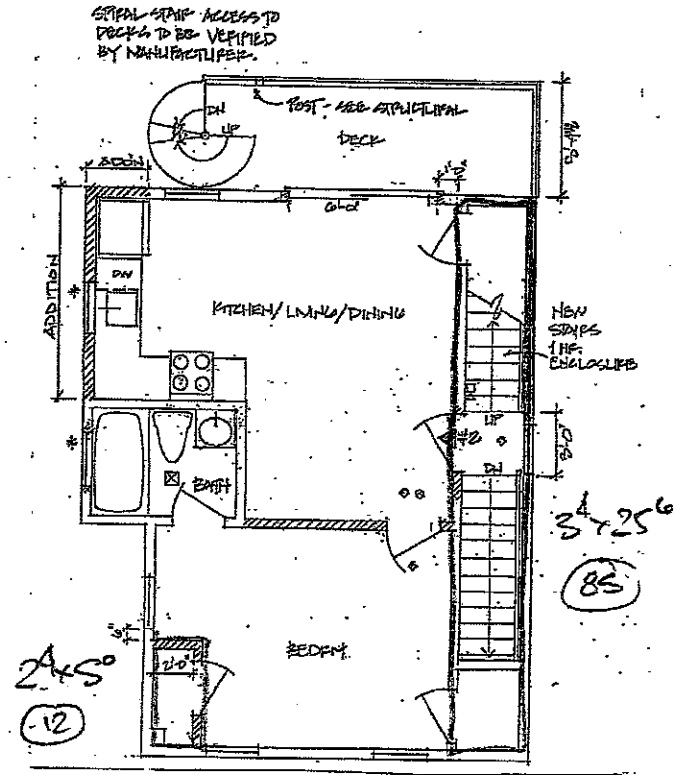
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Floor Plans - Proposed 20 February 2018

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Third Floor Plan



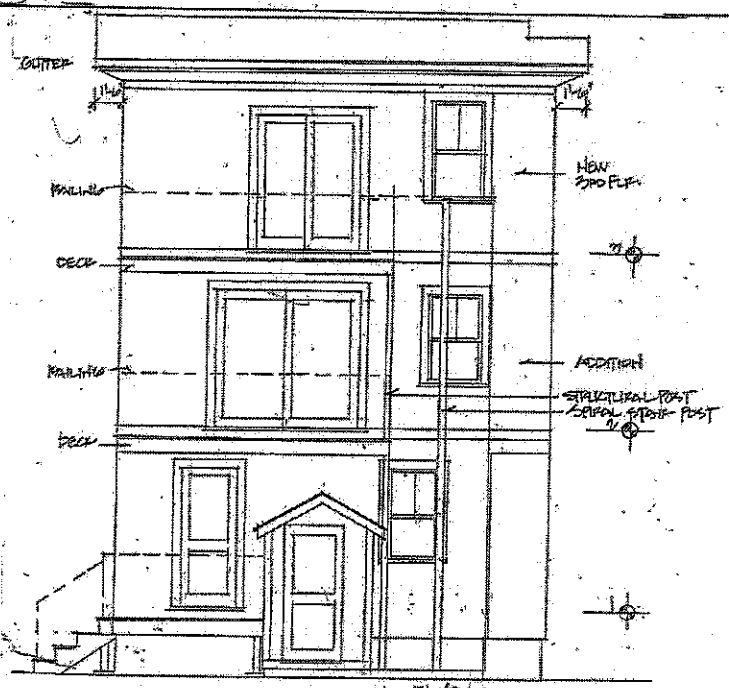
Second Floor Plan

$$+ 3'0'' \times 9'6'' = 30$$

$$499 + 499 + 499 + 30 + 30$$

$$- 24 - 53 - 23 - 20 - 20 - 12 - 85$$

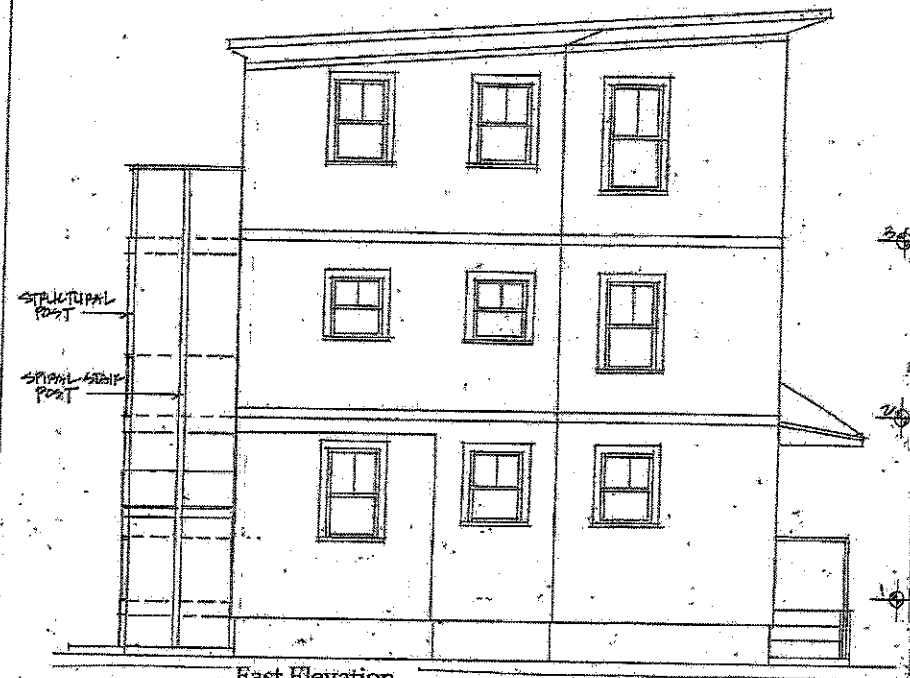
1314 NET SF.



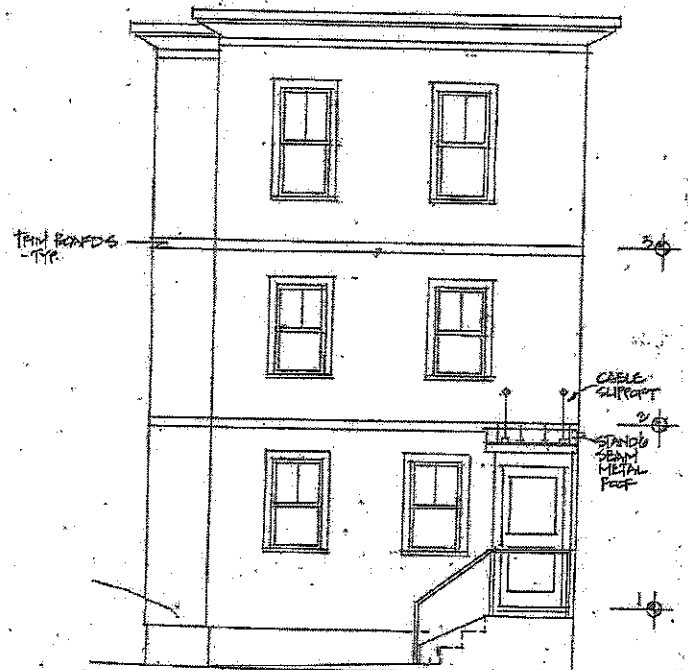
South Elevation



West Elevation



East Elevation



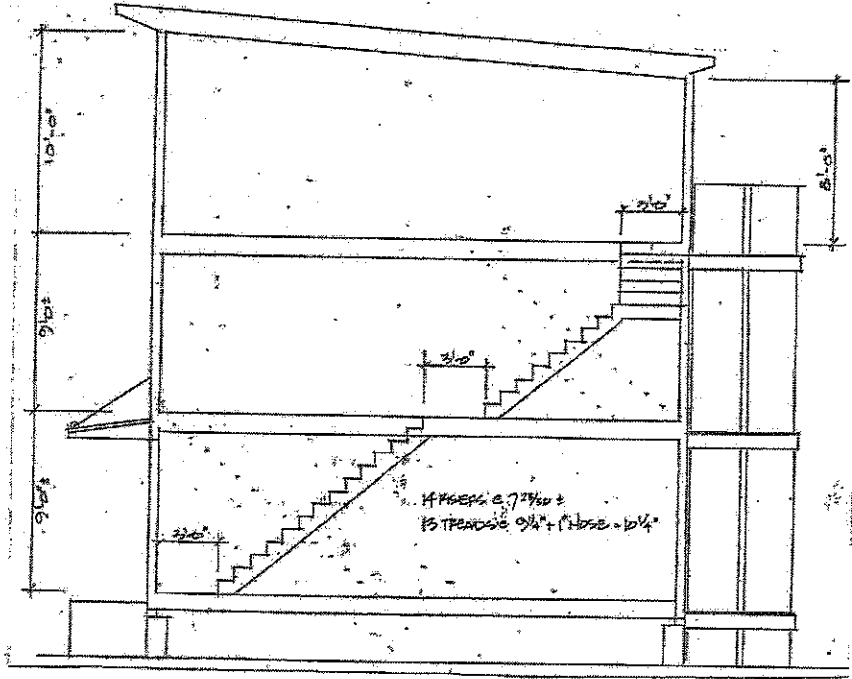
North Elevation

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C-1A



Section



29 Ward Street, Somerville, MA

20 February 2018

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