

UNION COMEDY INTERIOR FIT UP

434 McGrath Highway, Somerville, MA 02143

ZBA SUBMISSION

SCOPE OF WORK

Work:
The Union Comedy Group is looking for a tenant fit-up into a new construction mixed use building with approximately 1,800 square feet on the ground floor of a four story building on McGrath Highway. The venue looks to host 50-70 audience members with 5-15 staff in a space with a box office, bar, toilet rooms, cocktail area, audience seating, stage, and green room. The space must comply with ADA/AAB regulations, local codes, as well as the property developer/GC's restrictions while still under construction.

- New Work**
- A) Equipment and Cabinetry Areas as noted on plan.
 - B) New electric as required for equipment.
 - C) New single prep. & single hand-washing sinks as shown.
 - D) New bar equipment including local soda and beer tap system
 - E) New kitchen equipment and appliances as listed on schedule.
 - F) Repair/Modification or replacement of existing ceiling tiles and overhead light fixtures as required.
 - G) Repair and Painting of new and existing partitions as required
 - H) Replacement of any defective sprinkler heads. Relocate Sprinkler Heads as required to accommodate new partitions, and to maintain compliance with NFPA 13.

CODE REVIEW

Governing Code 2015 IBC and 2015 IECC as amended
780 CMR 9th Edition Massachusetts Amendments
521 CMR Massachusetts Architectural Access Board Reg.

General Building Data
Building Use Group Classification: A-1 (Assembly-Theater)

Fire Protection: Fire Suppression System Provided? Yes Code: NFPA 13
Existing Heads in space to remain - Sprinkler Head Height is always 18" min above half wall heights. Contractor to verify compliance.
Fire Protection shall include provision of smoke and CO detectors, Emergency Lights, and horn strobe, and strobe annunciators as shown on plans.

Construction Type: 2 A - Noncombustible Pprotected
Total Tenant Area: 1,780 SF
B: Business Use (Bar/Kitchen/Support) = 914 SF
A-1: Assembly Use (Theater) = 866 SF (Primary Use)

*SEE MAIN BUILDING DESIGN DRAWINGS FOR COMPLETE ANALYSIS ON ENTIRE BUILDING

Means of Egress
Occupant Load
LOBBY/BAR = 330 SF @ 1/15 = 22 OCCUPANTS
THEATER = 866 SF @ 1/7 = 123 OCCUPANTS (ALLOWED)
= 90 OCCUPANTS (PROPOSED)*

TOTAL OCCUPANT LOAD = 112 OCCUPANTS

*72 AUDIENCE + 19 PERFORMERS AND STAFF

Number of Exits (section 1010) = 2 Required
3 Exits provided

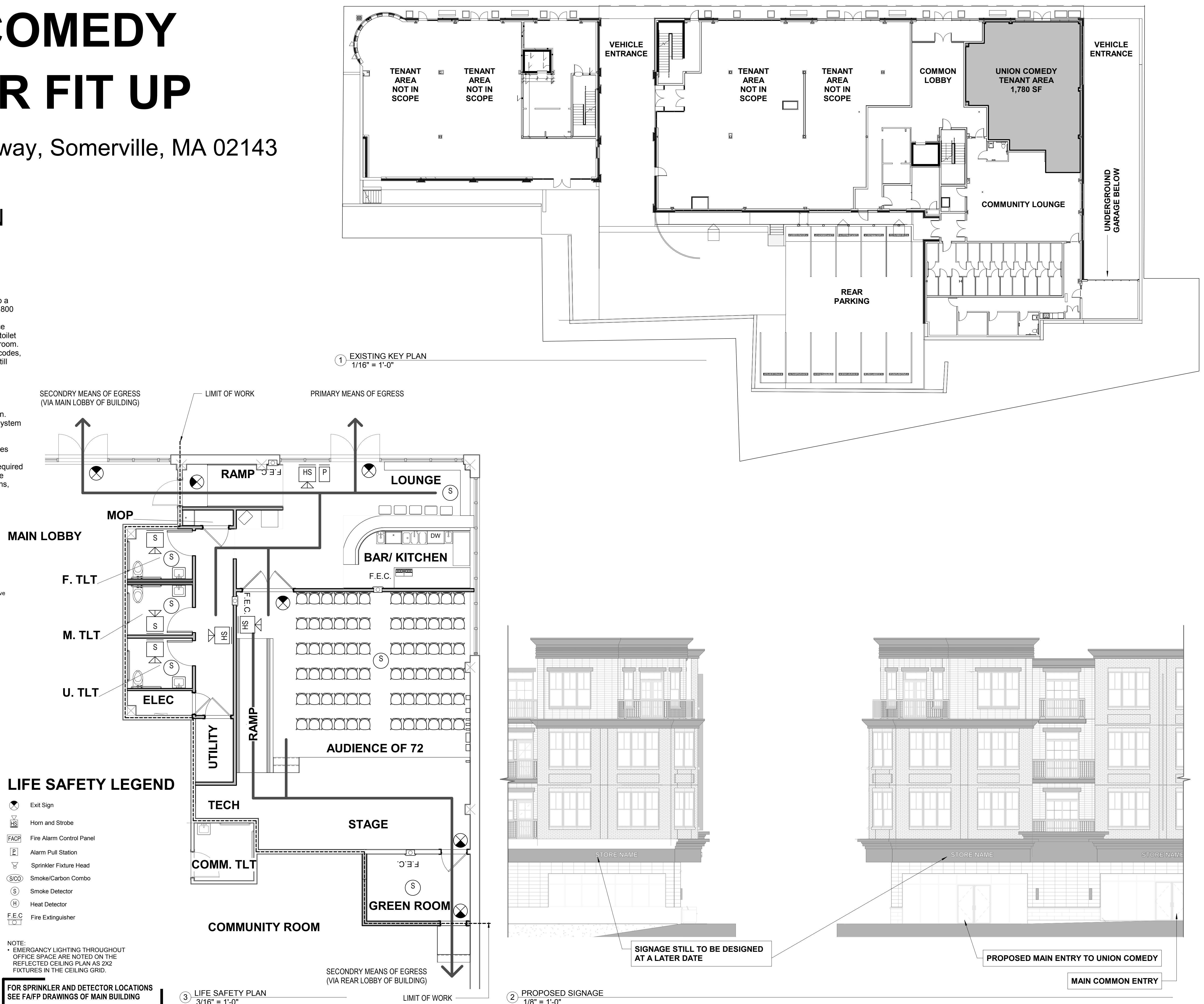
Plumbing Code:
Plumbing Fixture Requirements
Mass Plumbing Code Table 1
Occupancy (56 men, 55 women)
Women's toilets (1 per 30) = 1 toilet
Men's toilets (1 per 60) = 1 toilet
Unisex Toilet (1 per 30) = 1 toilet

TOTAL PLUMBING LOAD = 120 OCCUPANTS

Interior Finishes:
Finishes - Existing to remain except where noted
Interior Finish Requirements:
Exit Access Corridors and open space: Class II
Enclosed Rooms: Class III
(class III waiving allowable over noncombustible backing)

Universal Design/Accessibility
Items that are regulated for this building include:
Accessible Parking Space
- Provided in Public Parking in Lot,
Accessible Path
- Accessible route provided from Lot and exist.
HC spaces have existing detectable warning surface at curb
Accessible Entrance and Doors - Accessible Hardware and 36" min door width
Accessible Counters - 3'-0" ht, Lavs at 2'-10"

Accessible Interior Path of Travel - 3'-0" min Aisle width + required maneuvering clearances per 521 CMR
Accessible Toilet Rooms - Male & Female
Fire Alarms and Fire Extinguishers
1. - Set operating heights at 42" AFF



1 EXISTING KEY PLAN
1/16" = 1'-0"

LIFE SAFETY LEGEND

- Exit Sign
- Horn and Strobe
- Fire Alarm Control Panel
- Alarm Pull Station
- Sprinkler Fixture Head
- Smoke/Carbon Combo
- Smoke Detector
- Heat Detector
- Fire Extinguisher

NOTE:
• EMERGENCY LIGHTING THROUGHOUT
OFFICE SPACE ARE NOTED ON THE REFLECTED CEILING PLAN AS 2X2 FIXTURES IN THE CEILING GRID.

FOR SPRINKLER AND DETECTOR LOCATIONS
SEE FA/FP DRAWINGS OF MAIN BUILDING

3 LIFE SAFETY PLAN
3/16" = 1'-0"

2 PROPOSED SIGNAGE
1/8" = 1'-0"

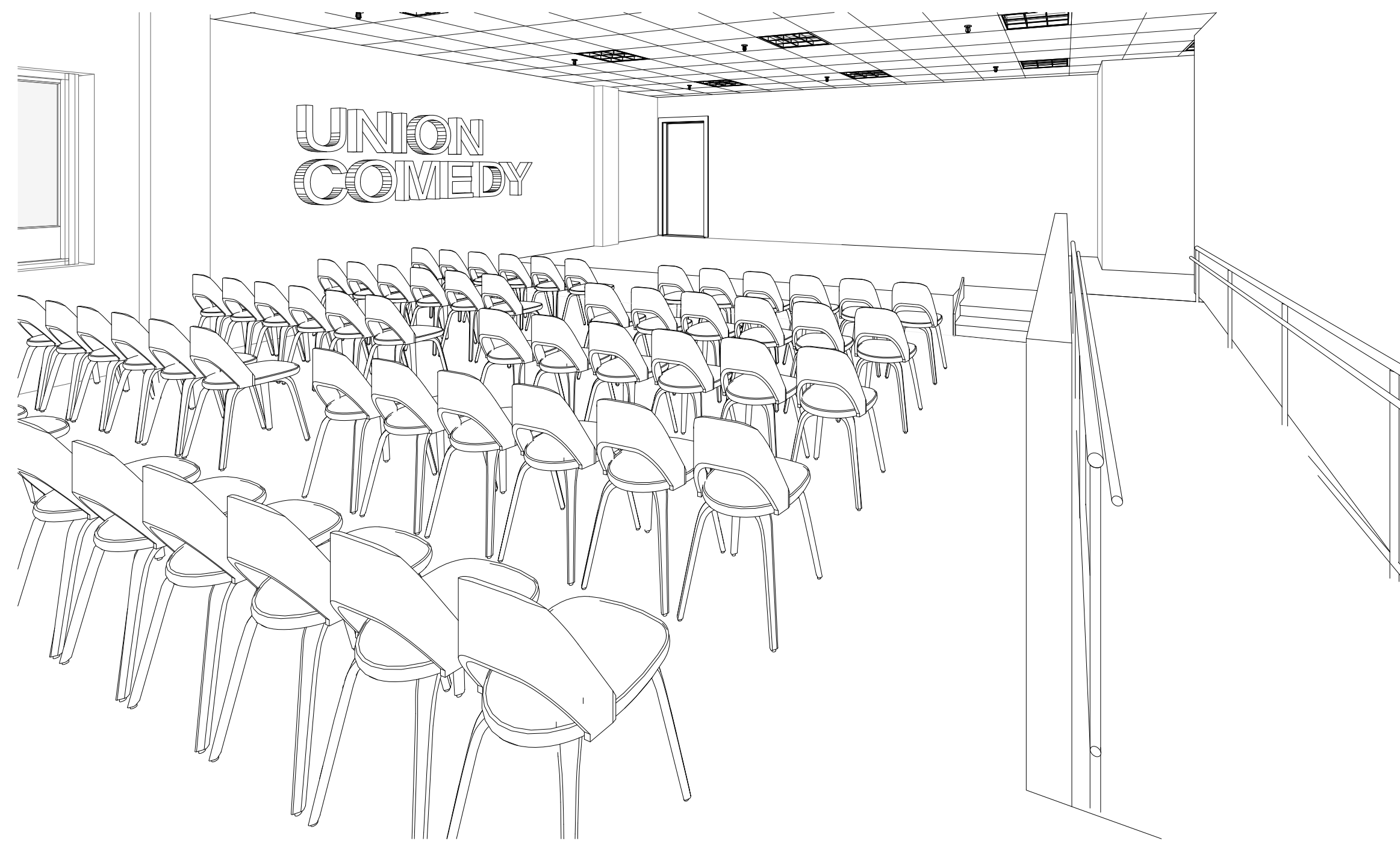


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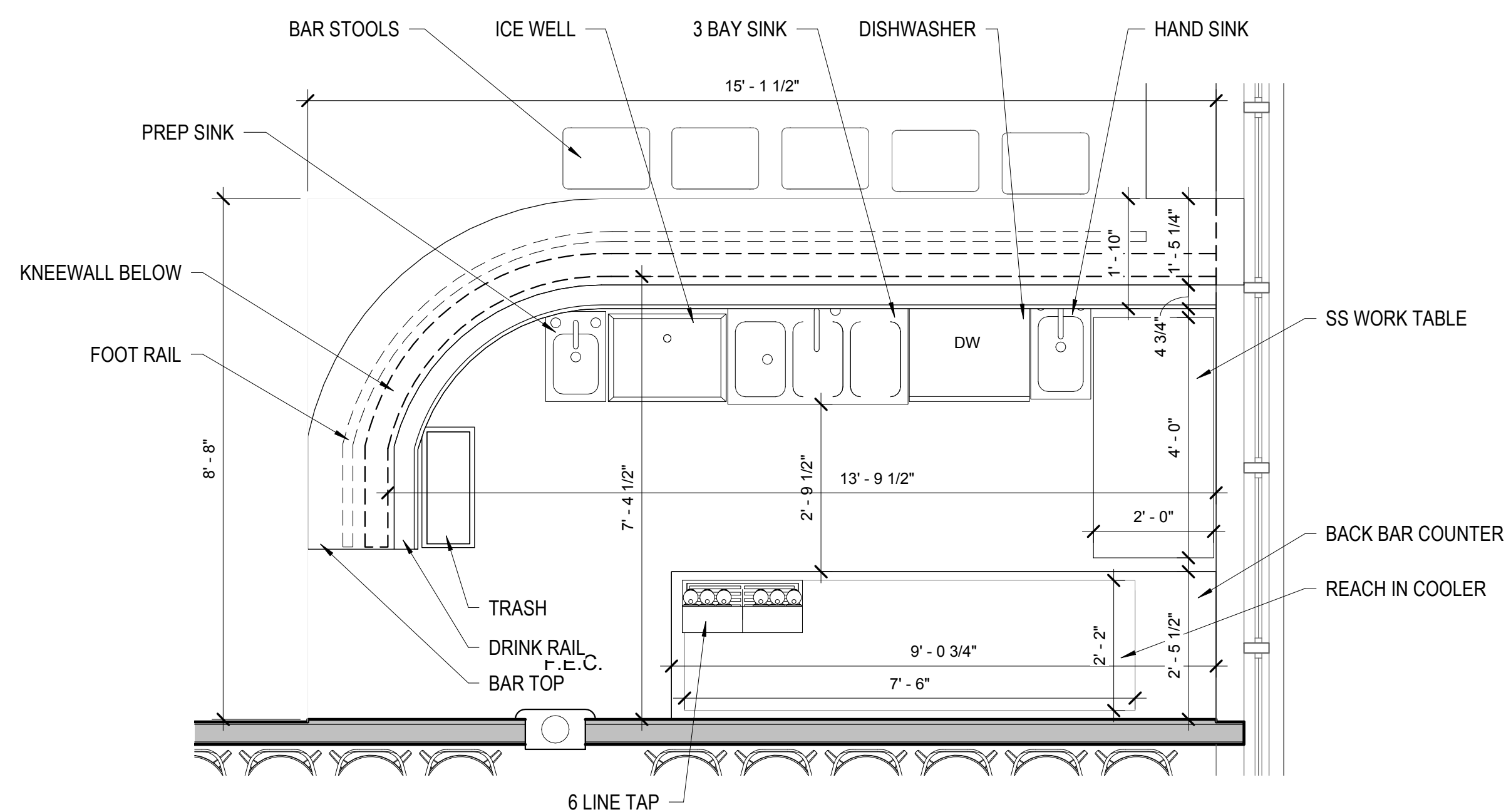
INTERIOR FIT UP
UNION COMEDY
434 McGrath Highway, Somerville, MA 02143
COVER

Project #: 19008 UNCC
Date: 5/20/2019
Drawn by: AKP
Checked by: WJP

A0.0
Scale: As indicated



3 STAGE/AUDIENCE



1 BAR PLAN
1/2" = 1'-0"

CONSTRUCTION PHASING KEY

	EXISTING WALL TO REMAIN
	REMOVE WALL
	REMOVE ELEMENT
	NEW WALL

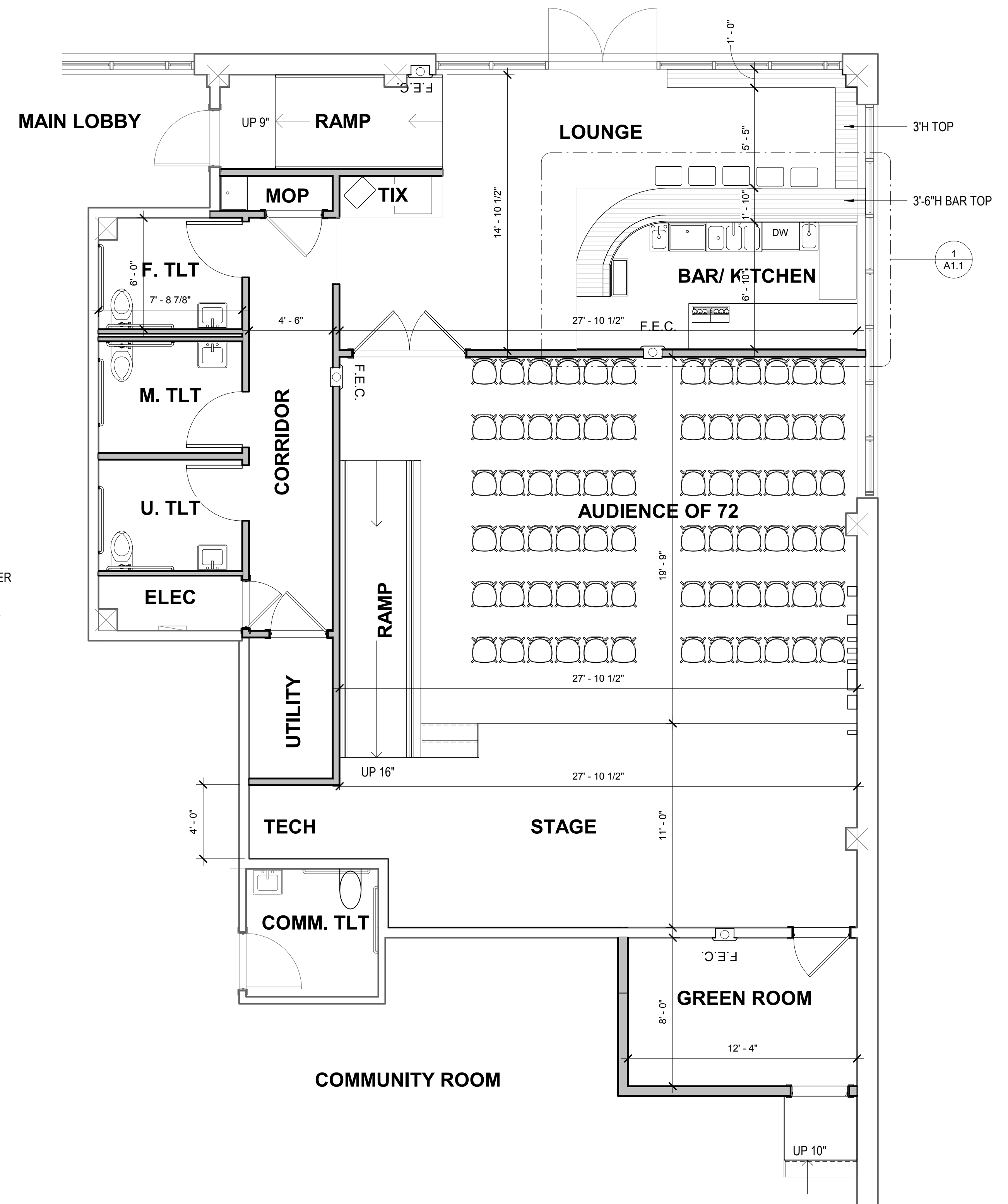
DRAWING SYMBOLS KEY

	DOOR TAG		ELECTRICAL UTILITY LINE
	WINDOW TAG		GAS UTILITY LINE
	STEP		WATER UTILITY LINE
	ROOM TAG		BUILDING SETBACK LINE
	DIMENSION		DEMO LINE
	BUILDING SECTION		LOT LINE
	PLAN DETAIL		EXISTING GRADE LINE
	REVISION		NEW GRADE LINE
			SPOT ELEVATION
			FOOTING BELOW SLAB

- ALL OF THE WORK SHOWN ON THE DRAWINGS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS AND VERIFY EXISTING SITE CONDITIONS PRIOR TO SUBMITTING A BID, PROPOSAL, OR AGREEMENT. THE CONTRACTOR'S PROPOSAL SHALL INCLUDE ALL TRADES AND SERVICES NECESSARY FOR COMPLETION OF WORK. THE CONTRACTOR SHALL NOTATE ALL EXISTING CONDITIONS WHICH INTERFERE OR CONFLICT WITH THE WORKING DRAWINGS AND REPORT THE INCONSISTENCIES PRIOR TO BID, PROPOSAL, OR AGREEMENT.
- CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE BUILDER. THE DESIGNER HAS ACCOUNTED FOR THE MOST COMMON OF TECHNIQUES USED IN THE DESIGN OF THIS PROJECT.
- THE CONTRACTOR IS THE SOLE PARTY IN CONTROL OF THE WORK ENVIRONMENT, AND MUST VERIFY ALL DIMENSIONS ON THE PROVIDED DRAWINGS WITH EXISTING SITE CONDITIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
- ALL DIMENSIONS ARE TO BE VERIFIED IN THE FIELD, WITH ANY DISCREPANCIES REPORTED TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE THESE DRAWINGS. IF A DISCREPANCY IS FOUND, THE CONTRACTOR IS TO CONTACT THE DESIGNER FOR INTERPRETATION OF INTENT PRIOR TO COMMENCEMENT OF WORK. ALL WORK SHALL BE PERFORMED BY LICENSED TRADESMEN ACCORDING TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL LAWS, CODES & STANDARDS.
- ALL MATERIALS AND CONSTRUCTION ASSEMBLIES SHALL CONFORM TO ALL APPLICABLE MANUFACTURER'S SPECIFICATIONS, INSTALLATION, AND PERFORMANCE STANDARDS.
- ALL NEW CONSTRUCTION ASSEMBLIES SHALL COMPLY WITH THE MASSACHUSETTS ENERGY CODE.
- ALTERATION/RENOVATION WORK REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS. BECAUSE THESE ASSUMPTIONS CANNOT BE VERIFIED WITHOUT GREAT EXPENSE AND/OR DESTROYING SERVICEABLE PORTIONS OF THE BUILDING, THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY UNFORESEEN CONDITIONS INCLUDING ANY HAZARDOUS MATERIAL.
- UNLESS OTHERWISE NOTED, ALL DETAILS ARE CONSIDERED TO BE TYPICAL AND SHALL BE USED WHERE APPLICABLE.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE AT ALL TIMES. THIS INCLUDES SAFETY OF THE PERSONS & PROPERTY, AND FOR ALL INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE DESIGNER'S OR ENGINEER'S JOB SITE REVIEWS ARE NOT INTENDED TO INCLUDE REVIEW OF THE CONTRACTOR'S SAFETY MEASURES.
- PLANS, NOTATIONS AND DETAILS ARE HIERARCHICAL. HIGHLY DETAILED DRAWINGS TAKE PRECEDENCE OVER LOWER DETAILED DRAWINGS. NOTATIONS TAKE PRECEDENCE OF GRAPHICAL DRAWINGS.
- WHERE MECHANICAL, ELECTRICAL, PLUMBING, OR SPECIALTY DRAWINGS ARE PREPARED BY THE CONTRACTOR OR THE CONTRACTOR'S SUB-CONTRACTOR, THE DRAWINGS SHALL BE CONSIDERED SHOP DRAWINGS AND SHALL BE SUBMITTED TO THE DESIGNER FOR REVIEW PRIOR TO SUBMITTAL TO THE BUILDING DEPARTMENT AND/OR COMMENCEMENT OF WORK. THE DESIGNER RETAINS THE RIGHT TO

ADDITIONAL TERMS OR CONDITIONS: FOR MUST NOTIFY THE OWNER IN WRITING OF ANY ADDITIONAL TERMS, QUALIFICATIONS, OR CONDITIONS WITH THEIR BID, AS SUCH CLAIMS WILL NOT BE CONSIDERED AFTER THAT TIME.

OWNERSHIP OF
THE CONSTRUCTION DOCUMENTS AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER. DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR OTHER PROJECTS OR PURPOSES OF BY ANY OTHER PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF THE DESIGNER.



2 FLOOR PLAN
1/4" = 1'-0"



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