

# 44 BROADWAY

## PLANNING BOARD SUBMISSION



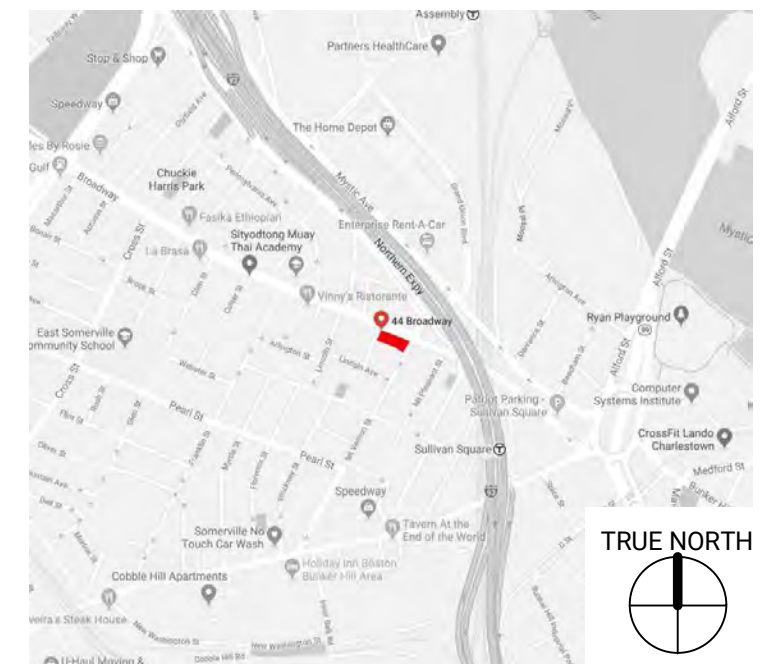
DRAWING LIST	
SHEET #	SHEET NAME

A0.0	COVER
A0.1	CIVIL PLAN
A0.2	CONTEXT
A0.3	SITE PLAN
A0.4	ZONING ANALYSIS
A0.5	FAR PLANS
A0.6	SHADOW STUDY
A0.7	SHADOW STUDY
A1.0	BASEMENT PLAN
A1.1	GROUND FLOOR
A1.3	THIRD FLOOR PLAN
A1.4	FOURTH FLOOR PLAN
A1.5	FIFTH FLOOR PLAN
A1.6	ROOF PLAN
A2.0	ELEVATIONS

DRAWING LIST	
SHEET #	SHEET NAME

A2.1	ELEVATIONS
A3.0	AXON
A3.1	AXON
A3.2	PERSPECTIVE - BROADWAY & GEORGE
A3.3	PERSPECTIVE - BROAD & MT. VERNON
A3.4	PERSPECTIVE - RESIDENTIAL ENTRY
A3.5	PERSPECTIVE - GEORGE STREET
A3.6	CONTEXT PERSPECTIVE - I 93
A3.7	CONTEXT PERSPECTIVE - GEORGE ST
A3.8	CONTEXT PERSPECTIVE - MT. VERNON
A4.0	FACADE MATERIALS

### LOCUS MAP



COVER

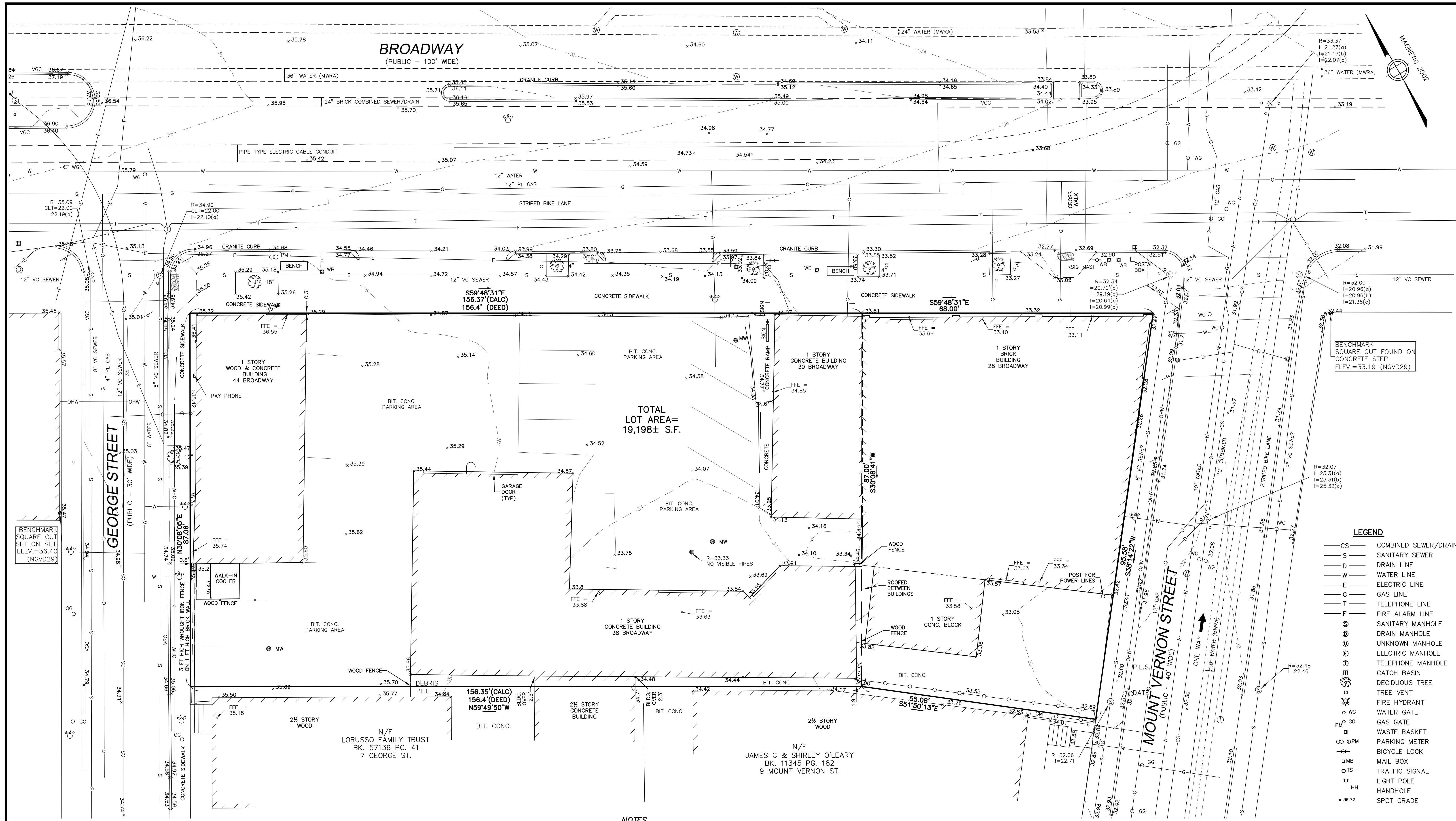
PLANNING BOARD SUBMISSION  
44 Broadway, Somerville, MA 02145  
09/23/2019



A0.0



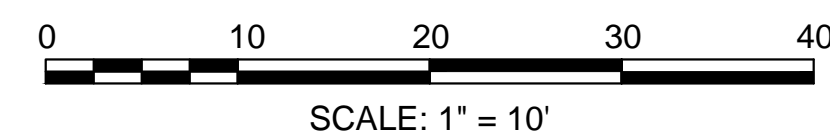




BENCHMARK SQUARE CUT SET ON SILL ELEV.=36.40 (NGVD29)

BENCHMARK SQUARE CUT FOUND ON CONCRETE STEP ELEV.=33.19 (NGVD29)

- LEGEND**
- CS COMBINED SEWER/DRAIN
  - S SANITARY SEWER
  - D DRAIN LINE
  - W WATER LINE
  - E ELECTRIC LINE
  - G GAS LINE
  - T TELEPHONE LINE
  - F FIRE ALARM LINE
  - SM SANITARY MANHOLE
  - DM DRAIN MANHOLE
  - UM UNKNOWN MANHOLE
  - EM ELECTRIC MANHOLE
  - TM TELEPHONE MANHOLE
  - CB CATCH BASIN
  - DT DECIDUOUS TREE
  - TV TREE VENT
  - FH FIRE HYDRANT
  - WG WATER GATE
  - GG GAS GATE
  - PM PARKING METER
  - BL BICYCLE LOCK
  - MB MAIL BOX
  - TS TRAFFIC SIGNAL
  - HP LIGHT POLE
  - HH HANDHOLE
  - SG SPOT GRADE



**LOCUS TITLE INFORMATION**

**30-44 BROADWAY**  
 OWNER: LOWER BROADWAY DEVELOPMENT LLC  
 DEED REFERENCE: BK. 67757 PG. 282  
 PLAN REFERENCE: PLAN BK. 8 PL. 10  
 PLAN BK. 30 PL. 39  
 ASSESSORS: MAP 103, BLOCK B, LOT 1

**LOCUS TITLE INFORMATION**

**28-40 BROADWAY**  
 OWNER: FRED C. BOULTER  
 DEED REFERENCE: BK. 56897 PG. 371  
 ASSESSORS: MAP 103, BLOCK B, LOT 4

**NOTES**

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF THE PROPERTY LOCATED AT 30-44 BROADWAY. THIS PLAN IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN APRIL 26, AND DECEMBER 24, 2018 BY DESIGN CONSULTANTS, INC. (DCI).  
 BOUNDARY LINES AND EASEMENTS FOR THE SUBJECT PROPERTY ARE PER DEED AND PLAN RESEARCH BY DESIGN CONSULTANTS, INC. THIS PLAN WAS PREPARED WITHOUT A FULL TITLE EXAMINATION, UNRECORDED EASEMENTS AND/OR ADVERSE CLAIMS BY OTHERS ARE NOT SHOWN.

VERTICAL DATUM IS NGVD29 BASED ON SEWER INVERTS SHOWN ON PRIOR SURVEYS PREPARED BY DCI FOR THE IMPROVEMENT OF BROADWAY.

LOCATION OF UNDERGROUND AND OVERHEAD UTILITIES SHOWN ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, AERIAL PHOTOGRAMMETRY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED. CALL DIGSAFE PRIOR TO EXCAVATION.

MATTHEW LOWRY, P.L.S. MASS. REGISTRATION NO. 49625

P:\2016 Projects\2016-035 30-44 Broadway Somerville\Dwg\\_SURVEYING\16-035ec 2018.dwg

**Design Consultants, Inc.**  
 CIVIL ENGINEERS and LAND SURVEYORS  
 120 MIDDLESEX AVENUE  
 SOMERVILLE, MA 02145  
 617-776-3350

SCALE:			
HORIZ: 1" = 10'			
VERT: _____			
NO.	DATE	BY	REVISIONS

FIELD: XX  
 CALCS: XX  
 CHECKED: XX  
 APPROVED: XX

**EXISTING CONDITIONS PLAN**

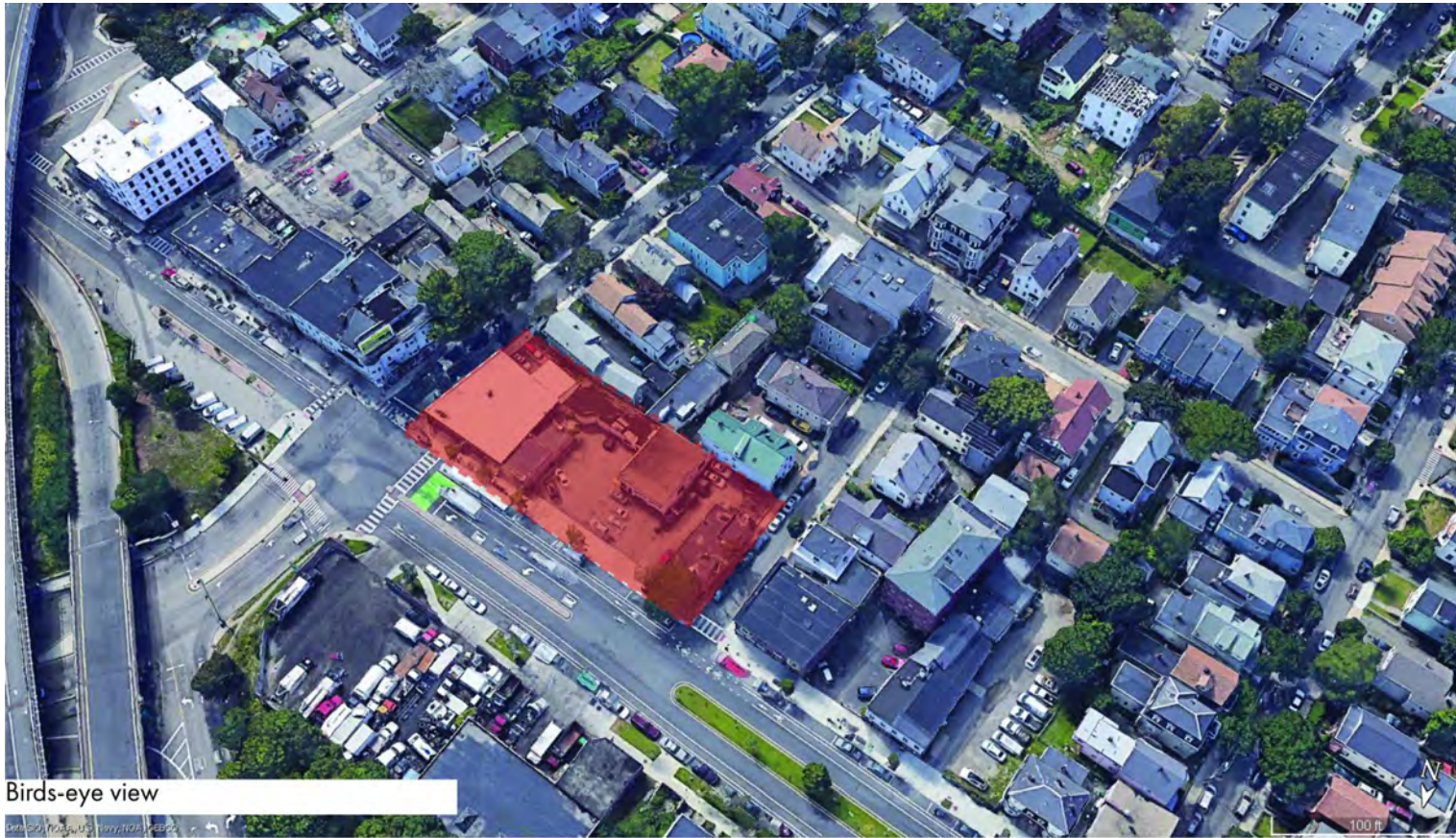
**28-44 BROADWAY**

**DRAFT**

LAND LOCATED IN  
**SOMERVILLE, MASSACHUSETTS**  
 SURVEYED FOR  
**HIGHLAND DEVELOPMENT CORP**

PROJECT NO. 2016-035
DATE: DEC. 17, 2018
SHEET NO. 1 OF 1

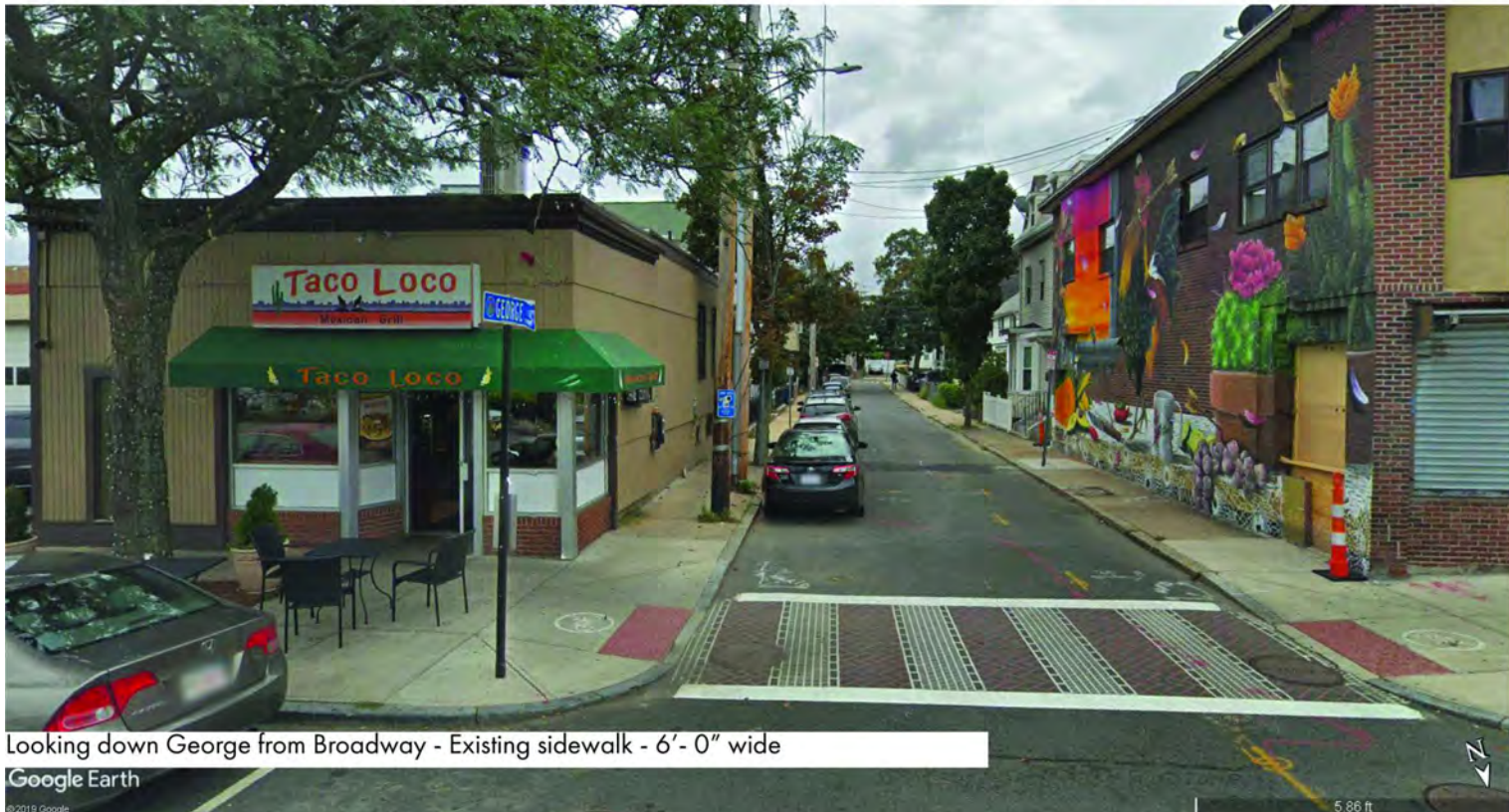




Birds-eye view



Looking down Mt. Vernon to Broadway - Existing sidewalk - 6'-6" wide



Looking down George from Broadway - Existing sidewalk - 6'-0" wide

Google Earth



Looking down Broadway from George - Existing sidewalk - 14'-6" wide

Google Earth

# CONTEXT

**PLANNING BOARD SUBMISSION**  
**44 Broadway, Somerville, MA 02145**  
 09/23/2019

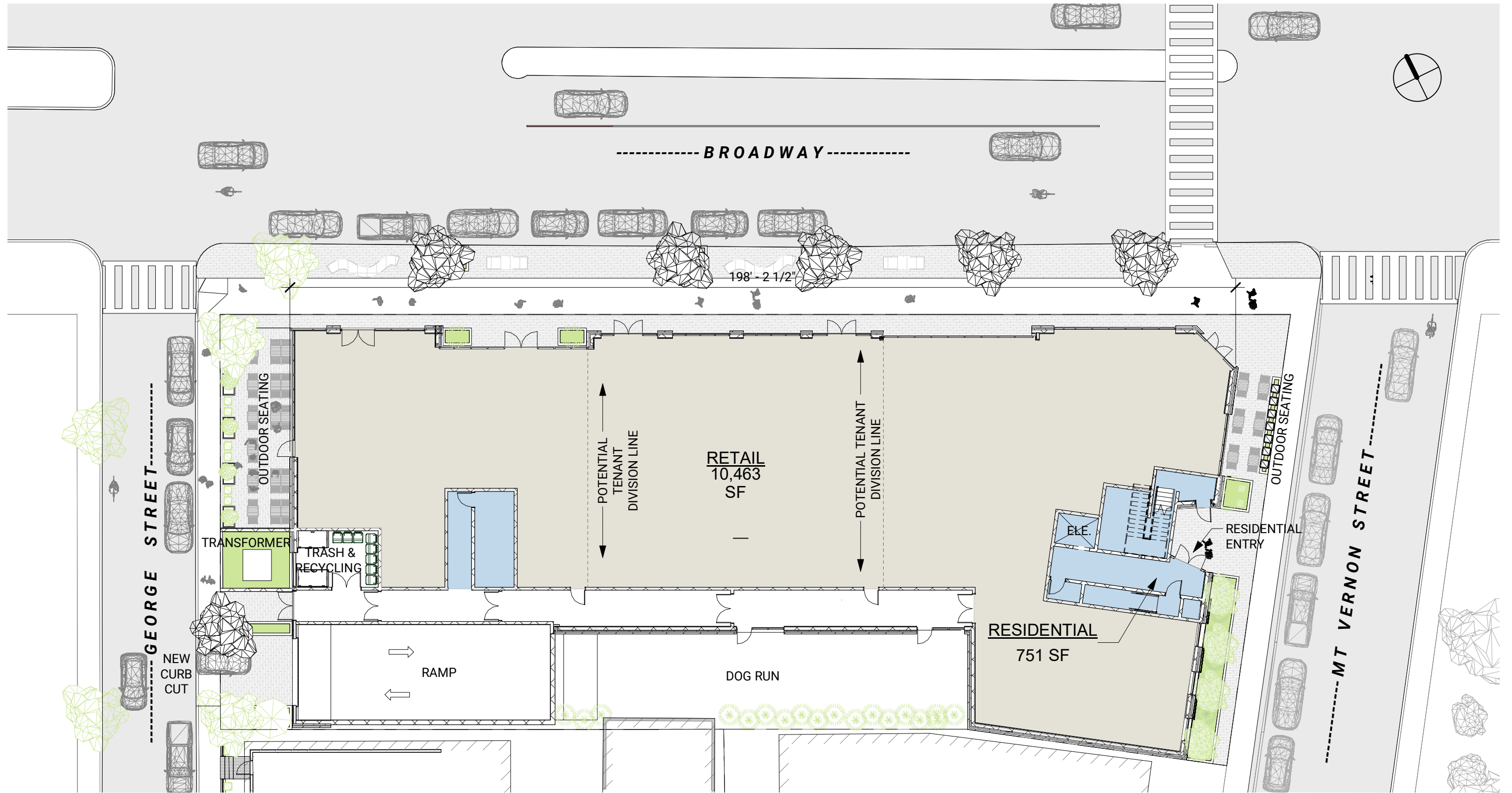
**BALANCE ARCHITECTS**  
 197 8th Street, Boston, MA.  
 (617) 209-9539  
 mail@balance-architects.com



**A0.2**







**2** ARCHITECTURAL SITE PLAN  
1" = 20'-0"



# ZONING SUMMARY

28-44 BROADWAY

Zoning District

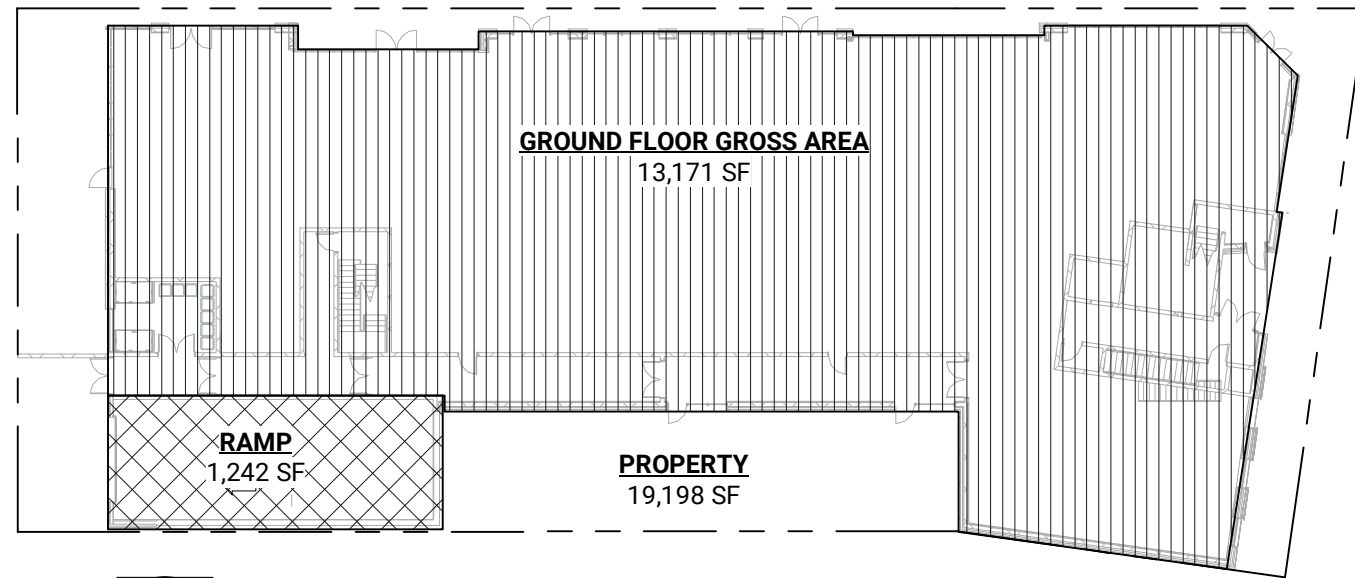
TOD 55

Transit Oriented Development

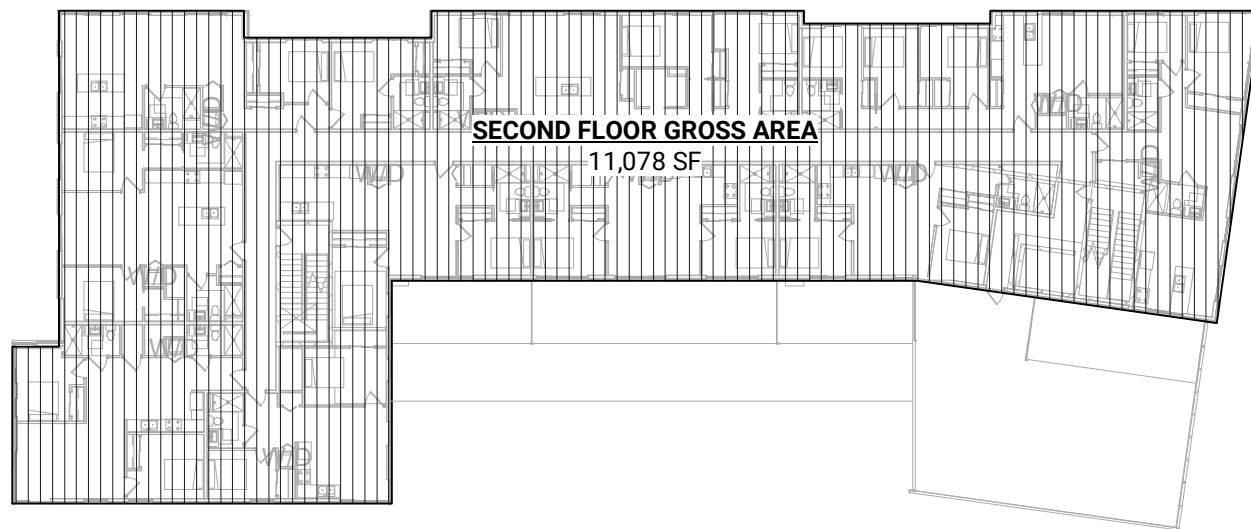
Data	ALLOWED	EXISTING	PROPOSED	COMMENTS
<b>Use</b>	<b>Multiple</b>	<b>Multiple</b>	<b>Retail/Residential</b>	<b>Proposed use conforms with allowed</b>
<b>A. Lot Size (Min.)</b>	15,000.0 SF	19,197.0 SF	19,197.0 SF	Proposed exceeds minimum required
<b>B. # of Dwelling Units (600 SF * 0.825 (bonus 17.5%) = 495 SF)</b>	38.8	0	38	Proposed conforms with allowed
<b>C. Max Ground Coverage</b>	80.0%	52.6%	75.1%	Proposed is less than allowed maximum
C.1 Max Ground Coverage Area	15,357.6 SF	10,101.1 SF	14,413.0 SF	Proposed is less than allowed maximum
<b>D. Landscaped Area Min.</b>	10.0%	0.0%	10.0%	Proposed conforms with allowed
<b>D.1 Landscaped Area</b>	1,919.7 SF	.0 SF	1,919.7 SF	Proposed conforms with allowed
<b>E. Floor Area Ratio</b>	3.0	0.5	3.0	Proposed conforms with allowed
E.1 Allowable Floor Area	57,591.0 SF	10,101.1 SF	57,473.0 SF	Proposed conforms with allowed
<b>F. Maximum Height</b>	55 ft.	16 ft.	55 ft.	Proposed conforms with allowed
<b>G. Setbacks</b>	.0 ft	NA	NA	Proposed conforms with allowed
G.1 Front Yard Broadway	0	.3 ft	2.0 ft	Proposed exceeds minimum required
G.2 Side Yard George Street	.0 ft	.6 ft	15.0 ft	Proposed exceeds minimum required
G.3 Side Yard Mt Vernon	.0 ft	.0 ft	3.0 ft	Proposed exceeds minimum required
G.4 Rear Yard Mt Vernon (RA)	.0 ft	1.9 ft	.0 ft	Proposed conforms with allowed
G.5 Rear Yard George Street (TOD 55)	.0 ft	.0 ft	1.0 ft	Proposed exceeds minimum required, 3 ft above second floor
G.6 Rear Yard Mt Vernon Above 20ft (RA)	40.0 ft	NA	40.0 ft	Proposed conforms with allowed
<b>H. Minimum Frontage</b>	50.0 ft	224.4 ft	224.4 ft	Proposed exceeds minimum required
<b>I. Permitted Use Clusters</b>	A,B,C,D,E,F,G,I,J,K	D	D, E	Proposed use conforms with allowed
<b>J. Arts Related Uses Requirement</b>	NA	NA	NA	Not Applicable
<b>K. Inclusionary Housing Requirements</b>	20.0%	0.0%	20.0%	Proposed conforms with allowed
<b>L. Tapering Height</b>	NA	NA	NA	Not Applicable
<b>M. Upper Level Setback</b>	NA	NA	NA	Not Applicable
<b>N. Upper Level Maximum Floorplate</b>	NA	NA	NA	Not Applicable
<b>O. Usable Open Space Requirement</b>	NA	NA	NA	Not Applicable
<b>Parking</b>	<b>ALLOWED/REQUIRED</b>	<b>EXISTING</b>	<b>PROPOSED</b>	<b>COMMENTS</b>
Bicycle Parking Resi TOD (1 per every 2 units)	19	0	39	Proposed exceeds minimum required
Bicycle Parking Medium Retail & Service (1 per 5000SF)	3	0	5	Proposed exceeds minimum required
Car Parking Resi TOD (1 per unit)	38	0	30	Special Permit Required
Car Parking Medium Retail & Service (1/1000 NSF)	11	11	0	Special Permit Required



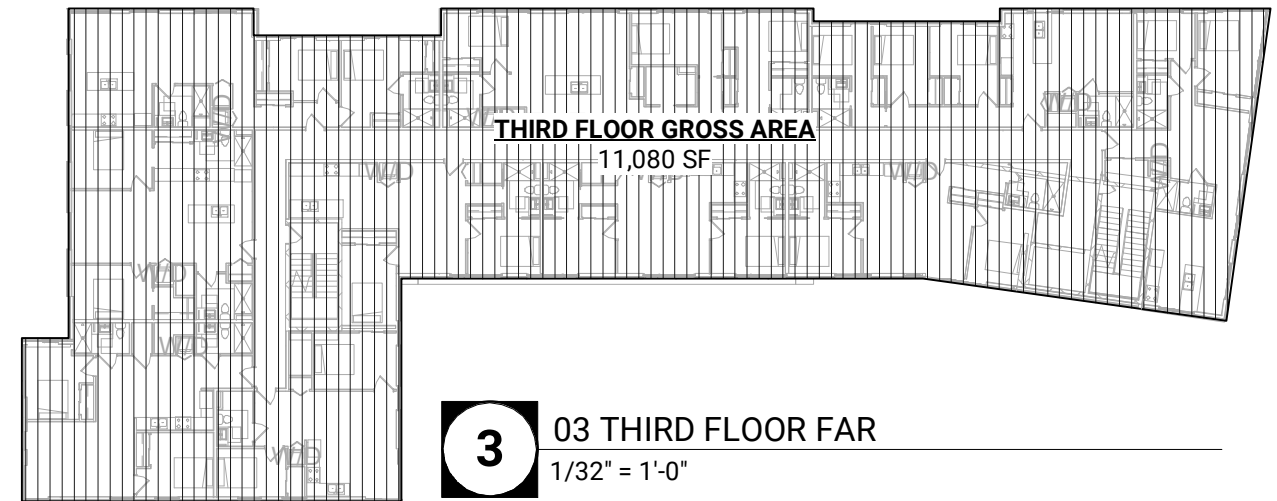




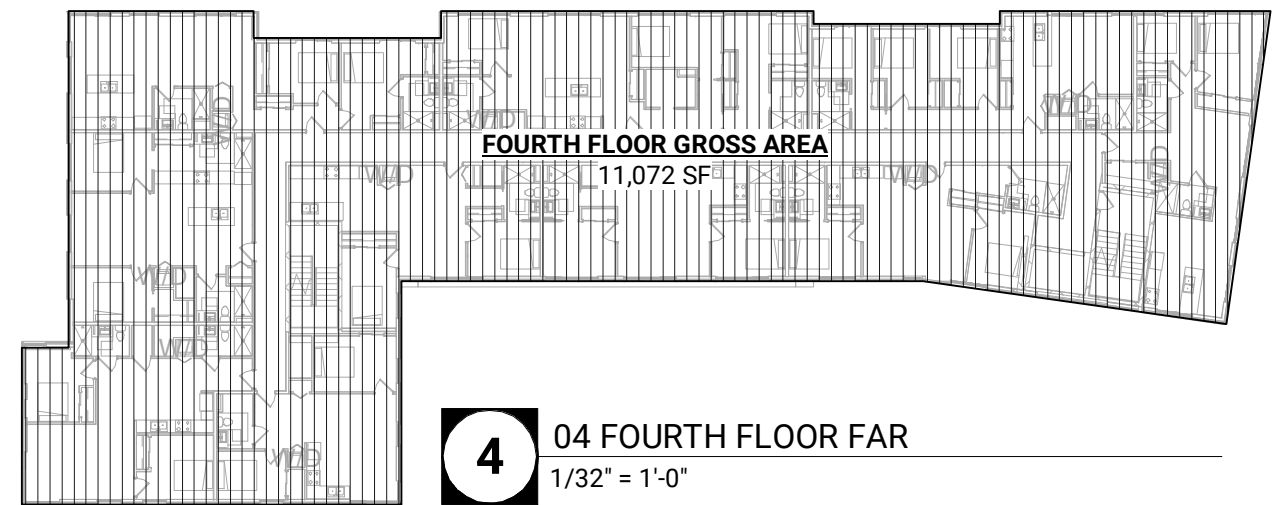
**1** 01 FIRST FLOOR FAR  
1/32" = 1'-0"



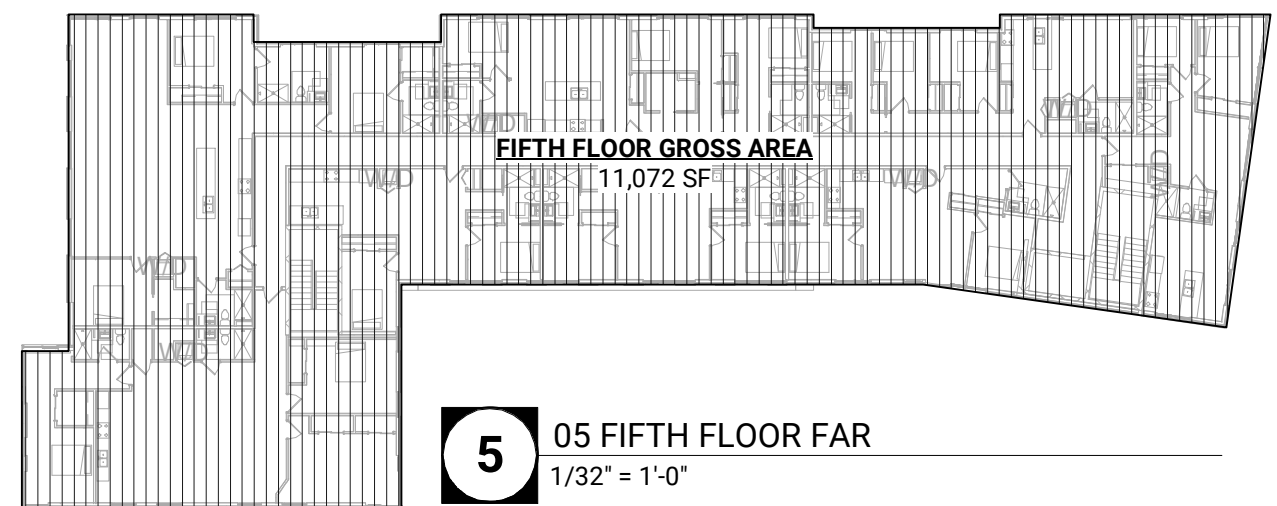
**2** 02 SECOND FLOOR FAR  
1/32" = 1'-0"



**3** 03 THIRD FLOOR FAR  
1/32" = 1'-0"



**4** 04 FOURTH FLOOR FAR  
1/32" = 1'-0"



**5** 05 FIFTH FLOOR FAR  
1/32" = 1'-0"





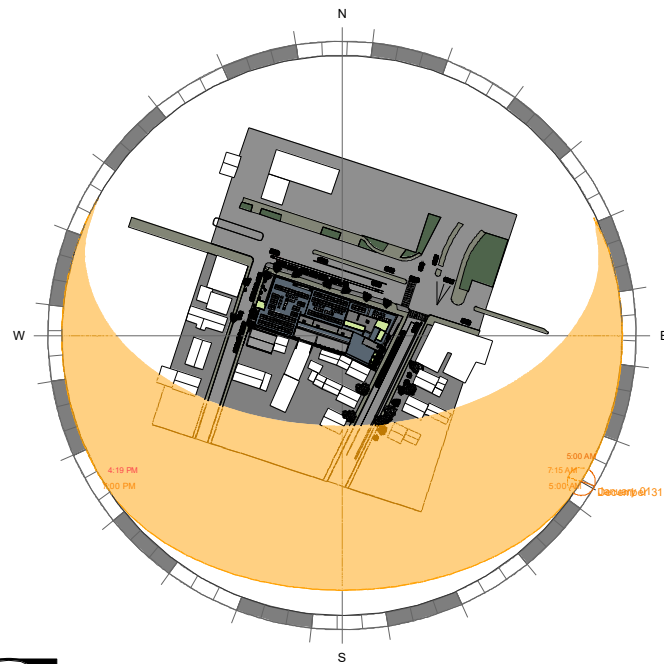
**1** 12/21 9 AM  
1" = 100'-0"



**2** 12/21 12 PM  
1" = 100'-0"



**3** 12/21 4 PM  
1" = 100'-0"



**4** SUN PATH DIAGRAM  
1" = 300'-0"

# SHADOW STUDY

PLANNING BOARD SUBMISSION  
44 Broadway, Somerville, MA 02145

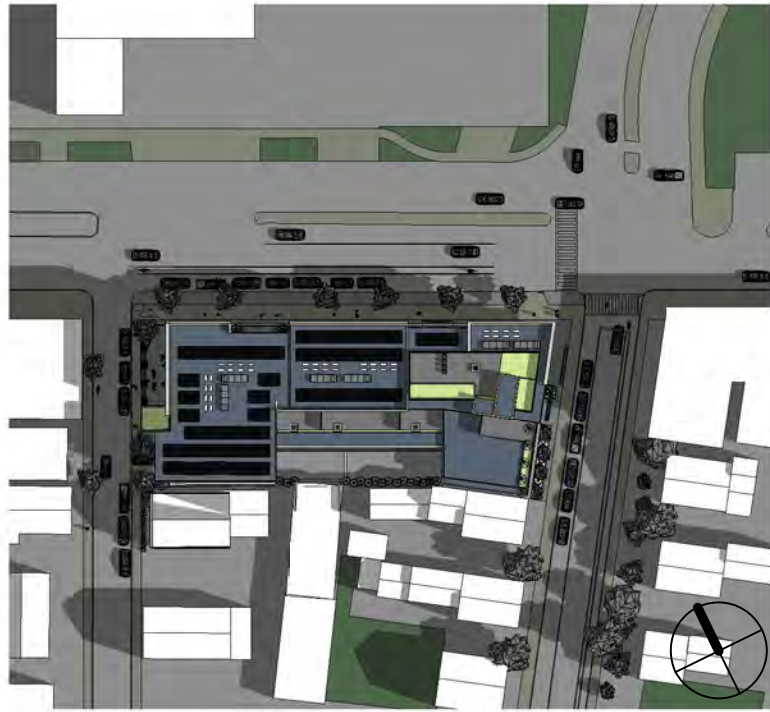
09/23/2019

**BALANCE ARCHITECTS**  
197 8th Street, Boston, MA.  
(617) 209-9539  
mail@balance-architects.com

A0.6



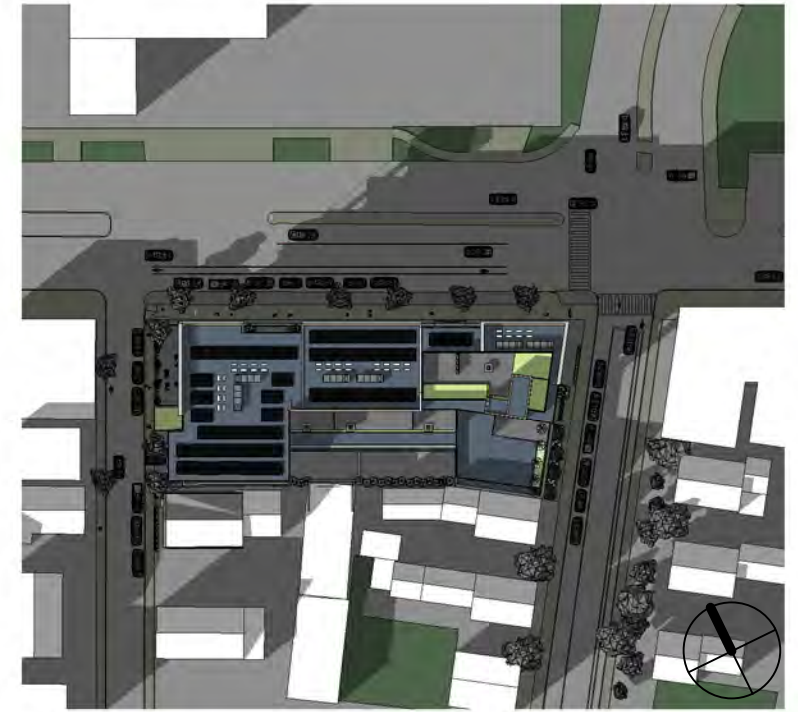




**1** 3/21 9 AM  
1" = 100'-0"



**2** 3/21 12 PM  
1" = 100'-0"



**3** 3/21 4 PM  
1" = 100'-0"



**4** 6/21 9 AM  
1" = 100'-0"



**5** 6/21 12 PM  
1" = 100'-0"



**6** 6/21 3 PM  
1" = 100'-0"

# SHADOW STUDY

PLANNING BOARD SUBMISSION  
44 Broadway, Somerville, MA 02145

09/23/2019

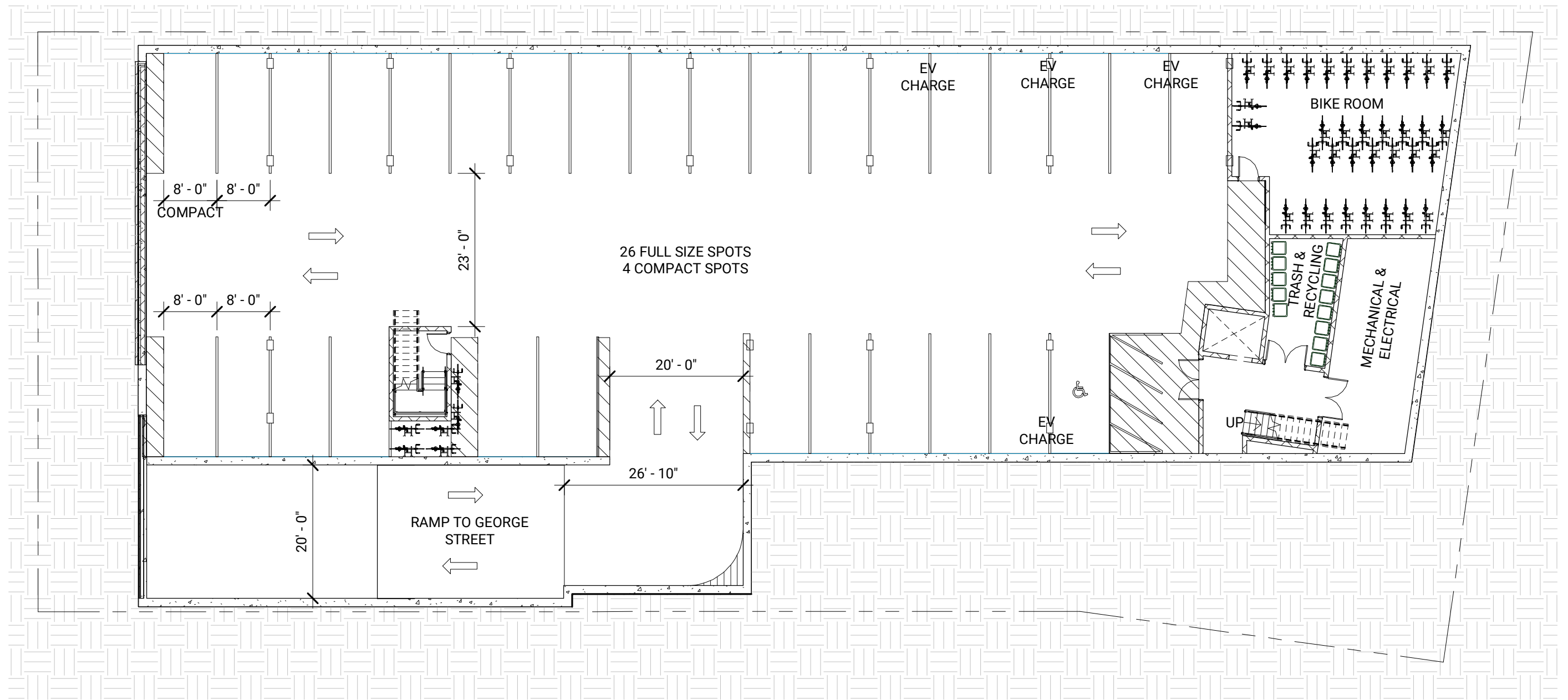
**BALANCE ARCHITECTS**  
197 8th Street, Boston, MA.  
(617) 209-9539  
mail@balance-architects.com



## A0.7







**1** 00 BASEMENT FLOOR - PLANNING  
 1/16" = 1'-0"

# BASEMENT PLAN

PLANNING BOARD SUBMISSION  
 44 Broadway, Somerville, MA 02145

09/23/2019

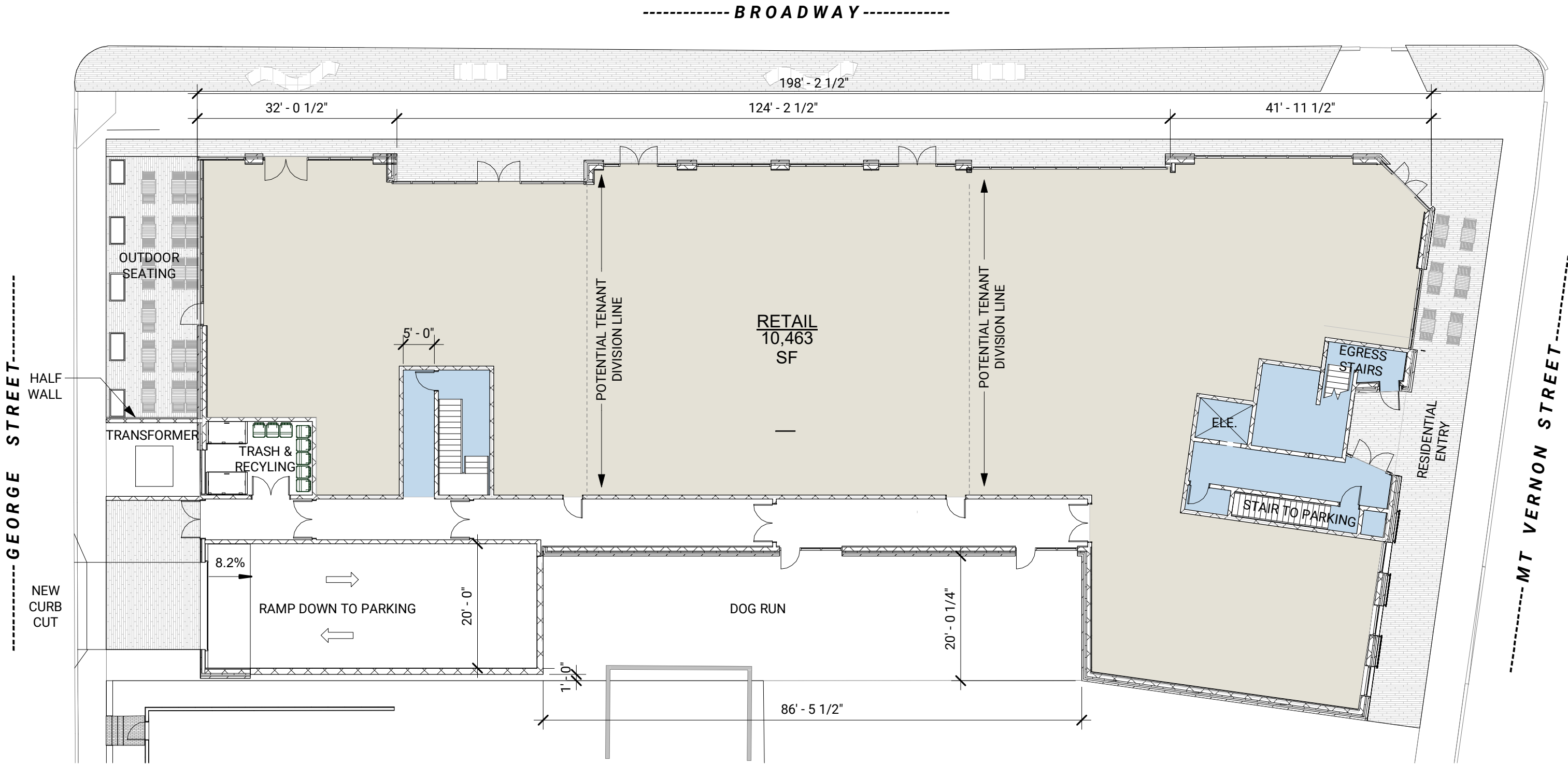
**BALANCE ARCHITECTS**  
 197 8th Street, Boston, MA.  
 (617) 209-9539  
 mail@balance-architects.com

**BA**

**A1.0**







**1** 01 FIRST FLOOR  
1/16" = 1'-0"

# GROUND FLOOR

PLANNING BOARD SUBMISSION  
44 Broadway, Somerville, MA 02145

09/23/2019

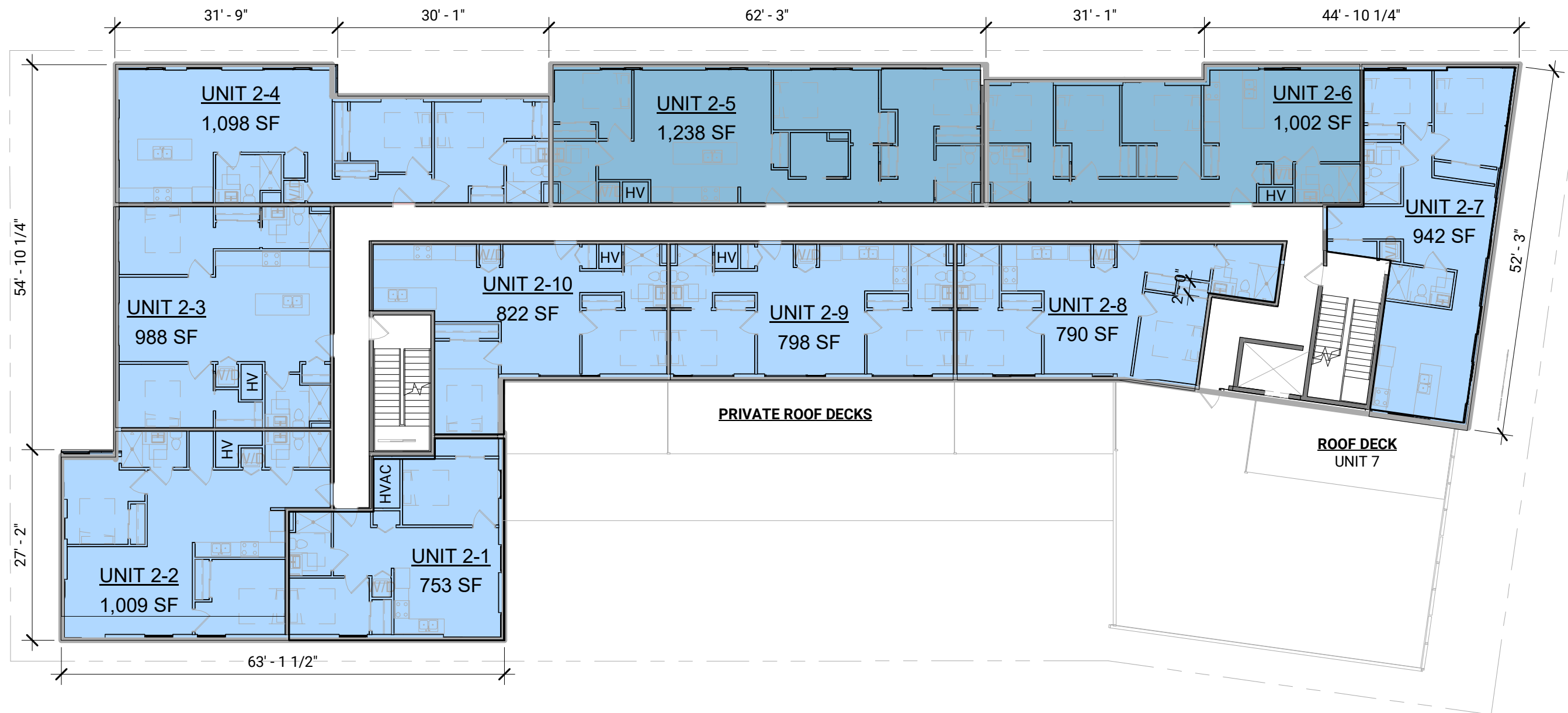
**BALANCE ARCHITECTS**  
197 8th Street, Boston, MA.  
(617) 209-9539  
mail@balance-architects.com

**BA**

A1.1







**1** 02 SECOND FLOOR  
1/16" = 1'-0"

NUMBER OF BEDROOMS

- 2 BEDROOM UNIT
- 3 BEDROOM UNIT

# SECOND FLOOR PLAN

**PLANNING BOARD SUBMISSION**  
44 Broadway, Somerville, MA 02145

09/23/2019

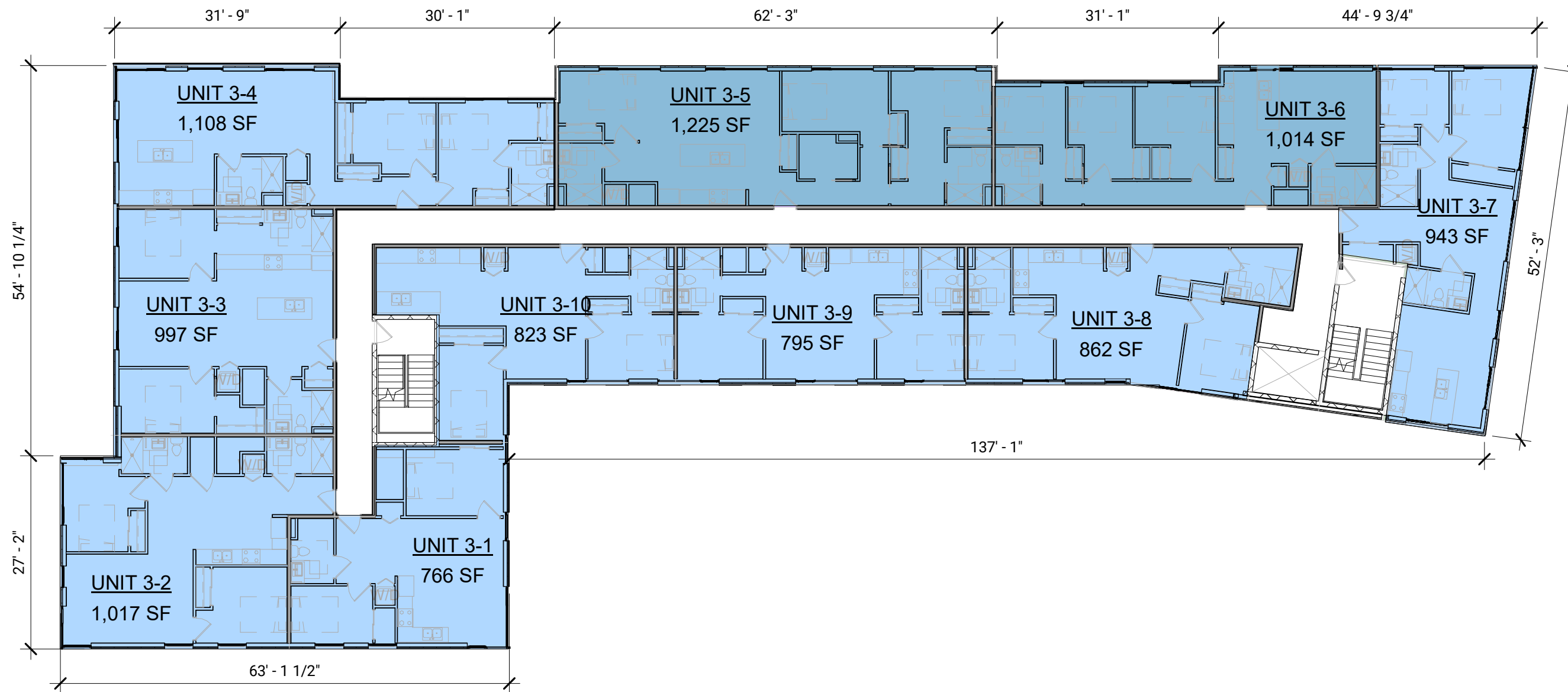
**BALANCE ARCHITECTS**  
197 8th Street, Boston, MA.  
(617) 209-9539  
mail@balance-architects.com

BA

## A1.2







**1** 03 THIRD FLOOR  
1/16" = 1'-0"

NUMBER OF BEDROOMS

- 2 BEDROOM UNIT
- 3 BEDROOM UNIT

# THIRD FLOOR PLAN

**PLANNING BOARD SUBMISSION**  
44 Broadway, Somerville, MA 02145

09/23/2019

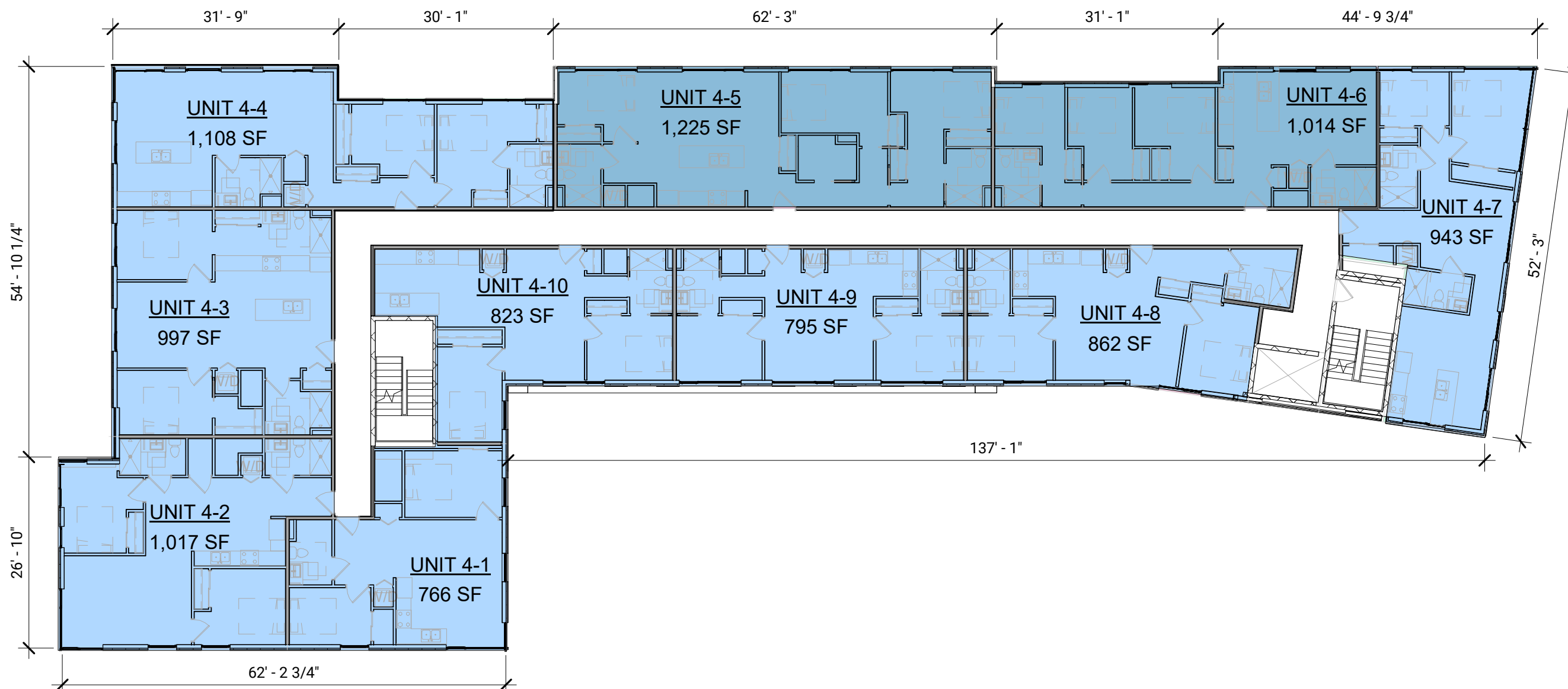
**BALANCE ARCHITECTS**  
197 8th Street, Boston, MA.  
(617) 209-9539  
mail@balance-architects.com

BA

**A1.3**







**1** 04 FOURTH FLOOR  
1/16" = 1'-0"

NUMBER OF BEDROOMS

- 2 BEDROOM UNIT
- 3 BEDROOM UNIT

# FOURTH FLOOR PLAN

**PLANNING BOARD SUBMISSION**  
 44 Broadway, Somerville, MA 02145  
 09/23/2019

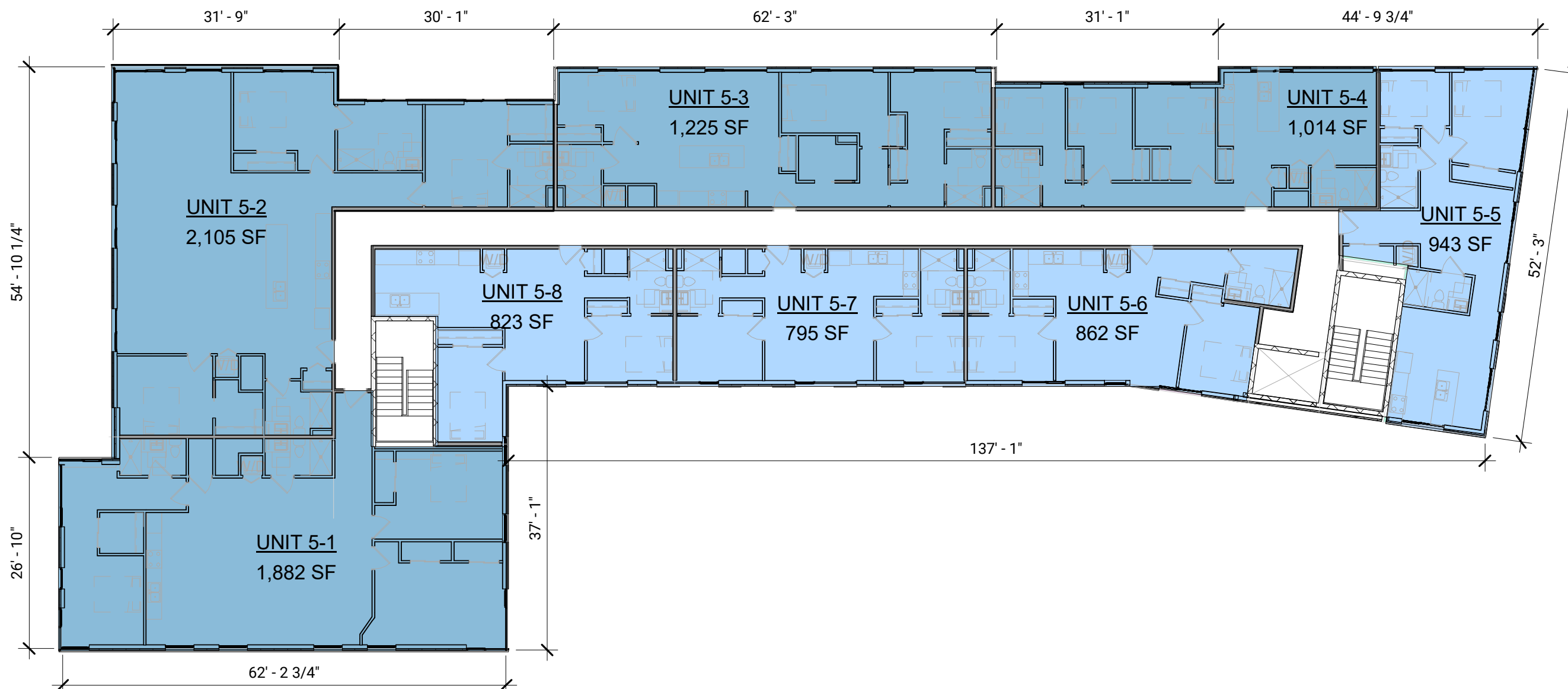
**BALANCE ARCHITECTS**  
 197 8th Street, Boston, MA.  
 (617) 209-9539  
 mail@balance-architects.com

BA

**A1.4**







**1** 05 FIFTH FLOOR  
 1/16" = 1'-0"

NUMBER OF BEDROOMS

- 2 BEDROOM UNIT
- 3 BEDROOM UNIT

# FIFTH FLOOR PLAN

**PLANNING BOARD SUBMISSION**  
 44 Broadway, Somerville, MA 02145  
 09/23/2019

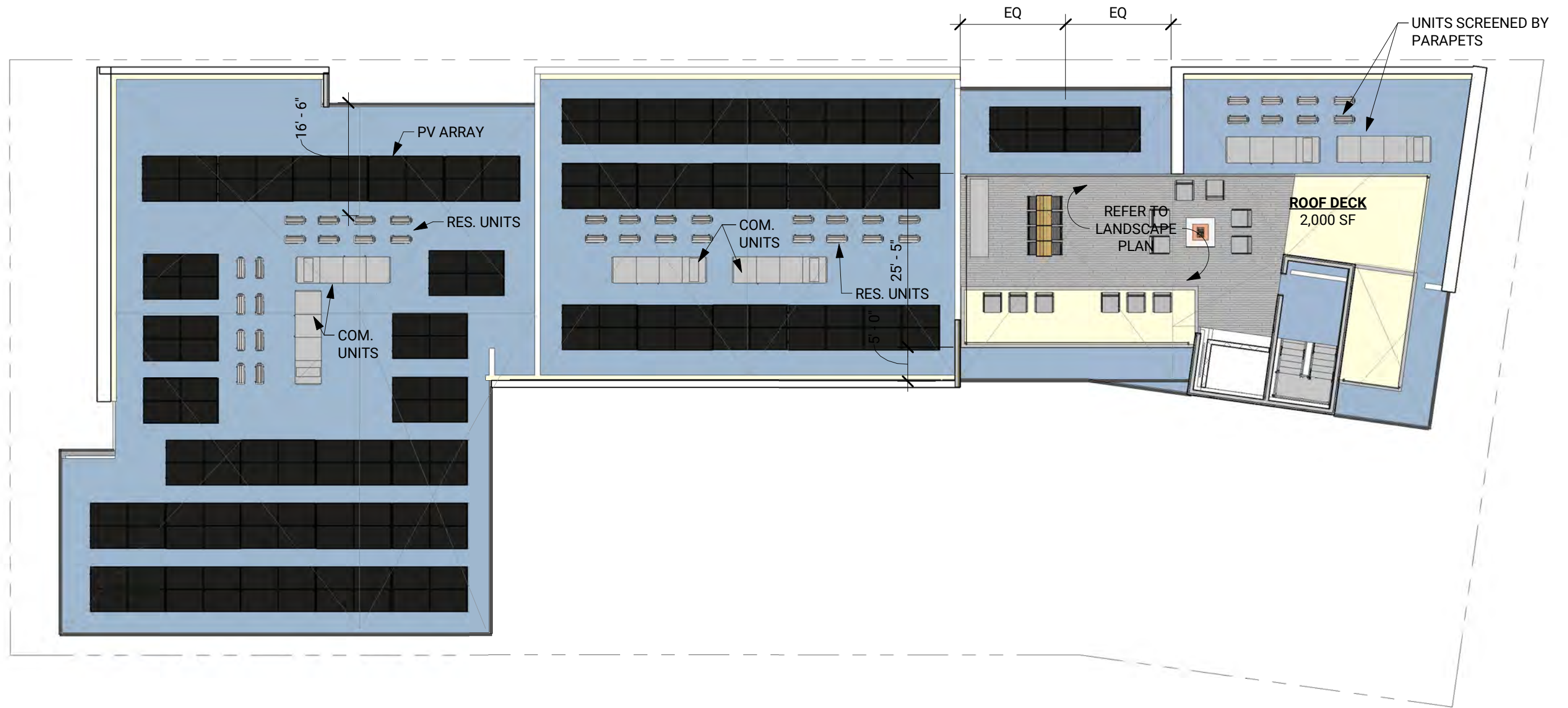
**BALANCE ARCHITECTS**  
 197 8th Street, Boston, MA.  
 (617) 209-9539  
 mail@balance-architects.com

BA

**A1.5**







# ROOF PLAN

**PLANNING BOARD SUBMISSION**  
 44 Broadway, Somerville, MA 02145

09/23/2019

**BALANCE ARCHITECTS**  
 197 8th Street, Boston, MA.  
 (617) 209-9539  
 mail@balance-architects.com

**A1.6**







- 06 ROOF STRUCTURE 55' - 0"
- 05 FIFTH FLOOR 45' - 0"
- 04 FOURTH FLOOR 35' - 0"
- 03 THIRD FLOOR 25' - 0"
- 02 SECOND FLOOR 15' - 0"
- 01 FIRST FLOOR 0' - 0"

**1** SOUTH ELEVATION  
1/16" = 1'-0"



- 06 ROOF STRUCTURE 55' - 0"
- 05 FIFTH FLOOR 45' - 0"
- 04 FOURTH FLOOR 35' - 0"
- 03 THIRD FLOOR 25' - 0"
- 02 SECOND FLOOR 15' - 0"
- 01 FIRST FLOOR 0' - 0"

**2** NORTH ELEVATION  
1/16" = 1'-0"

# ELEVATIONS

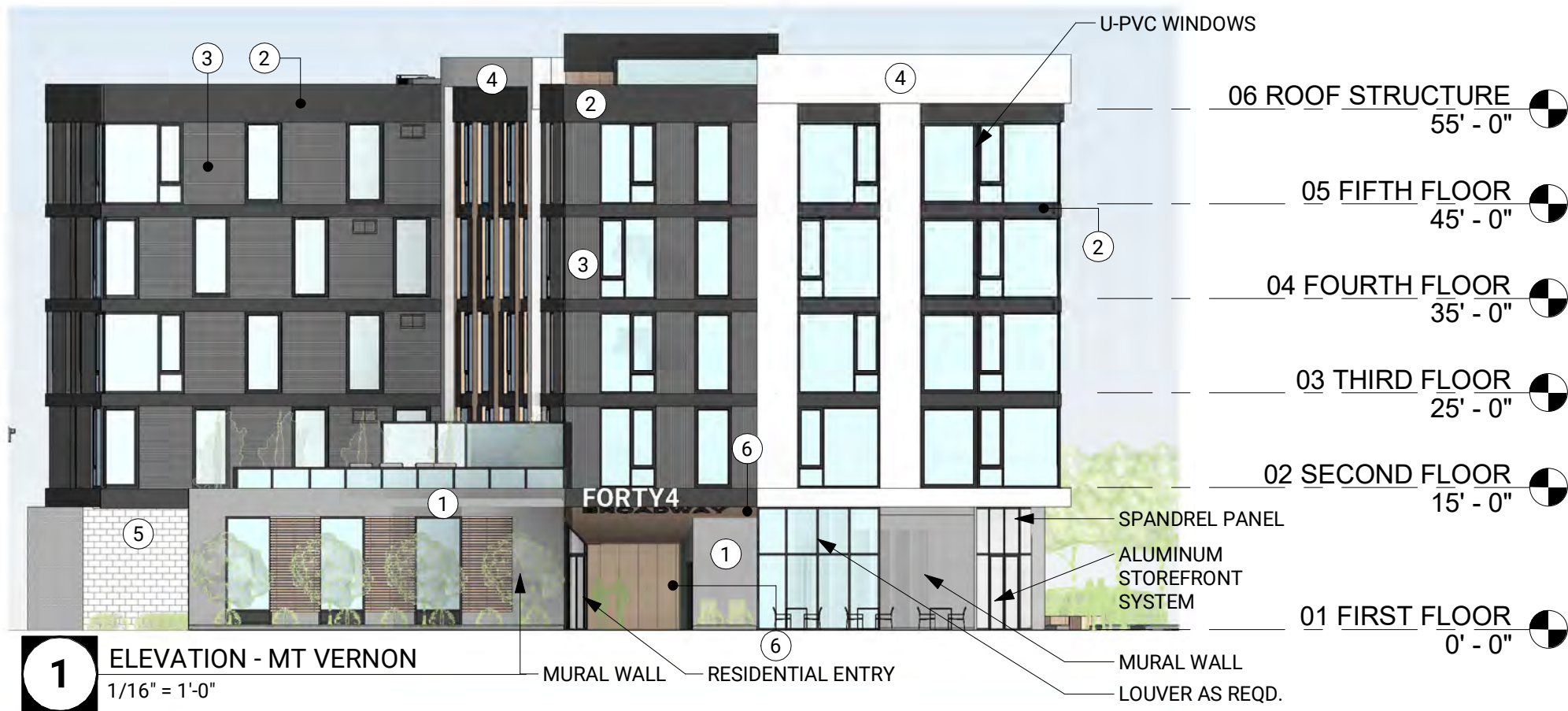
**PLANNING BOARD SUBMISSION**  
 44 Broadway, Somerville, MA 02145  
 09/23/2019

**BALANCE ARCHITECTS**  
 197 8th Street, Boston, MA.  
 (617) 209-9539  
 mail@balance-architects.com

**A2.0**







MATERIAL SCHEDULE	
Material Tag	Material: Name
1	Face Brick - Charcoal
2	Metal Panel - Black
3	Fiber Cement Panel - Black
4	Aluminum - ACM Panel
5	Masonry - Concrete Masonry Units
6	Phenolic Resin Panel - Oak



# ELEVATIONS

**PLANNING BOARD SUBMISSION**  
 44 Broadway, Somerville, MA 02145  
 09/23/2019

**BALANCE ARCHITECTS**  
 197 8th Street, Boston, MA.  
 (617) 209-9539  
 mail@balance-architects.com

**BA**

**A2.1**







**1** BROADWAY - FRONT

**AXON**

**PLANNING BOARD SUBMISSION**  
**44 Broadway, Somerville, MA 02145**

09/23/2019

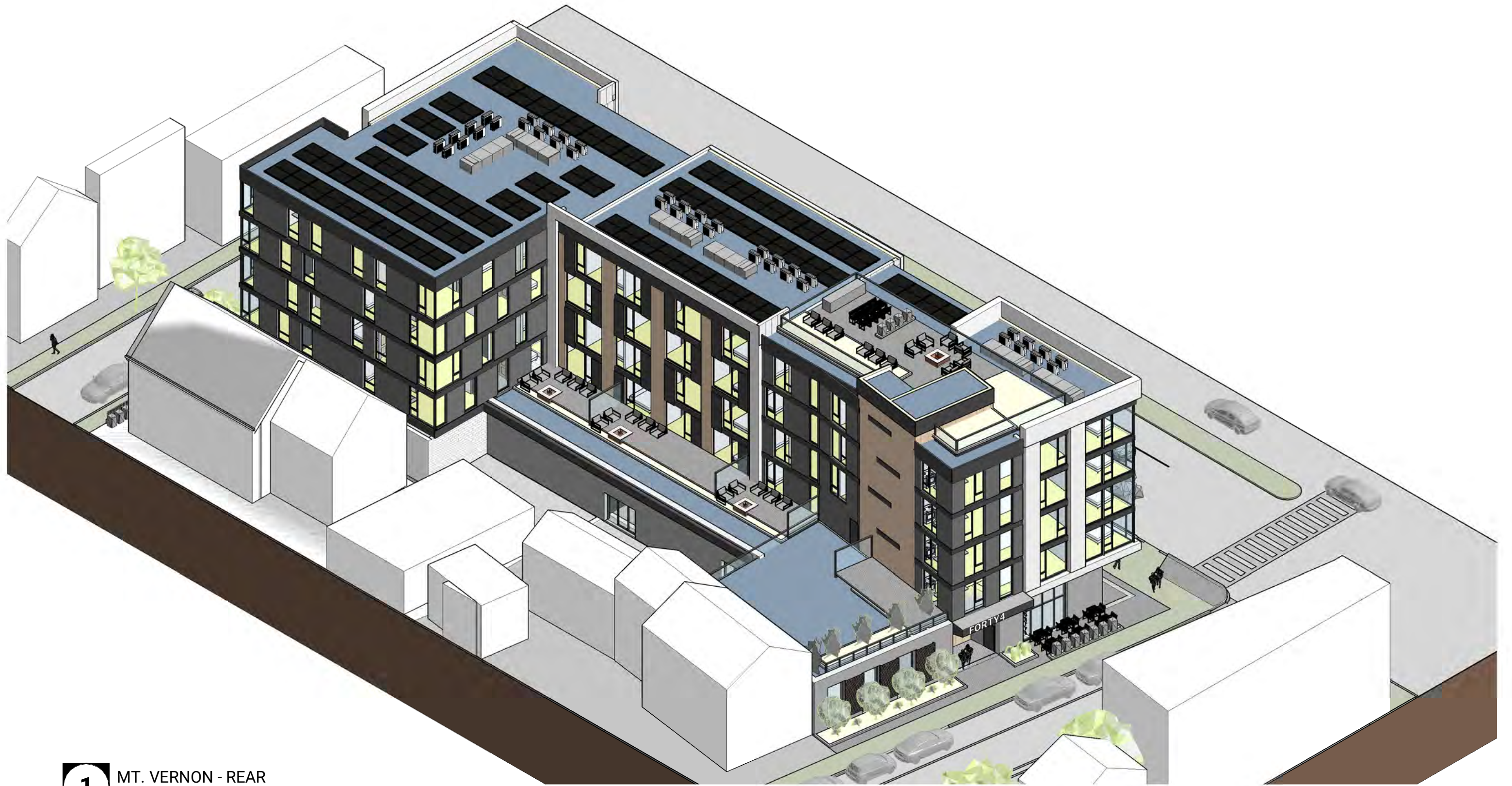
**BALANCE**  
**ARCHITECTS**  
197 8th Street, Boston, MA.  
(617) 209-9539  
mail@balance-architects.com

**BA**

**A3.0**







**1** MT. VERNON - REAR

**AXON**

**PLANNING BOARD SUBMISSION**  
44 Broadway, Somerville, MA 02145

09/23/2019

**BALANCE ARCHITECTS**  
197 8th Street, Boston, MA.  
(617) 209-9539  
mail@balance-architects.com



**A3.1**







# PERSPECTIVE - BROADWAY & GEORGE

**PLANNING BOARD SUBMISSION**  
44 Broadway, Somerville, MA 02145

09/23/2019

**BALANCE ARCHITECTS**  
197 8th Street, Boston, MA.  
(617) 209-9539  
mail@balance-architects.com



## A3.2







**PERSPECTIVE - BROAD & MT. VERNON**

**PLANNING BOARD SUBMISSION**  
44 Broadway, Somerville, MA 02145

09/23/2019

**BALANCE ARCHITECTS**  
197 8th Street, Boston, MA.  
(617) 209-9539  
mail@balance-architects.com



**A3.3**







# PERSPECTIVE - RESIDENTIAL ENTRY

PLANNING BOARD SUBMISSION  
44 Broadway, Somerville, MA 02145  
09/23/2019

**BALANCE ARCHITECTS**  
197 8th Street, Boston, MA.  
(617) 209-9539  
mail@balance-architects.com



## A3.4







**PERSPECTIVE - GEORGE STREET**

**PLANNING BOARD SUBMISSION**  
**44 Broadway, Somerville, MA 02145**

09/23/2019

**BALANCE ARCHITECTS**  
197 8th Street, Boston, MA.  
(617) 209-9539  
mail@balance-architects.com



**A3.5**







Google Earth

© 2019 Google

# CONTEXT PERSPECTIVE - I 93

**PLANNING BOARD SUBMISSION**  
44 Broadway, Somerville, MA 02145

09/23/2019

**BALANCE ARCHITECTS**  
197 8th Street, Boston, MA.  
(617) 209-9539  
mail@balance-architects.com



## A3.6







# CONTEXT PERSPECTIVE - GEORGE ST

PLANNING BOARD SUBMISSION  
44 Broadway, Somerville, MA 02145

09/23/2019

**BALANCE ARCHITECTS**  
197 8th Street, Boston, MA.  
(617) 209-9539  
mail@balance-architects.com



## A3.7







# CONTEXT PERSPECTIVE - MT. VERNON

PLANNING BOARD SUBMISSION  
44 Broadway, Somerville, MA 02145

09/23/2019

**BALANCE**  
**ARCHITECTS**  
197 8th Street, Boston, MA.  
(617) 209-9539  
mail@balance-architects.com



## A3.8







FIBER CEMENT PANEL  
NICHIIHA ILLUMINATION SERIES (DARK GREY CUSTOM COLOR)



FACE BRICK  
ENDICOTT MANGANESE IRONSPOT, SMOOTH, STANDARD



ALUMINUM COMPOSITE PANEL  
ALUCOBOND DARK GREY METALLIC 505



PHENOLIC RESIN PANEL  
FUNDERMAX 5171 POLAR OAK



ALUMINUM COMPOSITE PANEL  
ALUCOBOND SILVER METALLIC 500



ARCHITECTURAL CMU  
SHOULDICE PEARL WHITE

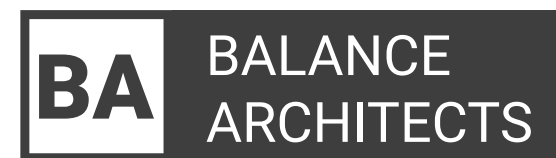


RESIDENTIAL WINDOWS  
REHAU 4500 SERIES



# 44 Broadway

STREETSCAPE AND ROOF TERRACES







Birds-eye view



Looking down Mt. Vernon to Broadway - Existing sidewalk - 6'- 6" wide

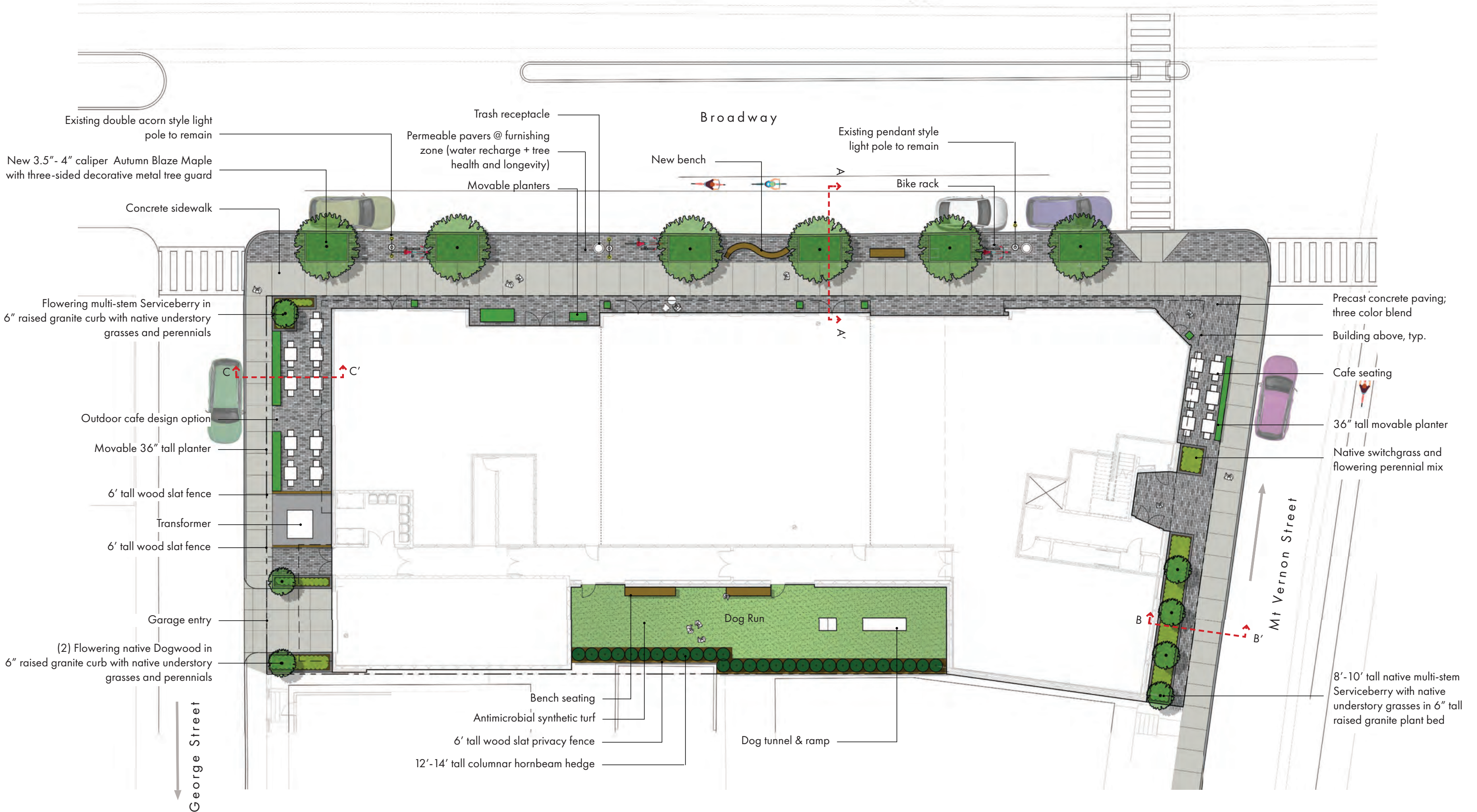


Looking down George from Broadway - Existing sidewalk - 6'- 0" wide



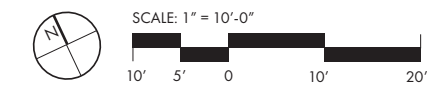
Looking down Broadway from George - Existing sidewalk - 14'- 6" wide



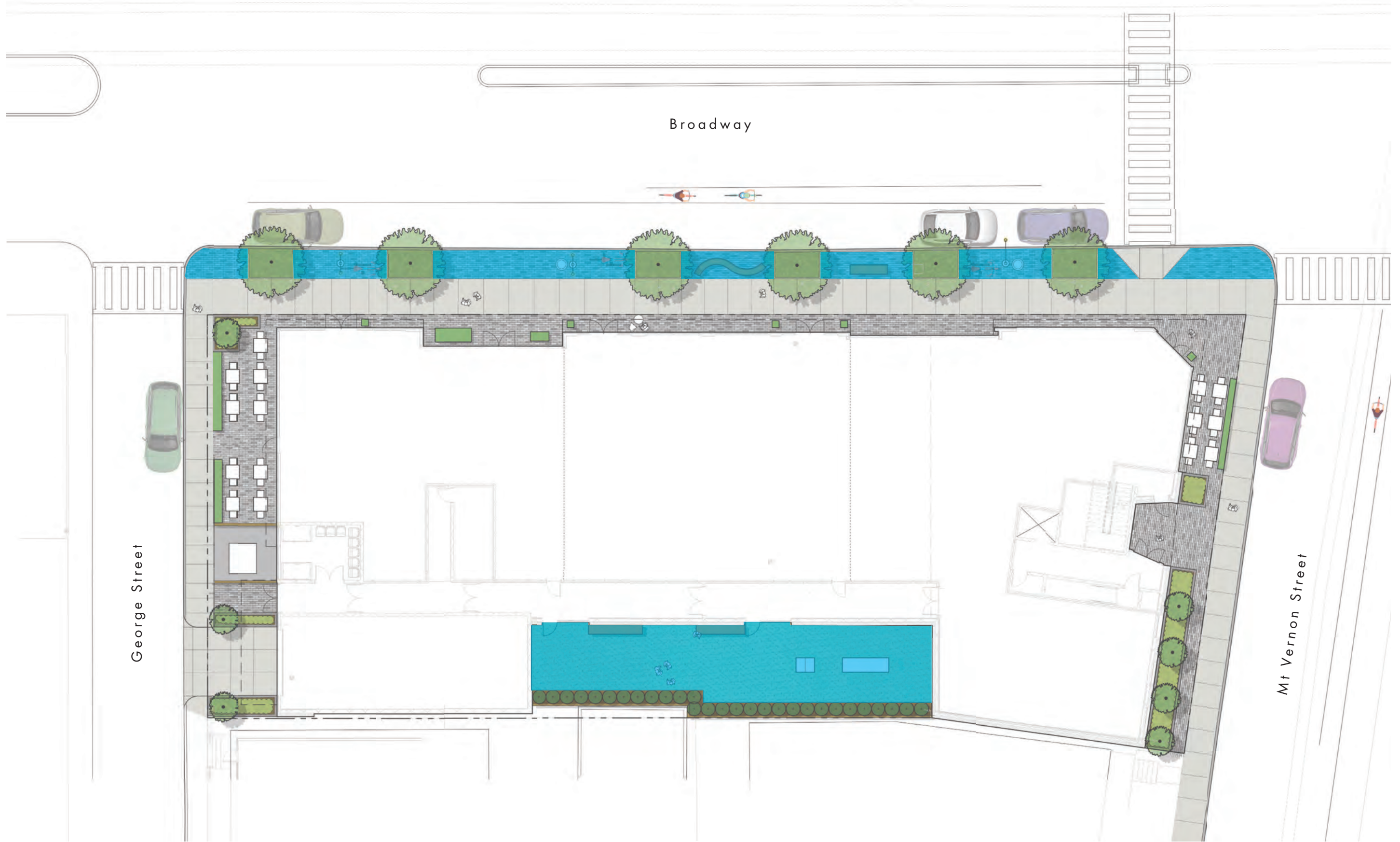


# 44 Broadway

## Design Review - Landscape Site Plan

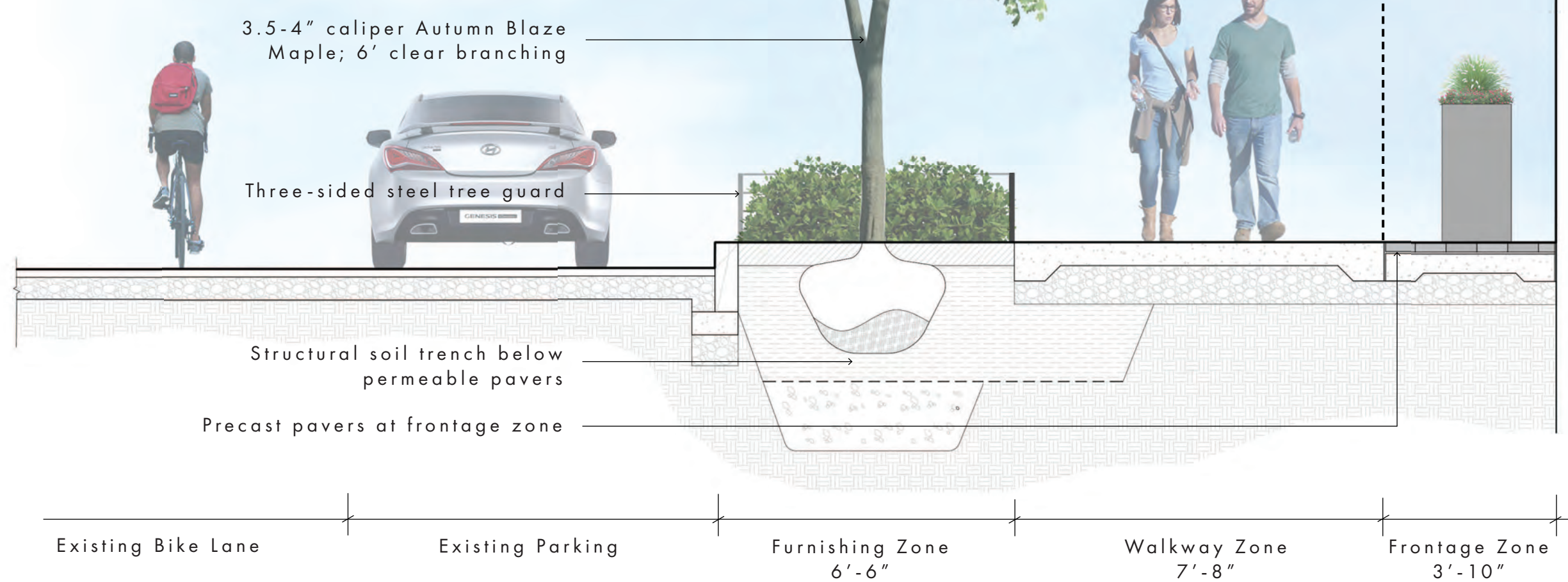
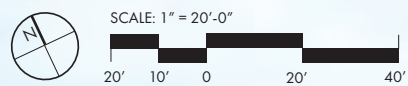
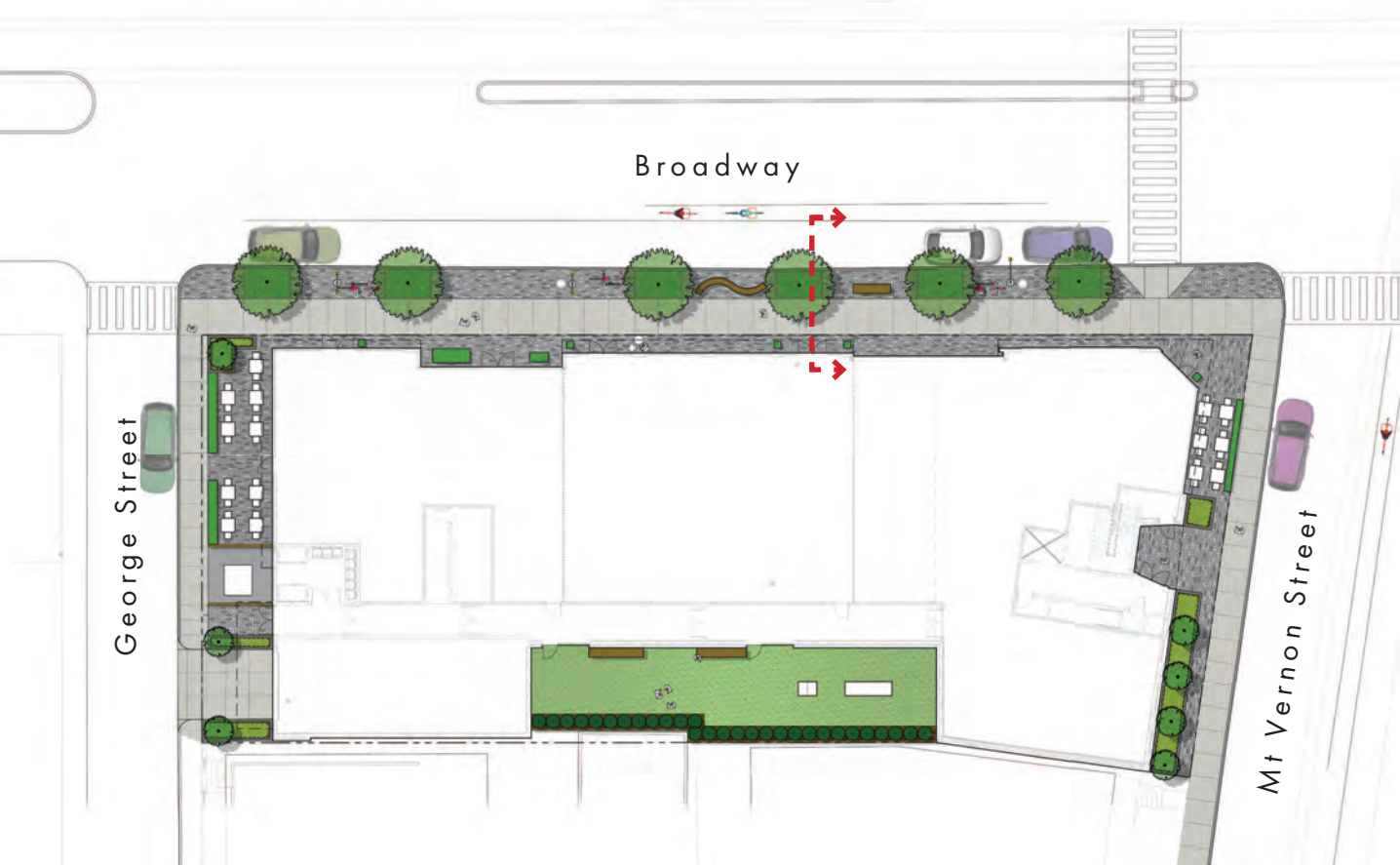




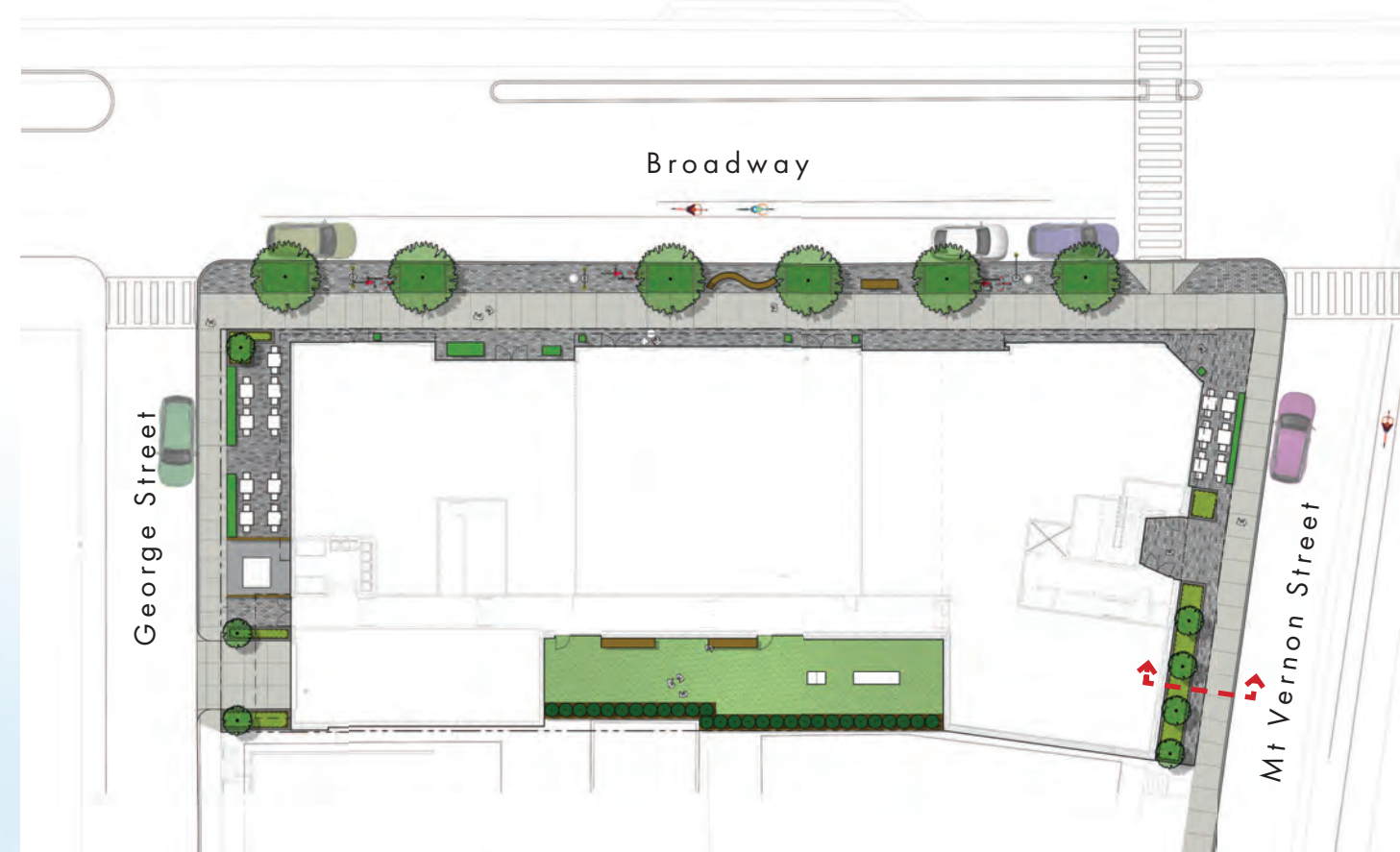
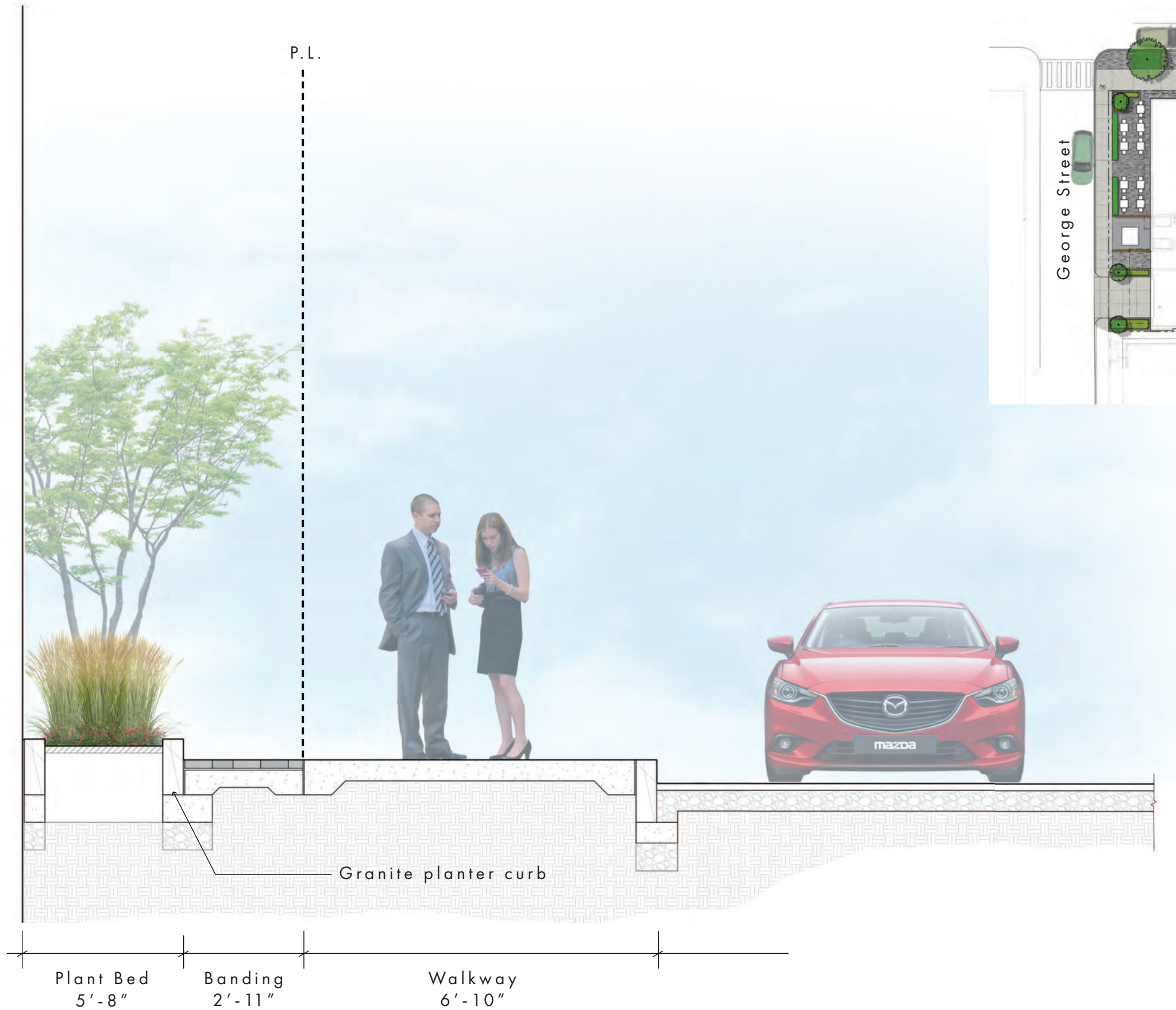


Permeable pavers at the furnishing zone will help provide water to the structural soil area and encourage root growth.

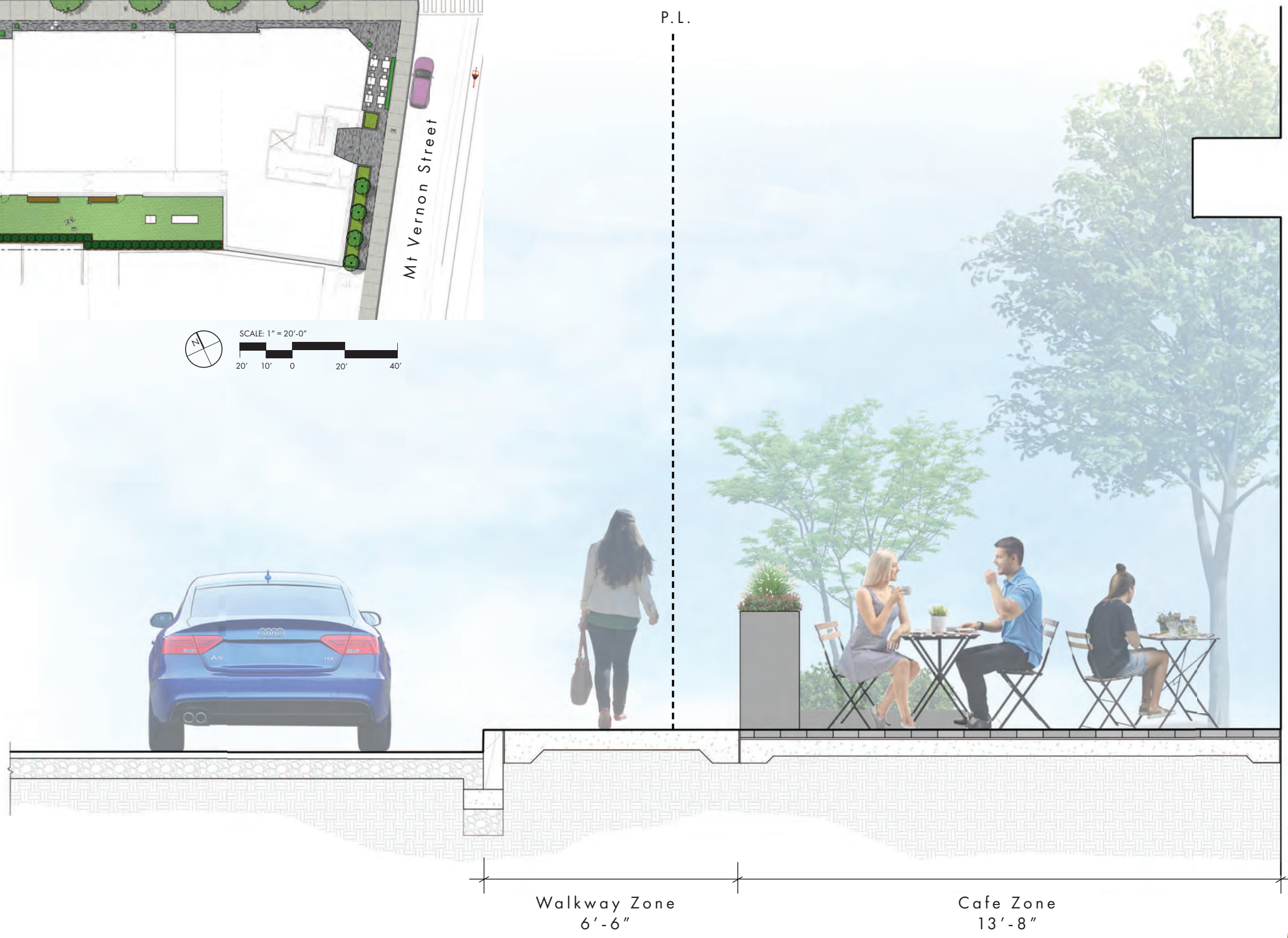
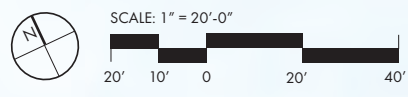
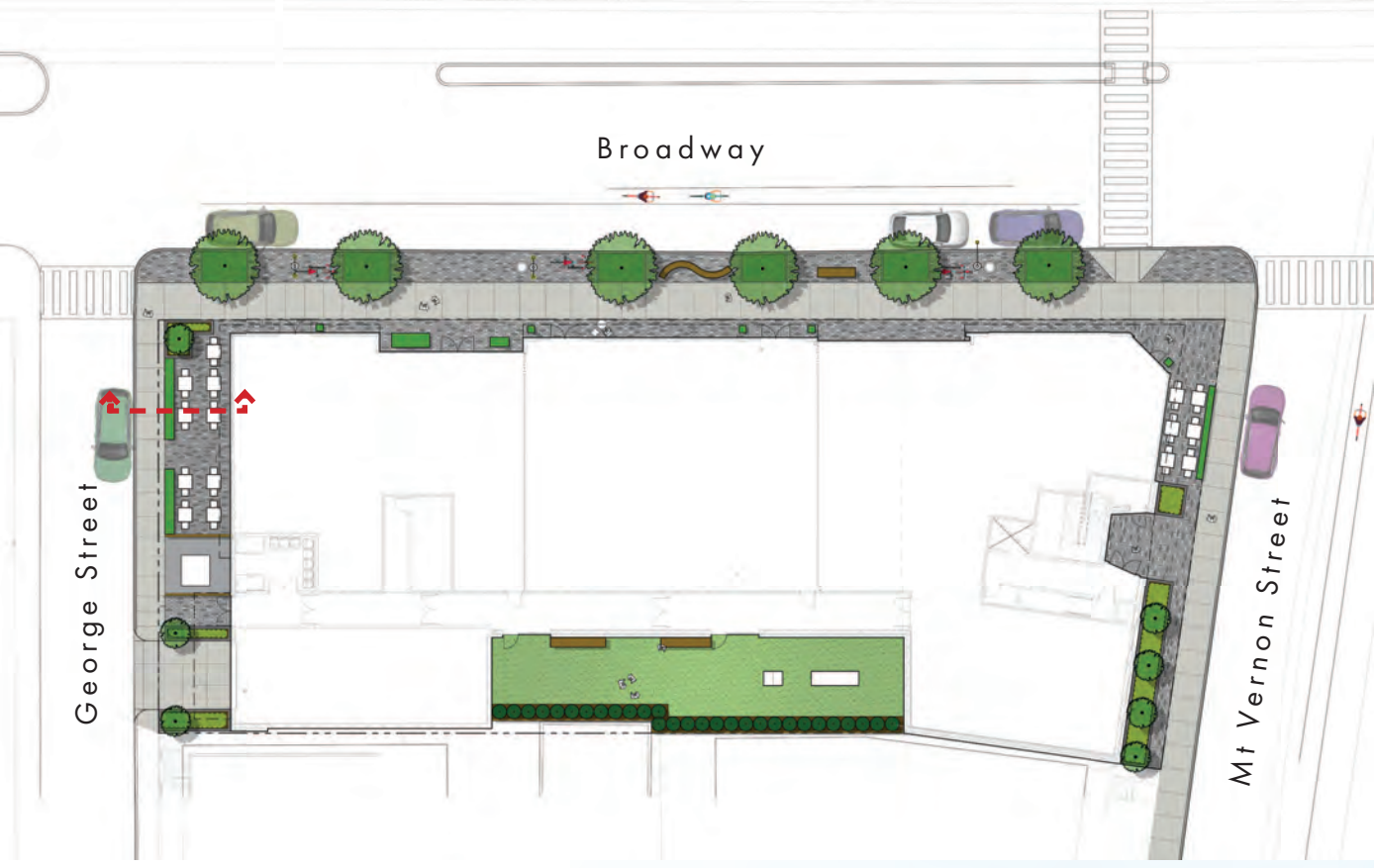




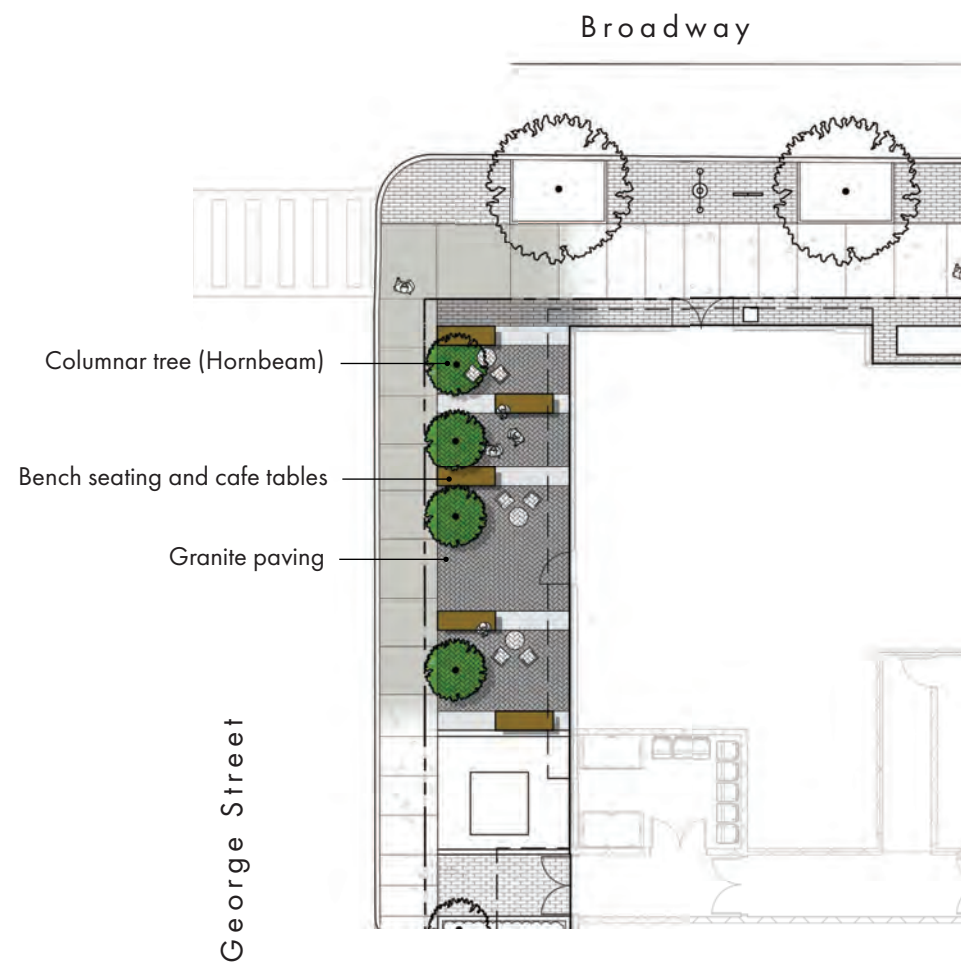




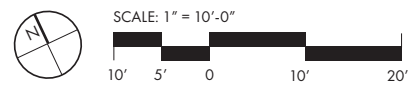








Alternate 1 - Linear Park



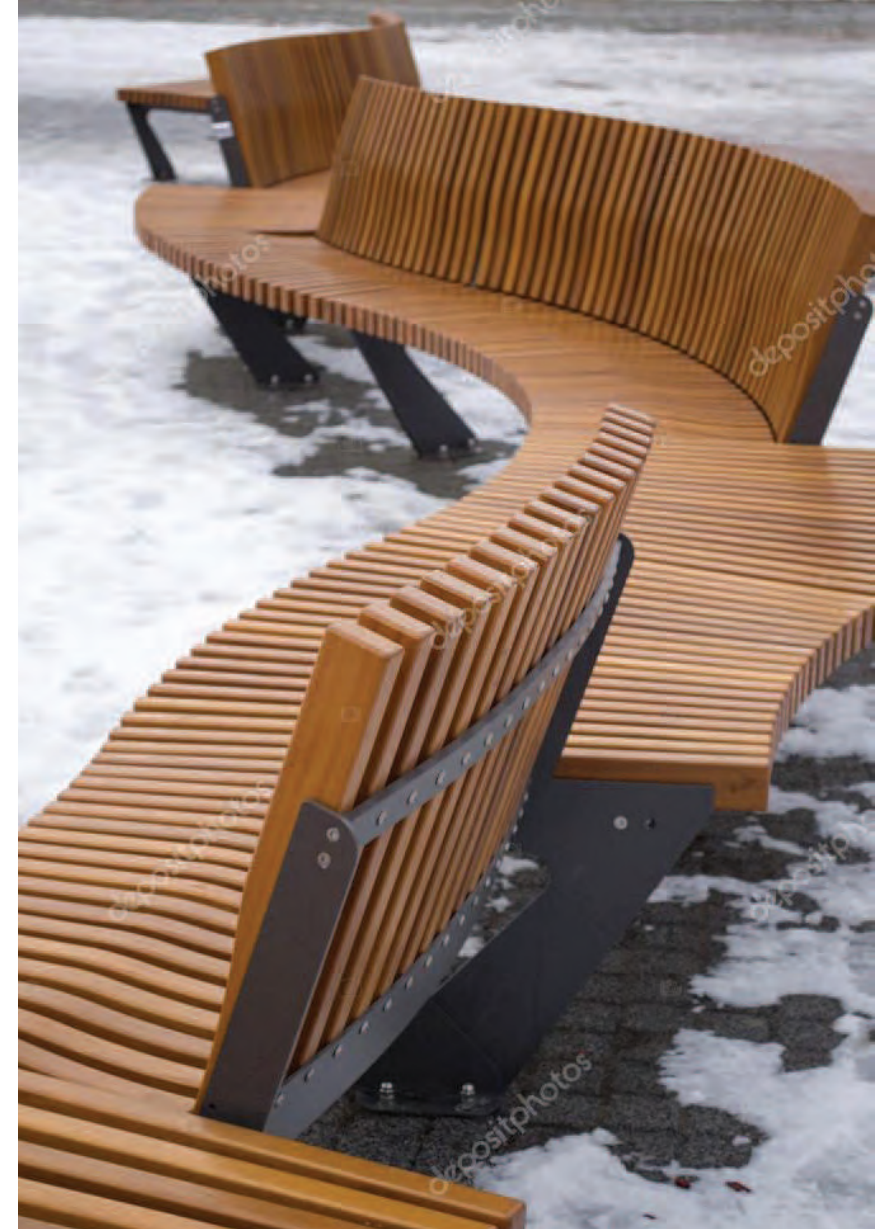
Alternate 2 - Pop Up Container Space







Paver Blend



Bike Rack in Permeable Pavers



Wood privacy fence



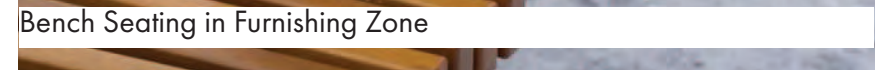
Three-sided tree guard (Somerville ZO)



Dog Run



Dog Run



Bench Seating in Furnishing Zone



Movable Planters at Cafe Seating





Serviceberry



Native Dogwood



Autumn Blaze Maple



Panicum



New England Aster



Grow Low Sumac (fall)



Hornbeam at Dog Run



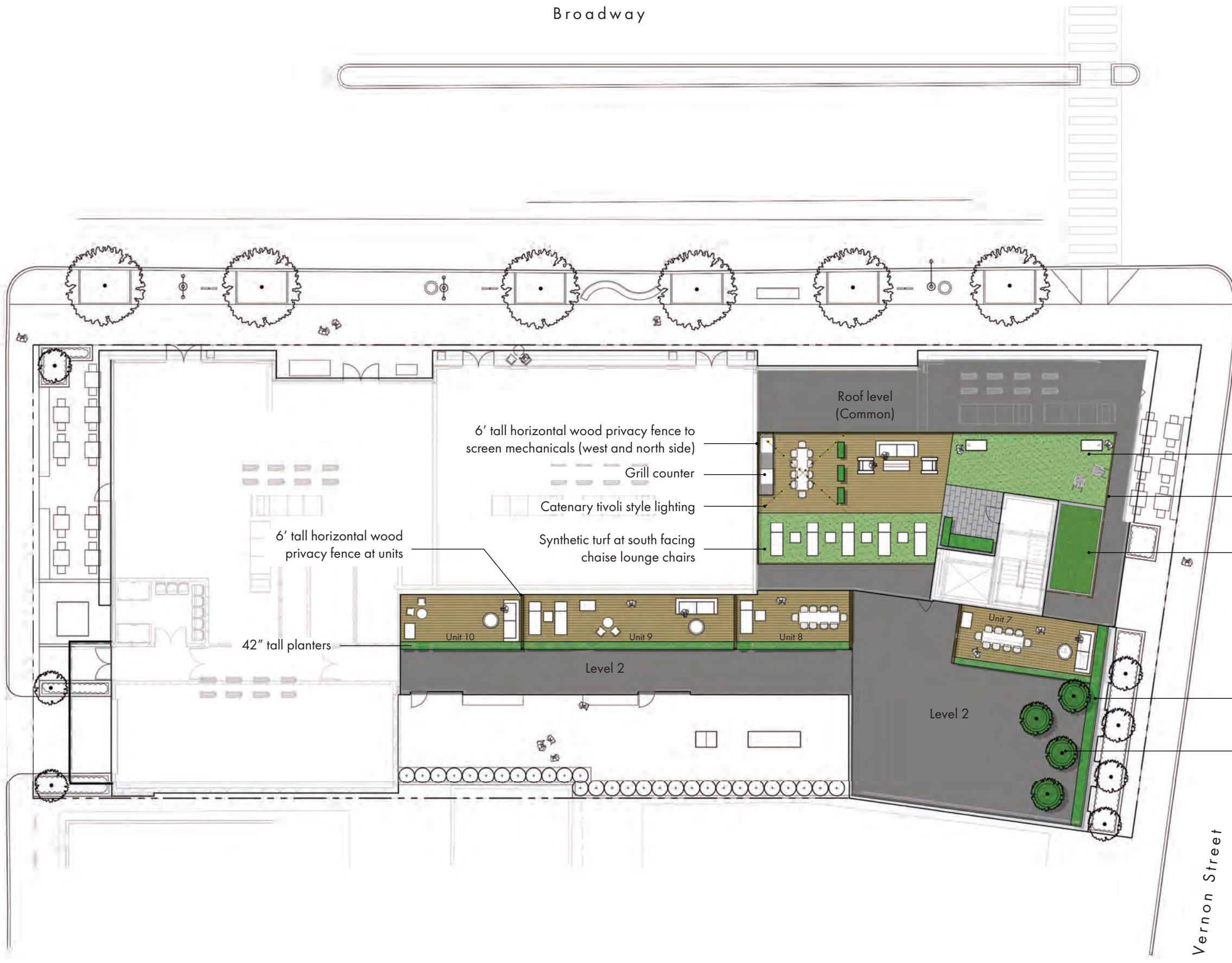
Movable Planters at Cafe Seating



Broadway

George Street

Mt Vernon Street



6' tall horizontal wood privacy fence to screen mechanicals (west and north side)

Grill counter

Catenary tivolli style lighting

Synthetic turf at south facing chaise lounge chairs

6' tall horizontal wood privacy fence at units

42" tall planters

Roof level (Common)

Synthetic turf for games, exercise class, and flex space

42" parapet railing on east side

Sedum green roof

Planter adjacent to parapet (spill over effect)

Flowering trees in lightweight planters with uplighting for dramatic effect visible from streetscape



SCALE: 1" = 10'-0"





