



36 SUMMER STREET VIEW FROM LEFT



36 SUMMER STREET VIEW FROM RIGHT



36 SUMMER STREET VIEW



GCD ARCHITECTS

Adam J. Glassman, R.A.
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PROJECT:

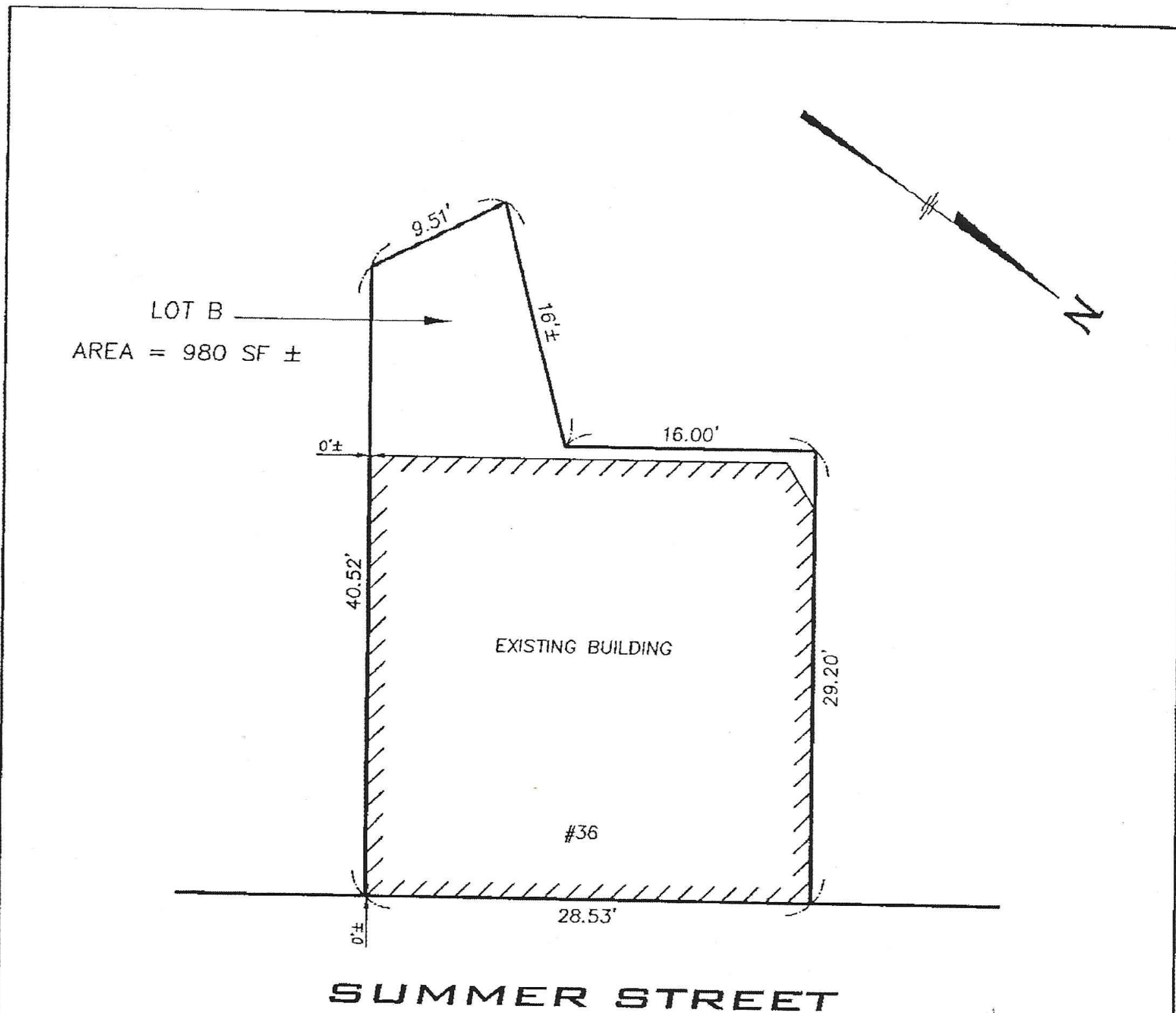
Change of Use
 36 Summer Street
 Somerville, MA

30 MAY 2019

**SUBMITTED FOR
 SPECIAL PERMIT**

**EXISTING
 PHOTOS**

0.1



ALL TIES SUBJECT TO WHAT AN ACCURATE INSTRUMENT SURVEY WOULD REVEAL. THIS MORTGAGE INSPECTION PLAN IS NOT TO BE USED FOR PROPERTY LINE DETERMINATION, THE LOCATION OF FENCES OR THE LOCATION OF ANY OTHER STRUCTURES. THIS CERTIFICATION IS MADE TO: EVERETT CO-OPERATIVE BANK AND BECOMES NULL AND VOID UPON FUTURE CONVEYANCE.

I HEREBY CERTIFY THAT I HAVE EXAMINED THE PREMISES AND ALL BUILDINGS ARE LOCATED ON THE GROUND AS SHOWN. I FURTHER CERTIFY THAT THE PRINCIPAL BUILDING, WHEN CONSTRUCTED, DID CONFORM TO THE DIMENSIONAL ZONING LAWS OF: SOMERVILLE OR IS EXEMPT FROM VIOLATION ENFORCEMENT ACTION UNDER G.L. TITLE VII CHAPTER 40A SECTION 7.

I HEREBY CERTIFY THAT THE DWELLING IS NOT LOCATED IN AN ESTABLISHED FLOOD HAZARD AREA.
COMMUNITY No.: 250214
REVISION DATE: 06/04/2010

[Signature]
RICHARD J. MEDE JR., P.L.S. DATE: 02/18/2019

MORTGAGE INSPECTION PLAN
36 SUMMER STREET
SOMERVILLE, MASS.



ABV SURVEY
15 HALL STREET, MEDFORD, MASS. 02155
781-396-4466 FAX: 781-396-8052

SCALE: 1" = 10'
TITLE REF: BK. 27780 PG. 6
DATE: FEBRUARY 18, 2019
FILE No. 058-19



ZONING SUMMARY

Zoning District: RB (Residential B)

DESCRIPTION	CODE REFERENCE	REQUIRED/ALLOWED	EXISTING	PROPOSED / CONFORMANCE
GENERAL				
USE	\$8.5	RESIDENTIAL USE	COMMERCIAL	COMMERCIAL / EXISTING NON-CONFORMING
LOT AREA	\$8.5	7,500	980 SF	NO CHANGE
NET FLOOR AREA (PER ZONING DEF'N)	\$8.5	N/A	788 +/- NSF TOTAL	788 +/- NSF TOTAL / CONFORMING
FAR	\$8.5	1	0.80	0.80 / CONFORMING
MIN. LOT AREA PER DWELLING UNIT	\$8.5	N/A	N/A	N/A
MAX GROUND COVERAGE	\$8.5	50% OF LOT	82% OF LOT	82% / EXISTING NON-CONFORMING
LANDSCAPED AREA, MIN.	\$8.5	25% OF LOT	0% OF LOT	16% / PROPOSED NON-CONFORMING
PERVIOUS SURFACE, MIN.	\$8.5	35% OF LOT	0% OF LOT	16% / PROPOSED NON-CONFORMING
MAX HT.	\$8.5	FOR 1 - 1.5 STORIES: 40', 3 STORIES	12' +/-, 1 STORY	NO CHANGE / CONFORMING ADDITION
MIN. FRONT YARD	\$8.5	15'	0'-0"	NO CHANGE / EXISTING NON-CONFORMING
MIN. SIDE YARD**	\$8.5	5'-0" MIN (10'-0" MIN TOTAL FOR LEFT AND RIGHT)	0' LEFT / 0' RIGHT	NO CHANGE / EXISTING NON-CONFORMING
MIN. REAR YARD	\$8.5	20'	9' +/-	NO CHANGE / EXISTING NON-CONFORMING
MIN. FRONTAGE	\$8.5	50'	28.53'	NO CHANGE / EXISTING NON-CONFORMING

**7.10 SIDE SETBACKS RB
REDUCTION OF SIDE YARDS FOR NARROW LOTS: FOR EACH FOOT BY WHICH A LOT IS LESS THAN FIFTY (50) FEET WIDE ON THE EFFECTIVE DATE OF THIS ORDINANCE, ONE (1) INCH MAY BE DEDUCTED FROM THE REQUIRED WIDTH OF EACH SIDE YARD AND TWO (2) INCHES FROM THE REQUIRED WIDTH OF BOTH SIDE YARDS, PROVIDED THAT NO SIDE YARD SHALL BE LESS THAN FIVE (5) FEET. NO BUILDING PROJECTIONS, AS ENUMERATED IN FOOTNOTE 6 ABOVE, SHALL BE ALLOWED IN THE MINIMUM FIVE (5) FOOT SIDE YARD.

PARKING

THE REQUIRED VEHICLE PARKING IS 2 SPACES. THE PRIOR LAUNDROMAT USE REQUIRED 2 PARKING SPACES (1/450 SF) PER SZO SEC. 9.5.8, AND THE PROPOSED RETAIL BUTCHER SHOP USE WILL REQUIRE 2 SPACES (1/425 SF) PER SZO SEC. 9.5.9. THEREFORE, APPLICANT DOES NOT HAVE TO PROVIDE ANY PARKING SPACES, PER SEC. 9.4.1.C.

LOADING

RETAIL LESS THAN 5,000 SF DOES NOT REQUIRE ANY LOADING BAYS, PER SEC. 9.7, SO NONE ARE REQUIRED.

BICYCLE PARKING

BICYCLE PARKING SPACES ARE NOT REQUIRED IF THE VEHICLE PARKING REQUIREMENT IS 3 OR FEWER CARS, SO NONE ARE REQUIRED HERE, PER SEC. 9.15.1.B.



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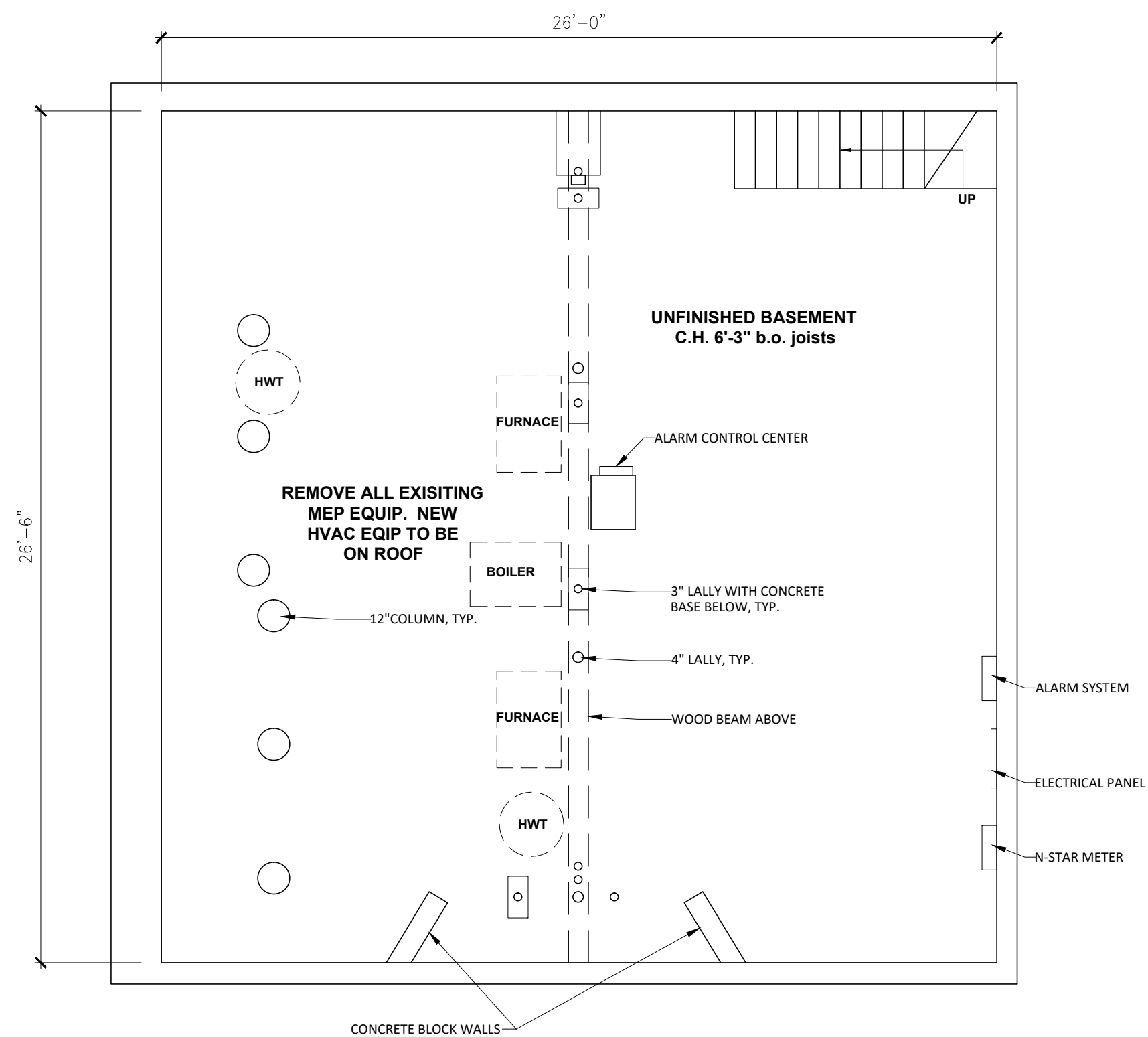
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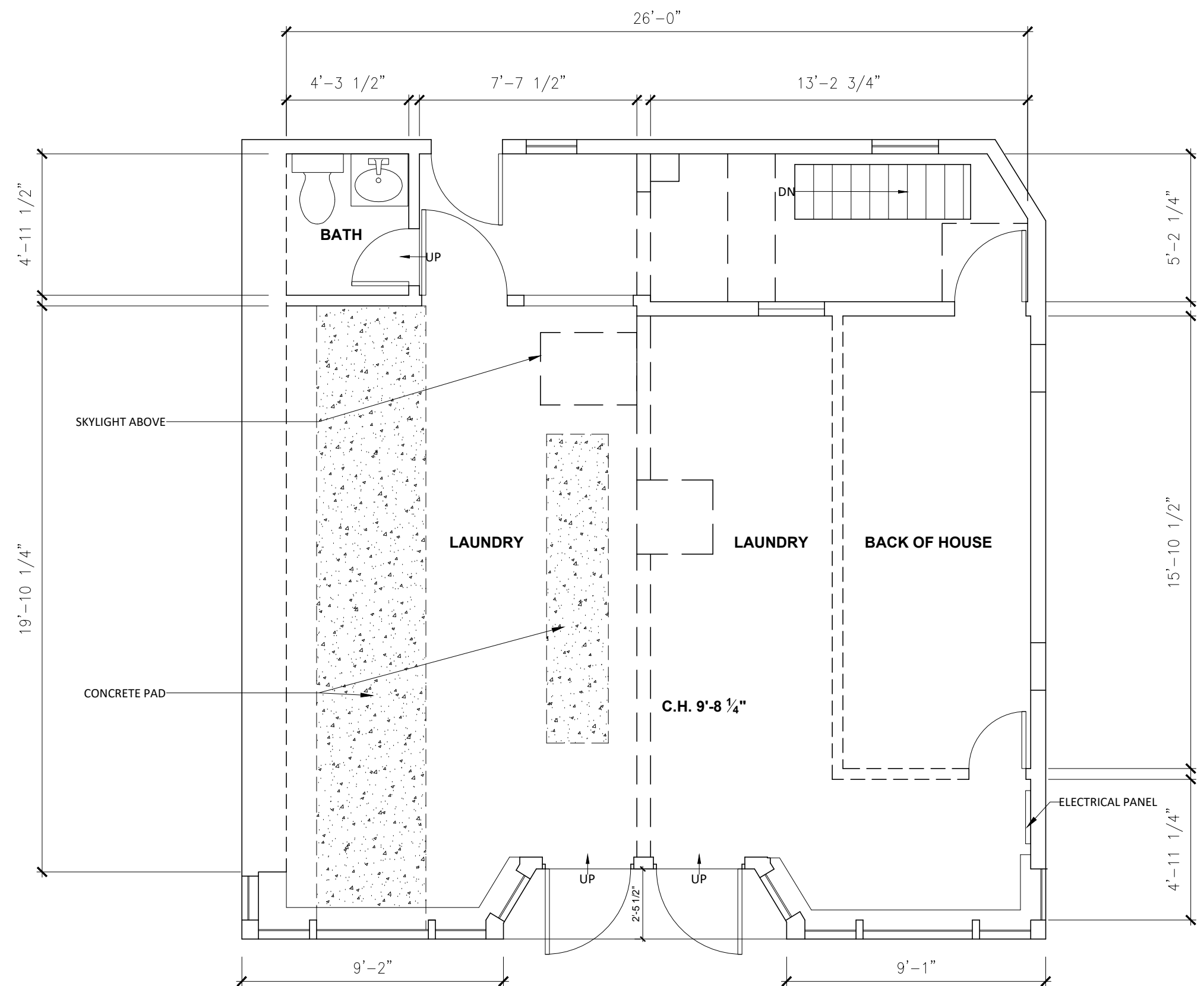
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**ZONING
ANALYSIS**

Z1.1



2: EXISTING BASEMENT
SCALE: 1/4" = 1'-0"



1: EXISTING GROUND FLOOR
SCALE: 1/4" = 1'-0"



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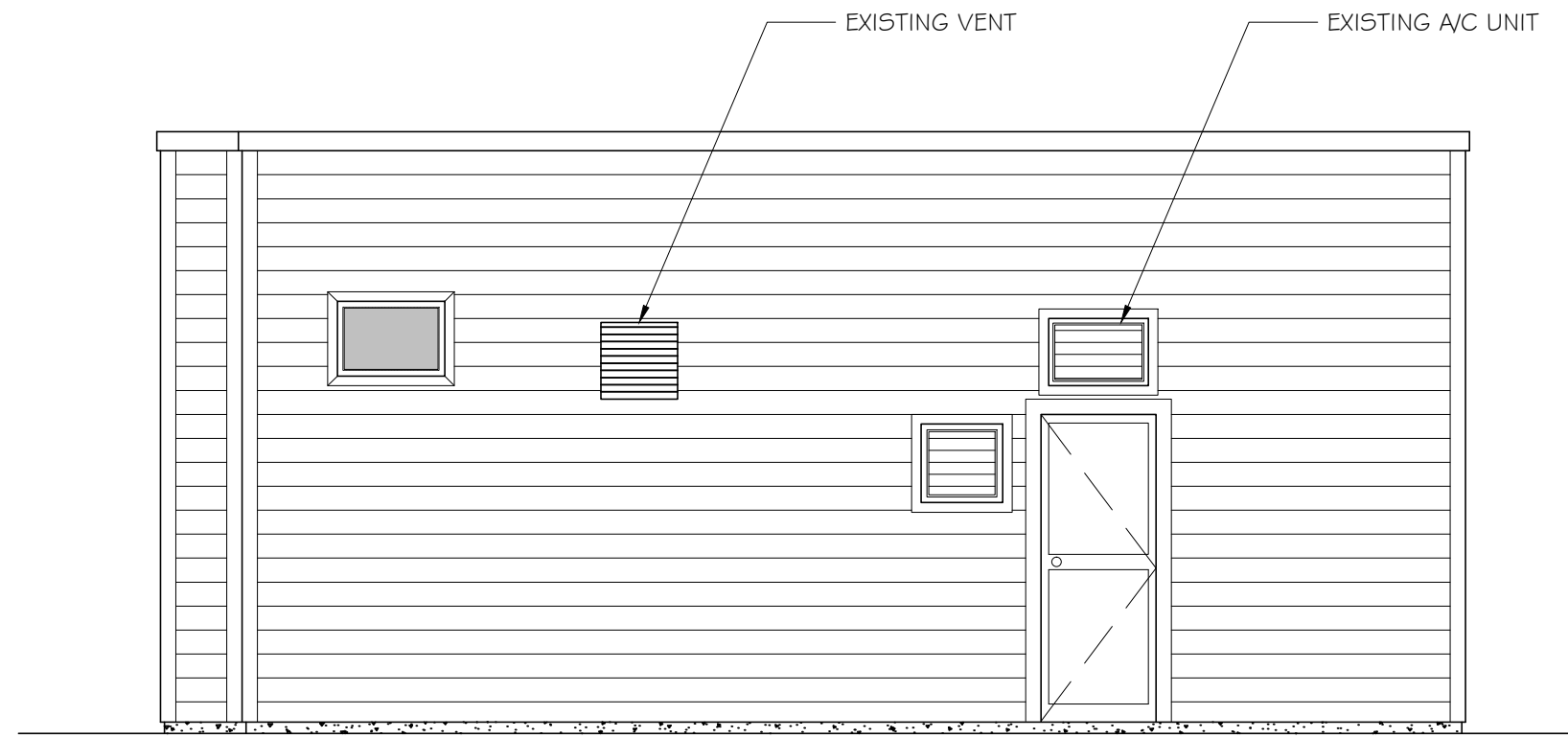
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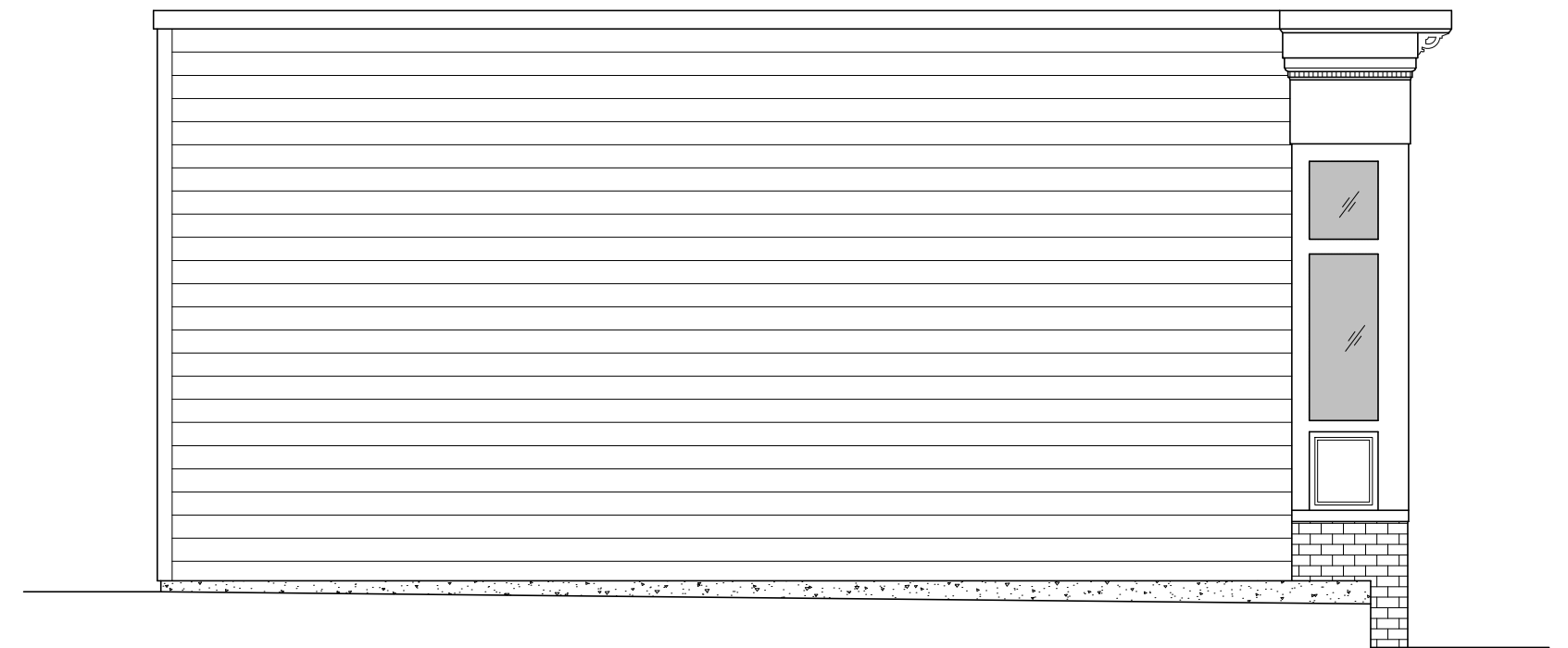
**EXISTING
PLANS**

D1.1



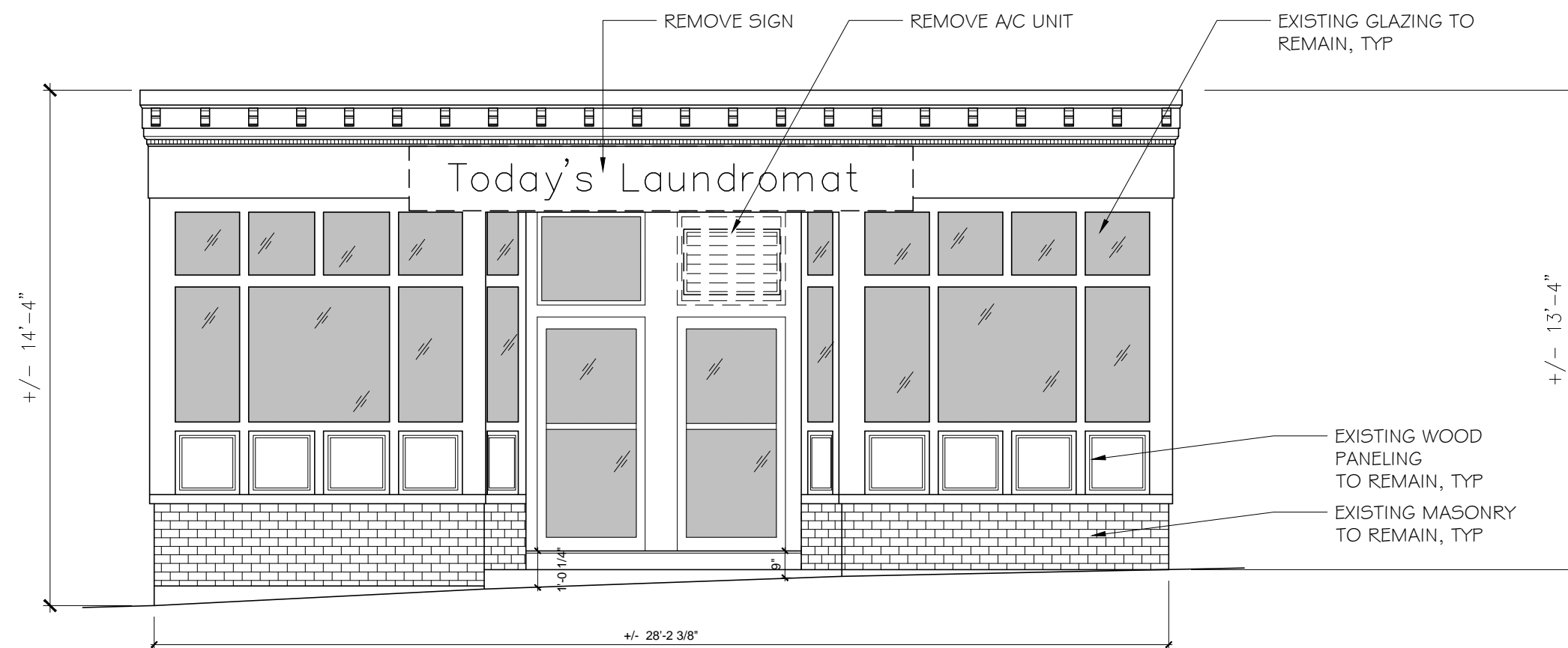
1: EXISTING REAR ELEVATION

SCALE: 1/4" = 1'-0"



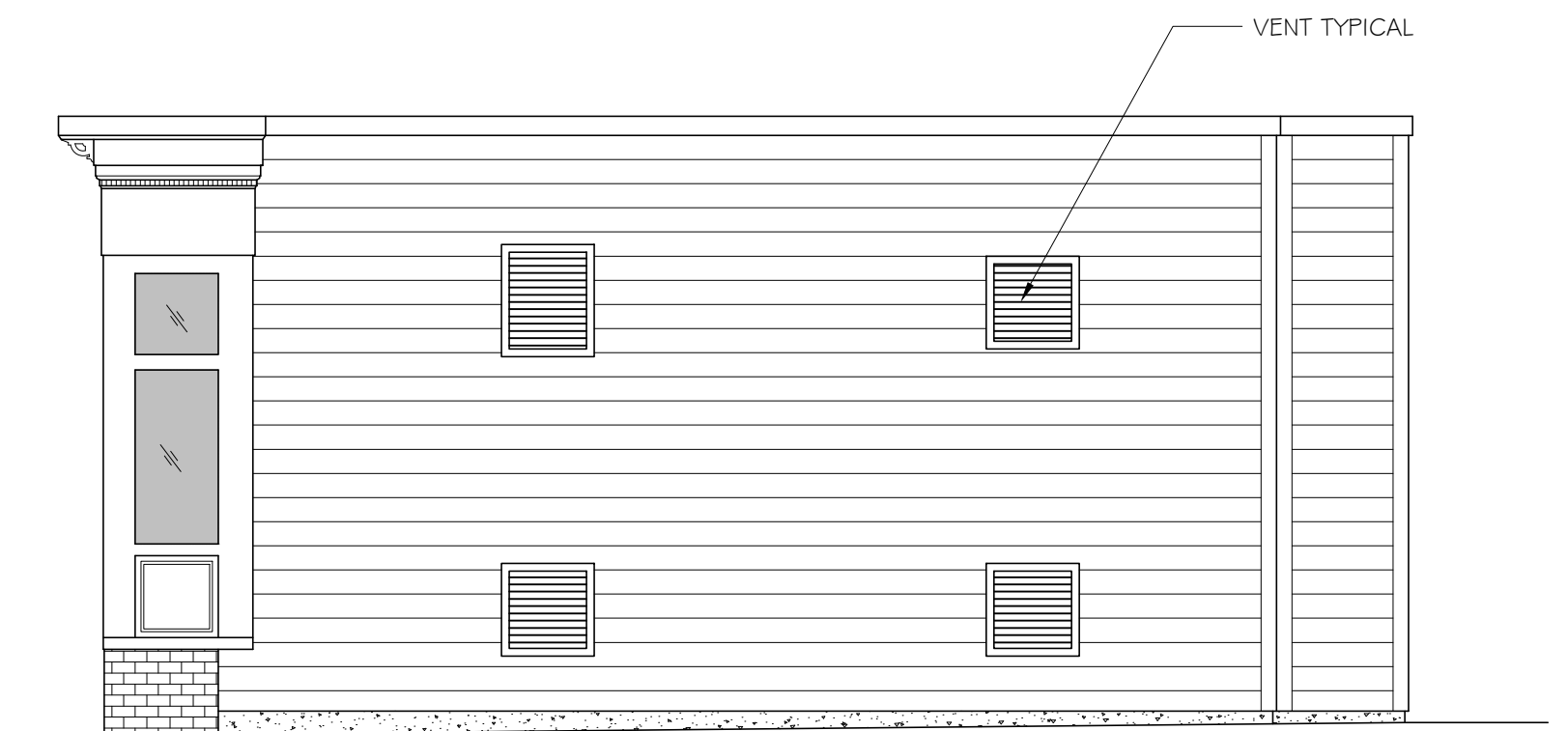
2: EXISTING LEFT ELEVATION

SCALE: 1/4" = 1'-0"



1: EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2: EXISTING RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



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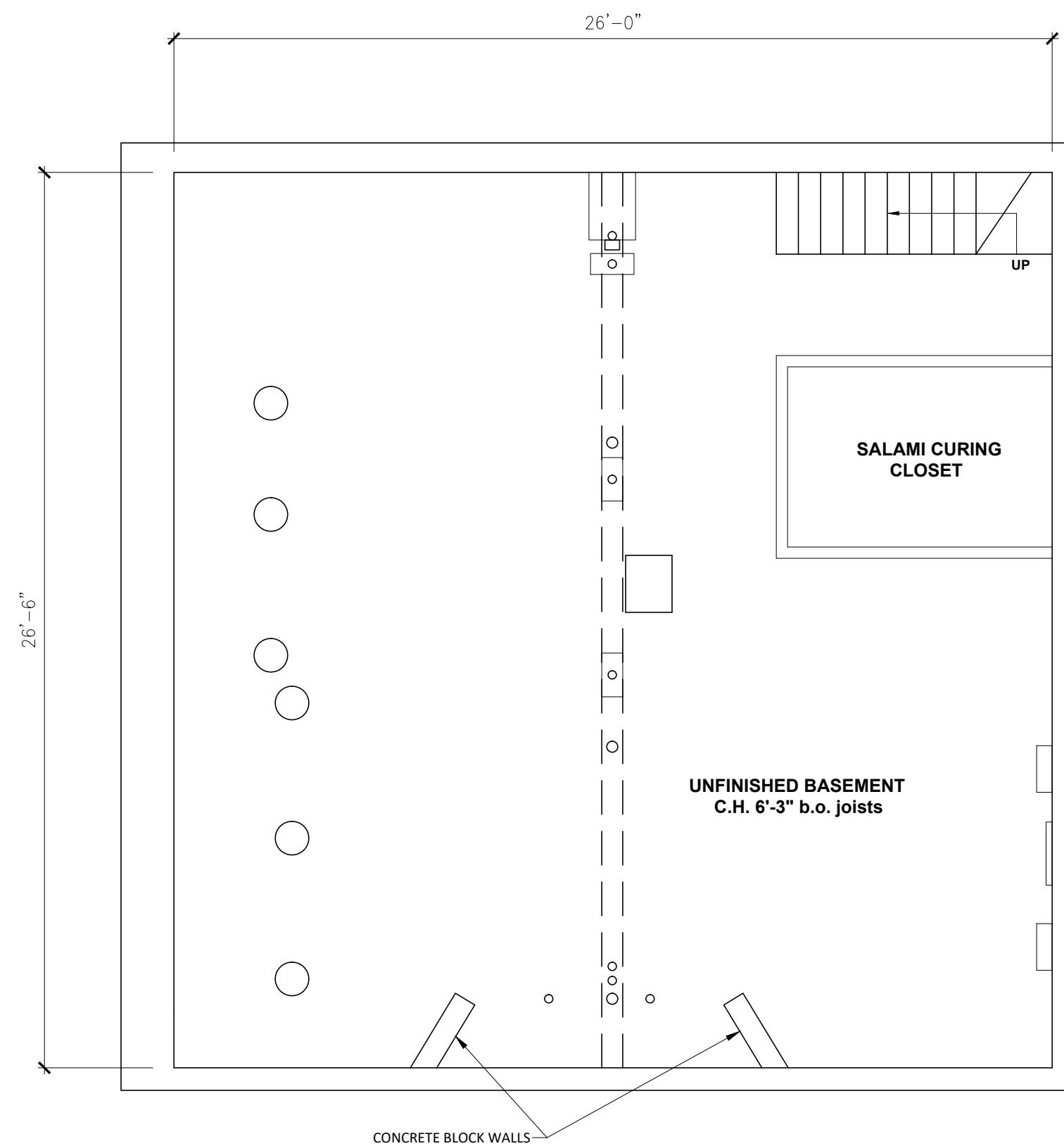
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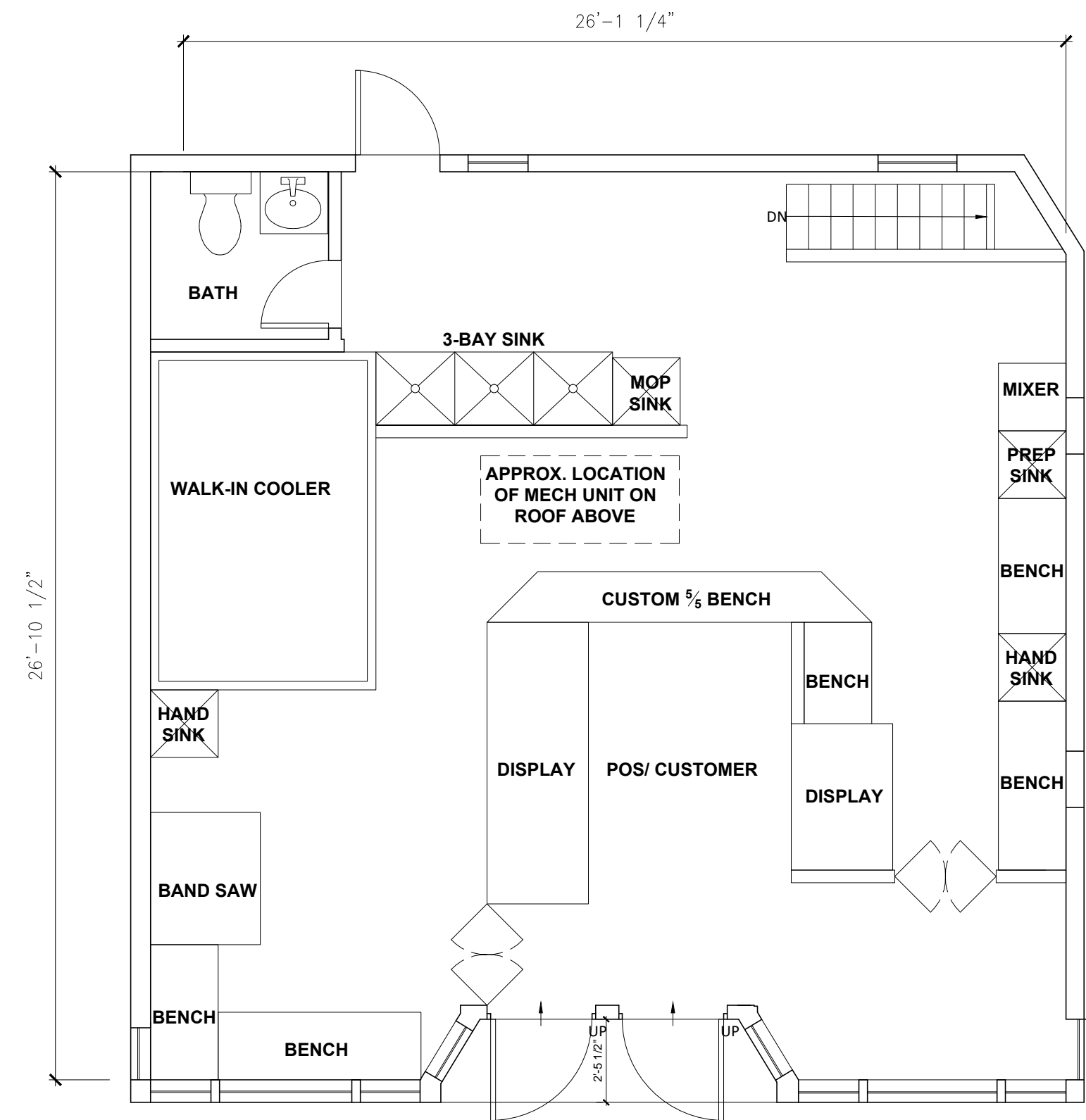
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**EXISTING
 ELEVATIONS**

D2.1



2: PROPOSED BASEMENT
SCALE: 1/4" = 1'-0"



1: PROPOSED GROUND FLOOR
SCALE: 1/4" = 1'-0"



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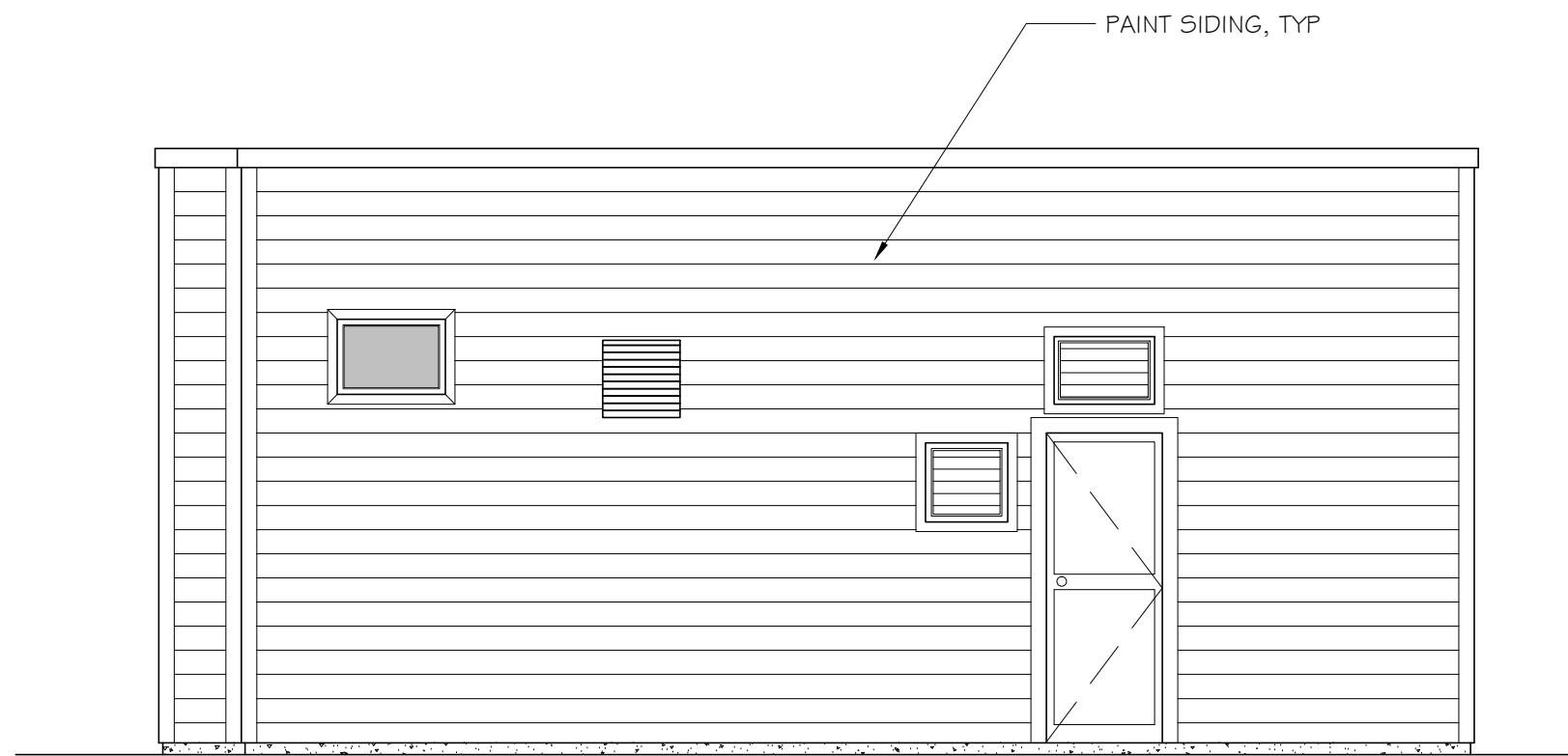
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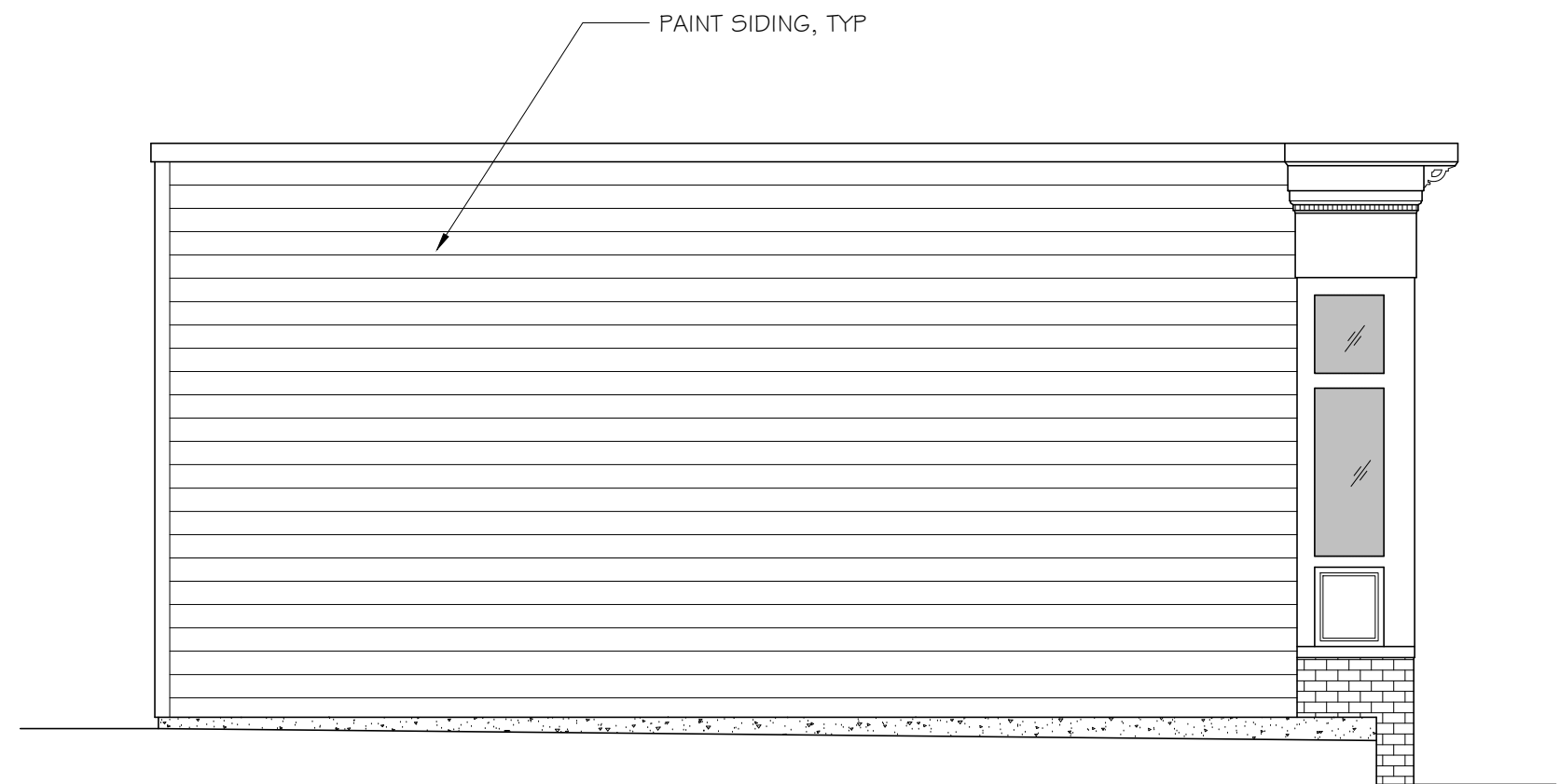
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**PROPOSED
PLANS**

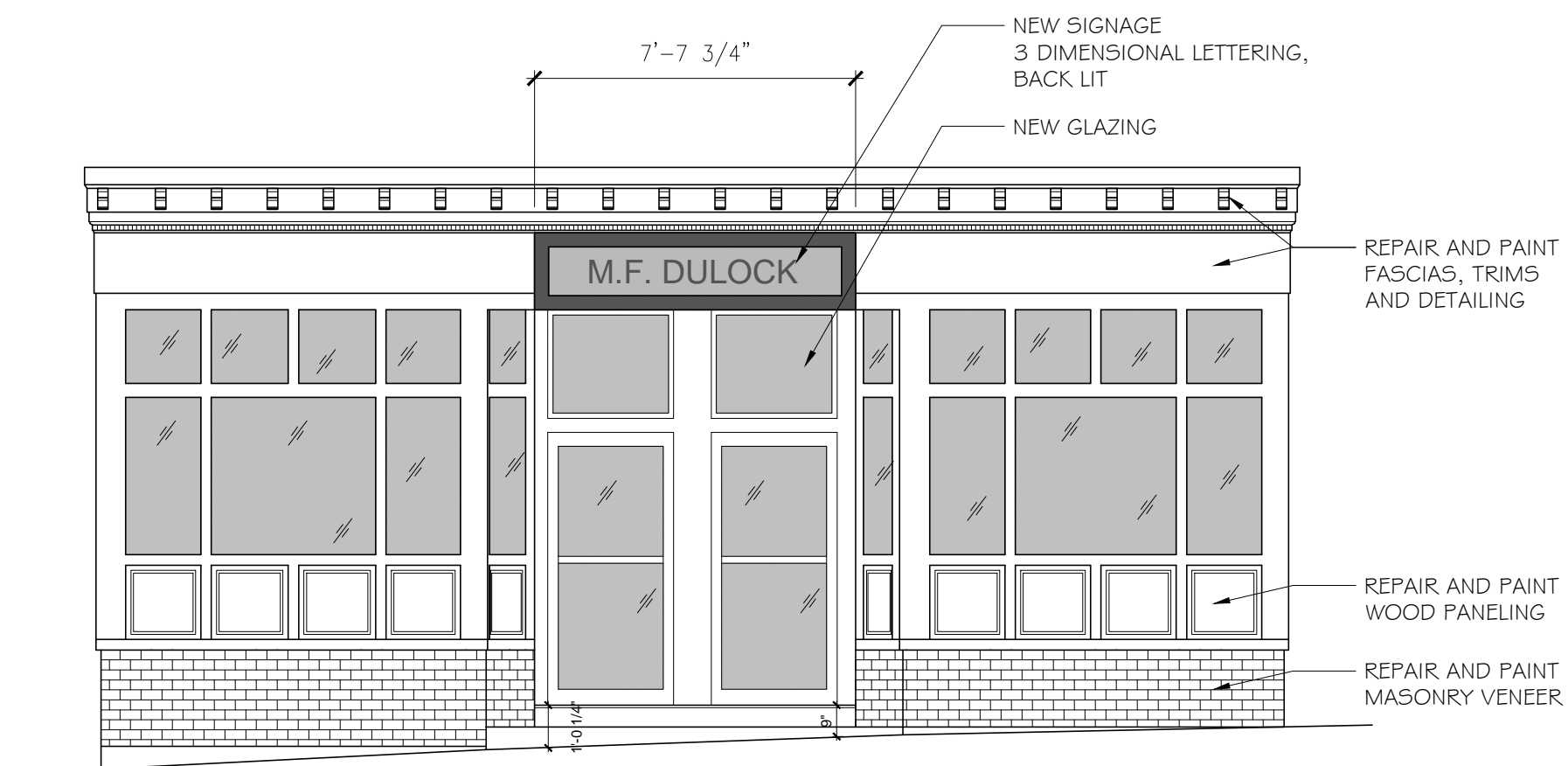
A1.1



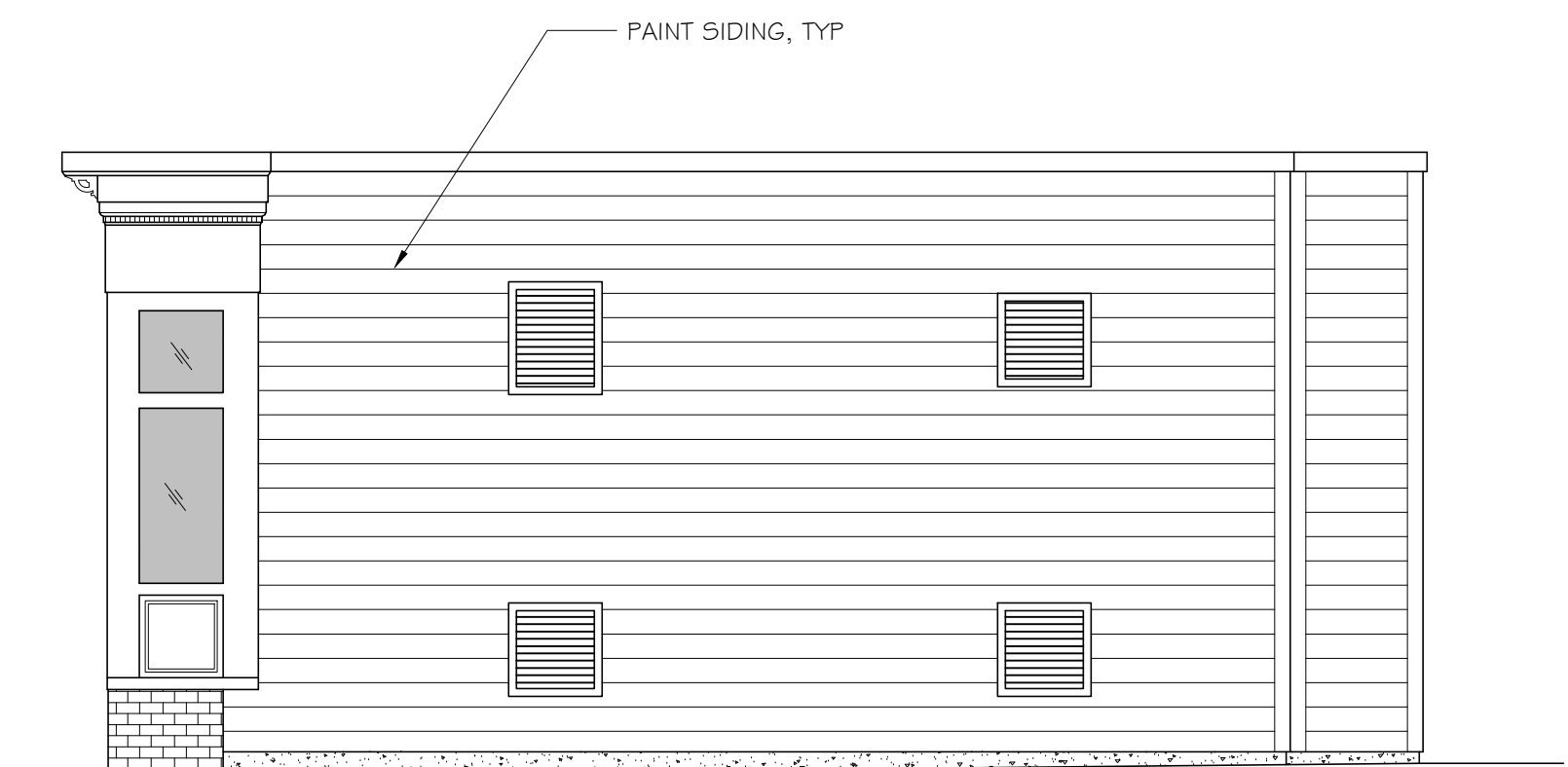
3: PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



4: PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"



1: PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2: PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



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A2.1