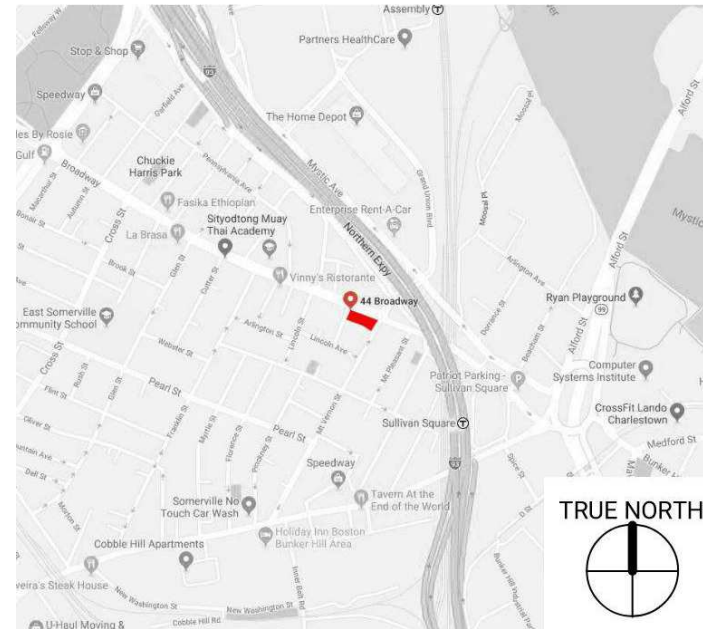


| DRAWING LIST | |
|----------------------------|--------------------------------------|
| SHEET NUMBER | SHEET NAME |
| GENERAL | |
| G-000 | COVER SHEET |
| LANDSCAPE | |
| L1 | EXISTING CONDITIONS |
| L2 | EXISTING TREE OVERLAY |
| L3 | LANDSCAPE SITE PLAN |
| L4 | PERMEABLE PAVING DIAGRAM |
| L5 | LANDSCAPE PLANTING PLAN |
| L6 | SECTION A-A' ALONG BROADWAY |
| L7 | LANDSCAPE MATERIALS |
| L8 | PLANTING CONCEPT |
| L9 | LANDSCAPE DETAILS |
| ARCHITECTURAL | |
| A-100 | EXISTING CONDITIONS PLAN |
| A-102 | ARCHITECTURAL SITE PLAN |
| A-103 | DIMENSIONAL TABLE |
| A-104 | DIMENSIONAL ANALYSIS |
| A-105 | ZONING & FACADE BUILD-OUT |
| A-106 | GROSS FLOOR AREA |
| A-107 | OUTDOOR AMENITY AREA |
| A-108 | SHADOW STUDY |
| A-109 | SHADOW STUDY |
| A-110 | GARAGE PLAN |
| A-111 | LEVEL 1 PLAN |
| A-112 | LEVEL 2 PLAN |
| A-113 | LEVEL 3 PLAN |
| A-114 | LEVEL 4 PLAN |
| A-115 | LEVEL 5 PLAN |
| A-116 | LEVEL 6 PLAN |
| A-117 | ROOF PLAN |
| A-118 | SITE LIGHTING |
| A-201 | SITE CONTEXT |
| A-202 | REFERENCE IMAGERY |
| A-203 | REFERENCE IMAGERY |
| A-204 | BUILDING ELEVATIONS |
| A-205 | BUILDING ELEVATIONS |
| A-206 | PERCENTAGE OF GLAZING |
| A-301 | PERSPECTIVE LOOKING WEST ON BROADWAY |
| A-302 | PERSPECTIVE LOOKING EAST ON BROADWAY |
| A-303 | AXON AERIAL |
| Total Number of Sheets: 37 | |

LOCUS MAP



RENDERING



UNIT MIX

2/18/2022

40 BROADWAY STREET

| Units | STUDIO | JR 1BR | 1BR | 1BR+ | 2BR | 3BR | Total per Floor | GSF | RESIDENTIAL NSF |
|-----------|--------|--------|-----|------|-----|-----|-----------------|---------------|-----------------|
| Garage | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 14,239 | |
| 1st Floor | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 13,899 | 9,709 SF Retail |
| 2nd floor | 6 | 7 | 3 | 0 | 1 | 3 | 20 | 15,282 | 13,409 |
| 3rd floor | 6 | 7 | 3 | 0 | 1 | 3 | 20 | 15,282 | 13,409 |
| 4th floor | 7 | 0 | 4 | 0 | 2 | 2 | 15 | 12,564 | 9,700 |
| 5th floor | 5 | 0 | 6 | 1 | 1 | 0 | 13 | 9,264 | 7,558 |
| 6th floor | 5 | 0 | 6 | 1 | 1 | 0 | 13 | 9,264 | 7,558 |
| | | | | | | | 81 | 89,794 | 51,634 |

| | | | | | | |
|--------------------|-----------|-------|------|------|------|---|
| total sf | 29 | 14 | 22 | 2 | 6 | 8 |
| | 0 | 0 | 0 | 0 | 0 | 0 |
| | 29 | 36 | 2 | 6 | 8 | |
| | 35.8% | 44.4% | 2.5% | 7.4% | 9.9% | |
| Total Units | 81 | | | | | |

100.00%

637.46 NSF

| Parking | | Spaces |
|---------|-----------|--------|
| Surface | 0 | |
| Garage | 26 | |
| | 26 | |

ARCHITECT:

ICON ARCHITECTURE
101 SUMMER STREET, 5TH FL
BOSTON, MA 02110

LANDSCAPE ARCHITECT:

MICHAEL D'ANGELO LANDSCAPE ARCHITECTURE
840 SUMMER STREET, SUITE 201A
BOSTON, MA 02127

44 BROADWAY

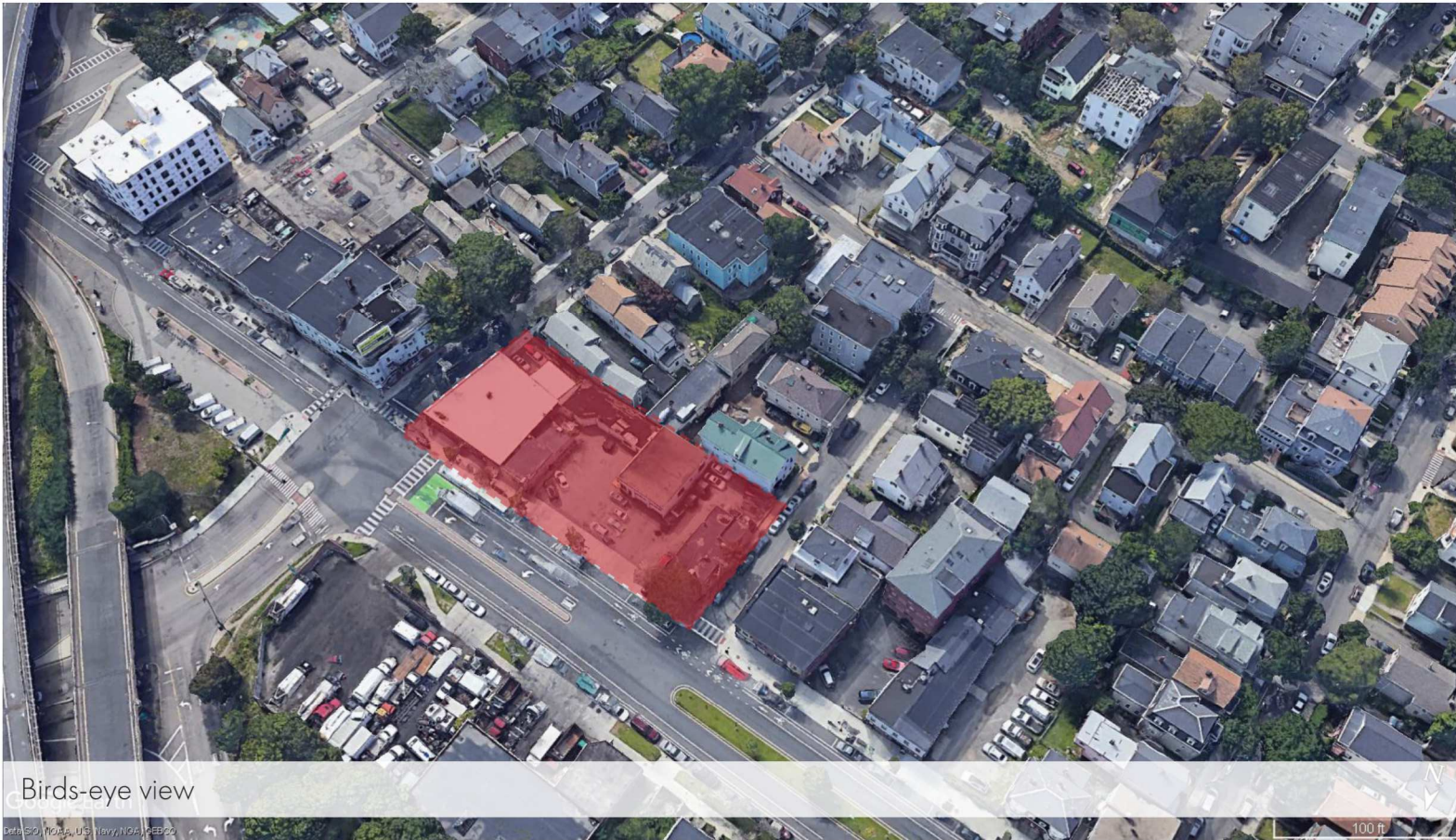
HIGHLAND DEVELOPMENT

COVER SHEET

G-000

03/07/2022

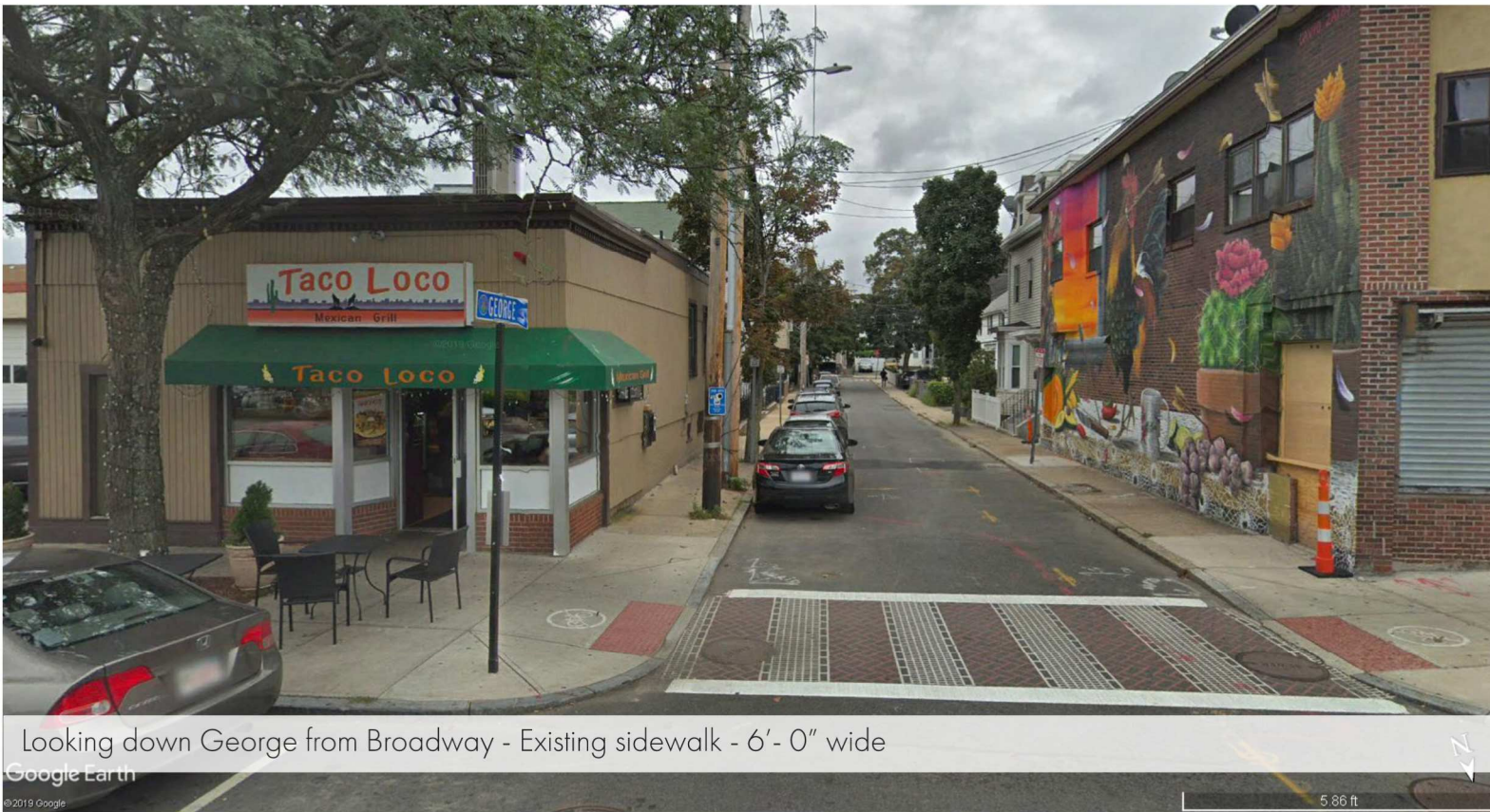




Birds-eye view



Looking down Mt. Vernon to Broadway - Existing sidewalk - 6'- 6" wide



Looking down George from Broadway - Existing sidewalk - 6'- 0" wide

Google Earth



Looking down Broadway from George - Existing sidewalk - 14'- 6" wide

Google Earth

44 Broadway

Somerville, MA

Design Review - L1 Existing Conditions

| EXISTING TREE SCHEDULE | | | | |
|------------------------|--------------|-------------|--------------------------------------|----------------|
| KEY | SPECIES | DBH/CALIPER | STATUS | NOTES/COMMENTS |
| EX TREE 1 | NORWAY MAPLE | 12" DBH | TREE TO BE REMOVED | |
| EX TREE 2 | HONEYLOCUST | 20" DBH | PRESERVE AND PROTECT. TREE TO REMAIN | |
| EX TREE 3 | SIBERIAN ELM | 6" DBH | PRESERVE AND PROTECT. TREE TO REMAIN | |
| EX TREE 4 | SIBERIAN ELM | 6" DBH | PRESERVE AND PROTECT. TREE TO REMAIN | |
| EX TREE 5 | SIBERIAN ELM | 6" DBH | PRESERVE AND PROTECT. TREE TO REMAIN | |
| EX TREE 6 | SIBERIAN ELM | 6" DBH | PRESERVE AND PROTECT. TREE TO REMAIN | |

ALL EXISTING AND PROPOSED TREES TO BE REVIEWED BY CITY ARBORIST.

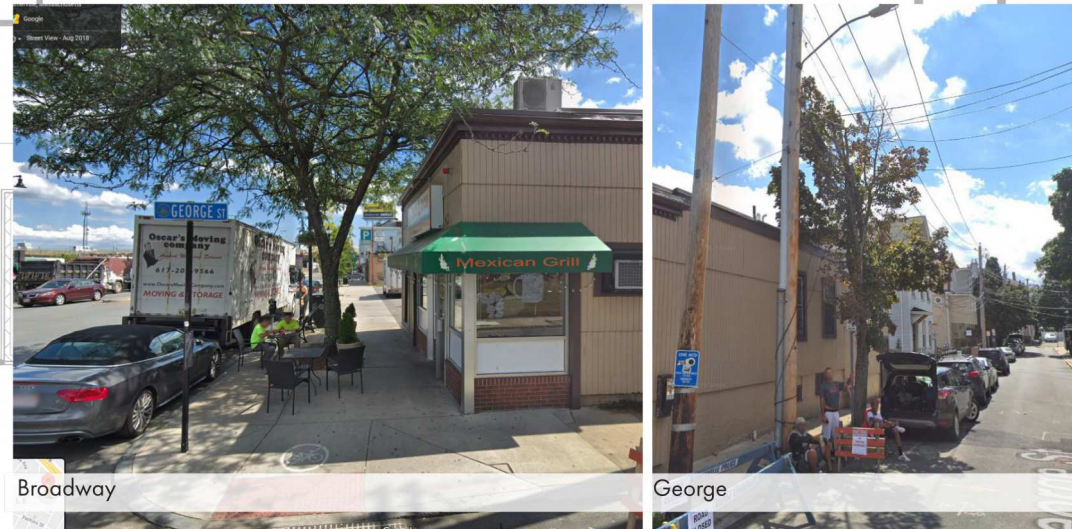
EX TREE 2 - 18" DBH HONEYLOCUST
EXISTING TREE TO REMAIN AND BE PROTECTED PER CITY OF SOMERVILLE

EX. TREE 3 - 6" DBH SIBERIAN ELM
EXISTING TREE TO REMAIN AND BE PROTECTED PER CITY OF SOMERVILLE

EX TREE 4 AND 5 - 6" DBH SIBERIAN ELM (2)
TREES TO REMAIN AND BE PROTECTED PER CITY OF SOMERVILLE

EX TREE 6 - 6" DBH SIBERIAN ELM
EXISTING TREE TO REMAIN AND BE PROTECTED

EX TREE 1 - 12" DBH NORWAY MAPLE
TO BE REMOVED:
EXISTING TREE IS SEVERELY DAMAGED, TOUCHING THE POWER LINES; SIDEWALK IS TOO NARROW TO SUPPORT A NEW TREE (ZONING ORDINANCE CALLS FOR 6' CLEAR WALKWAYS)



Broadway

George

SIDEWALK IS TOO NARROW TO SUPPORT NEW STREET TREES (ZONING ORDINANCE CALLS FOR 6' CLEAR WALKWAYS)

TREE PROTECTION SPECIFICATIONS:

THE PURPOSE OF THIS ITEM IS TO PREVENT DAMAGE TO BRANCHES, STEMS AND ROOT SYSTEMS OF EXISTING INDIVIDUAL TREES AS WELL AS SHRUBS AND OTHER QUALITY VEGETATION TO REMAIN, AND TO ENSURE THEIR SURVIVAL. TO THE EXTENT POSSIBLE, TO AVOID SOIL COMPACTION WITHIN THE ROOT ZONE, CONSTRUCTION ACTIVITIES INCLUDING, BUT NOT LIMITED TO, VEHICLE MOVEMENT, EXCAVATION, EMBANKMENT, STAGING AND STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT OCCUR UNDERNEATH THE CANOPY (DRIP LINE) OF TREES TO REMAIN. WHERE THESE ACTIVITIES WILL OCCUR WITHIN 10 FEET (3 METERS) OF THE CANOPY OF TREES OR WHERE DIRECTED, THE CONTRACTOR SHALL TAKE THE APPROPRIATE PROTECTIVE MEASURES SPECIFIED HEREIN.

THIS ITEM SHALL BE USED WHEN CONSTRUCTION ACTIVITIES ARE LIKELY TO OCCUR WITHIN THE CANOPY OF INDIVIDUAL TREES OR WHERE THERE MAY BE ANY RISK OF DAMAGE TO TREES. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND PLANTS WITHIN AND IMMEDIATELY ADJACENT TO THE CONSTRUCTION AREA THAT ARE NOT DESIGNATED TO BE REMOVED FOR THE LENGTH OF THE CONSTRUCTION PERIOD.

SUBMITTALS: INCIDENTAL TO THIS ITEM, THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER ONE (1) COPY AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) STANDARD Z-133.1 AND A300 STANDARD PRACTICES FOR TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE, PART 1: PRUNING. THESE REFERENCES SHALL BE KEPT BY THE ENGINEER AT HIS OFFICE FOR THE LENGTH OF THE CONTRACT.

PRIOR TO START OF WORK, THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER THE NAME, CERTIFICATION NUMBER AND RESUME OF THE MASSACHUSETTS CERTIFIED ARBORIST REFERENCED HEREIN. COST FOR CERTIFIED ARBORIST FOR ALL ACTIVITIES PERTAINING TO THIS ITEM SHALL BE INCIDENTAL TO THIS ITEM.

SUBMIT ARBORISTS REPORT DOCUMENTING SITE WALK AND SUMMARIZING TREES PROTECTED (SPECIES AND QUANTITIES) AS WELL AS RECOMMENDATIONS FOR PROTECTION.

MATERIALS

FENCING FOR INDIVIDUAL PLANTS SHALL BE POLYETHYLENE FENCING OR CHAIN LINK FENCE (NEW OR USED).

STAKING FOR INDIVIDUAL TREE PROTECTION FENCING SHALL BE STEEL POSTS OR 2X4 LUMBER AS DIRECTED AND APPROVED BY THE ENGINEER.

WOOD CHIPS SHALL CONFORM TO PROVISIONS OF WOOD CHIP MULCH UNDER MATERIALS SECTION M6.04.3.

TRUNK PROTECTION SHALL BE 2X4 CLADDING, AT LEAST 8 FEET (2.4 METERS) IN LENGTH, CLAD TOGETHER WITH WIRE. ALTERNATIVE MATERIALS SHALL BE AT THE APPROVAL OF THE ENGINEER. ALTERNATIVE MATERIALS SHALL PROVIDE ADEQUATE PROTECTION FROM ANTICIPATED CONSTRUCTION ACTIVITIES AND SHALL NOT INJURE OR SCAR TRUNK. TRUNK PROTECTION SHALL INCLUDE BURLAP TO SEPARATE TRUNK CLADDING FROM BARK.

INCIDENTAL TO THIS ITEM, THE CONTRACTOR SHALL PROVIDE WATER FOR MAINTAINING PLANTS IN THE CONSTRUCTION AREA THAT WILL HAVE EXPOSED ROOT SYSTEMS FOR ANY PERIOD DURING CONSTRUCTION.

CONSTRUCTION METHODS

TO THE EXTENT POSSIBLE, TO AVOID SOIL COMPACTION WITHIN THE ROOT ZONE, CONSTRUCTION ACTIVITIES INCLUDING, BUT NOT LIMITED TO, VEHICLE MOVEMENT, EXCAVATION, EMBANKMENT, STAGING AND STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT OCCUR UNDERNEATH THE CANOPY (DRIP LINE) OF TREES TO REMAIN. WHERE THESE ACTIVITIES WILL OCCUR WITHIN 10 FEET (3 METERS) OF THE CANOPY OF TREES, THE CONTRACTOR SHALL PROVIDE INDIVIDUAL TREE PROTECTION AS SPECIFIED HEREIN.

FOR INDIVIDUAL TREE PROTECTION, THE CONTRACTOR SHALL SET POSTS AND FENCING AT THE LIMITS OF THE TREE CANOPY. WHERE CONSTRUCTION ACTIVITIES CLOSER TO THE TREES IS UNAVOIDABLE, THE CONTRACTOR SHALL TIE BRANCHES OUT OF THE WAY AND PLACE WOOD CHIPS TO A DEPTH OF 6 INCHES (150 MM) ON THE GROUND TO PROTECT THE ROOT SYSTEMS. THE CONTRACTOR SHALL WRAP THE AREA OF THE TRUNK OF THE TREE WITH BURLAP PRIOR TO ARMORING WITH 2X4 CLADDING. CLADDING FOR TREE TRUNKS SHALL EXTEND FROM THE BASE OF THE TREE TO AT LEAST 8 FEET (2.4 METERS) FROM THE BASE.

WHERE EXCAVATION WITHIN CANOPY IS UNAVOIDABLE, THE CONTRACTOR SHALL USE EQUIPMENT AND METHODS THAT SHALL MINIMIZE DAMAGE TO THE TREE ROOTS, PER RECOMMENDATIONS OF THE CERTIFIED ARBORIST. SUCH METHODS MAY REQUIRE ROOT PRUNING PRIOR TO, AS WELL AS DURING, ANY EXCAVATION ACTIVITIES.

ALL FENCING, TRUNK PROTECTION, BRANCH PROTECTION, AND WOODCHIPS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONTRACT. PROTECTIVE FENCING SHALL BE REPAIRED AND WOODCHIP MULCH REPLACED AS NECESSARY DURING THE DURATION OF THE CONTRACT AT NO ADDITIONAL COST.

1. SOME PRUNING OF ROOTS AND BRANCHES MAY BE A NECESSARY PART OF CONSTRUCTION. PRUNING WILL BE PERFORMED ON THE SAME SIDE OF THE TREE THAT ROOTS HAVE BEEN SEVERED.

THE CONTRACTOR SHALL RETAIN THE SERVICES OF A MASSACHUSETTS STATE CERTIFIED ARBORIST TO PERFORM ANY CUTTING OF LIMBS, STEM OR ROOTS OF EXISTING TREES. ALL CUTS SHALL BE CLEAN AND EXECUTED WITH AN APPROVED TOOL UNDER NO CIRCUMSTANCES SHALL EXCAVATION IN THE TREE PROTECTION AREA BE MADE WITH MECHANICAL EQUIPMENT THAT MIGHT DAMAGE THE EXISTING ROOT SYSTEMS.

ANY TREE ROOT AREA EXPOSED BY CONSTRUCTION SHALL BE COVERED AND WATERED IMMEDIATELY. EXPOSED TREE ROOTS SHALL BE PROTECTED BY DAMPENED BURLAP AT ALL TIMES UNTIL THEY CAN BE COVERED WITH SOIL.

2. WATER EACH TREE WITHIN THE CONSTRUCTION AREA WHERE WORK IS IN PROGRESS TWICE PER WEEK UNTIL THE SURROUNDING SOIL OF EACH TREE IS SATURATED FOR THE DURATION OF CONSTRUCTION ACTIVITIES.

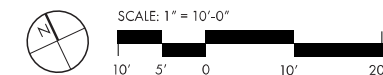
3. AFTER ALL OTHER CONSTRUCTION ACTIVITIES ARE COMPLETE, BUT PRIOR TO FINAL SEEDING, WOOD CHIPS, FENCING, BRANCH PROTECTION, AND TRUNK PROTECTION MATERIALS SHALL BE REMOVED AND DISPOSED OFF SITE BY THE CONTRACTOR AT NO ADDITIONAL COST.

4. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE HEALTH AND SURVIVAL OF THE EXISTING TREES IN THE IMMEDIATE VICINITY OF THE OF THE CONSTRUCTION AREA. DAMAGE THAT, IN THE ENGINEER'S OPINION, CAN BE REMEDIED BY CORRECTIVE MEASURES SHALL BE REPAIRED IMMEDIATELY. BROKEN LIMBS SHALL BE PRUNED ACCORDING TO INDUSTRY STANDARDS. WOUNDS SHALL NOT BE PAINTED. TREES OR SHRUBS THAT ARE DAMAGED IRREPARABLY SHALL, AT THE ENGINEER'S DISCRETION, BE REPLACED PER THE REQUIREMENTS OF DIVISION I OF THESE SPECIAL PROVISIONS. COST OF REPLACEMENT TREES SHALL BE BORNE BY THE CONTRACTOR FROM BARK.

INCIDENTAL TO THIS ITEM, THE CONTRACTOR SHALL PROVIDE WATER FOR MAINTAINING PLANTS IN THE CONSTRUCTION AREA THAT WILL HAVE EXPOSED ROOT SYSTEMS FOR ANY PERIOD DURING CONSTRUCTION.

44 Broadway
Somerville, MA

Design Review - L2 Existing Tree Overlay

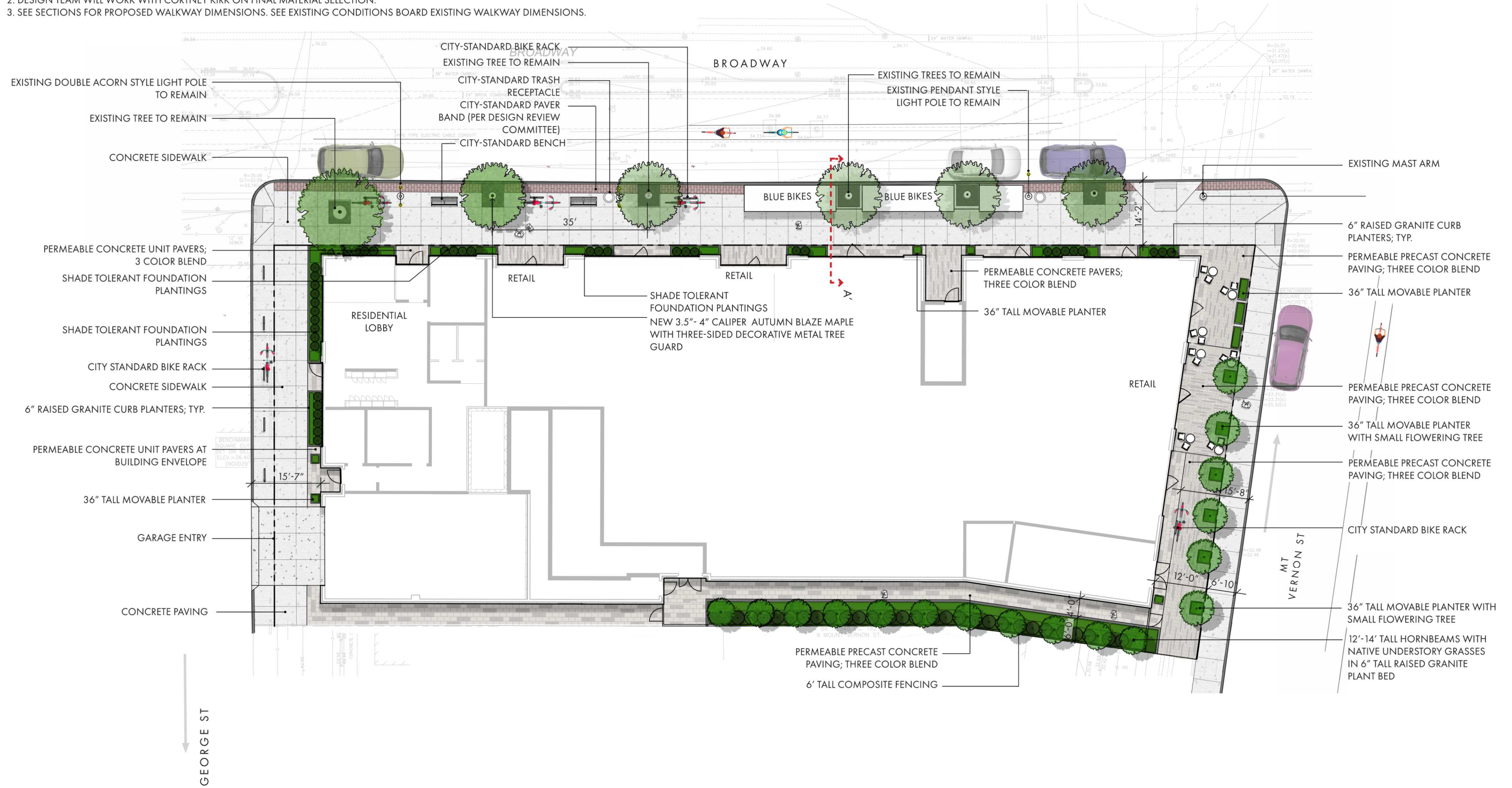


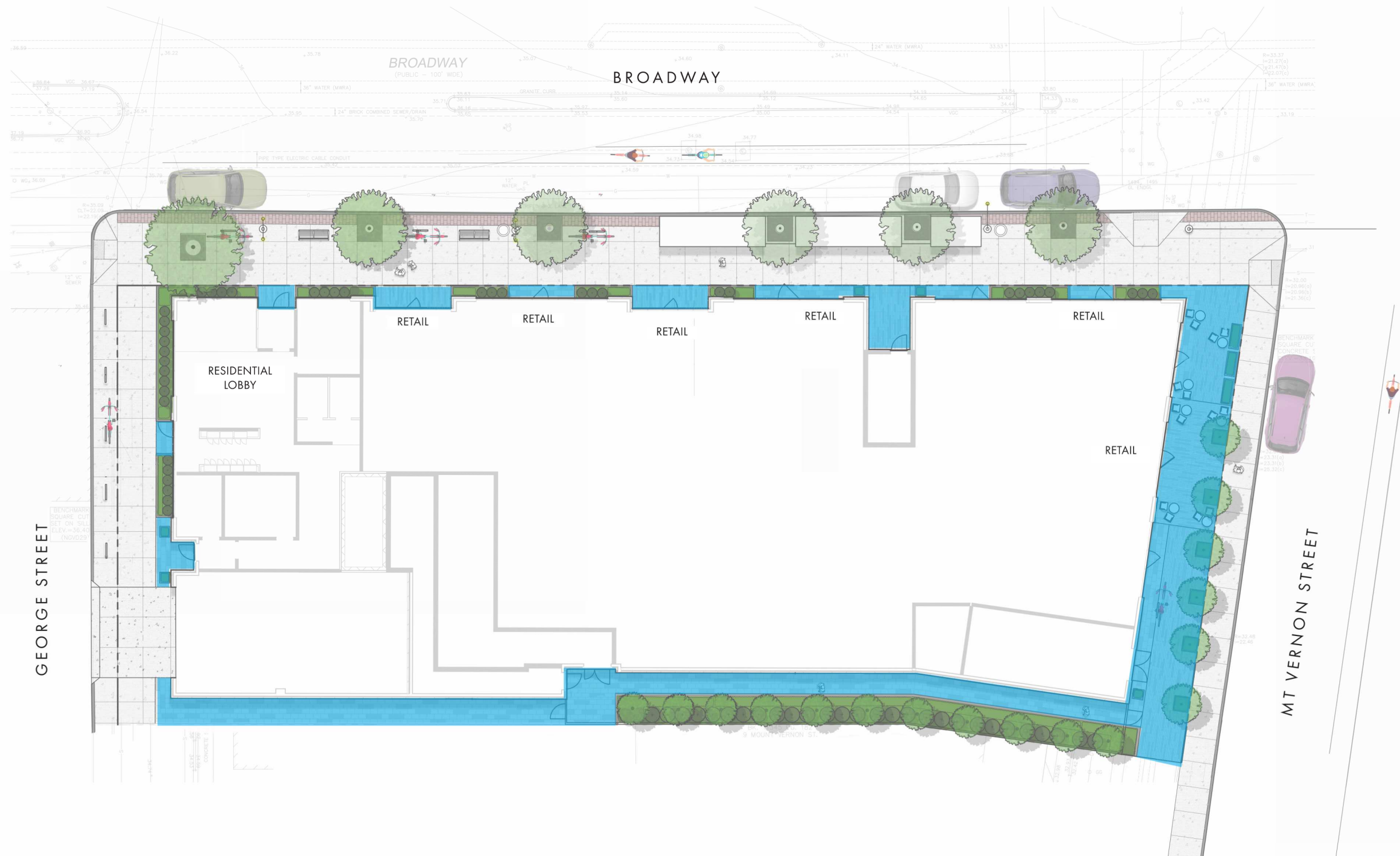
MDLA

MICHAEL D'ANGELO landscape architecture

NOTES:

1. DESIGN TEAM WILL WORK WITH THE CITY ARBORIST TO ASSESS EXISTING TREES AND REVIEW PROPOSED TREES.
2. DESIGN TEAM WILL WORK WITH CORTNEY KIRK ON FINAL MATERIAL SELECTION.
3. SEE SECTIONS FOR PROPOSED WALKWAY DIMENSIONS. SEE EXISTING CONDITIONS BOARD EXISTING WALKWAY DIMENSIONS.



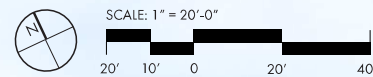
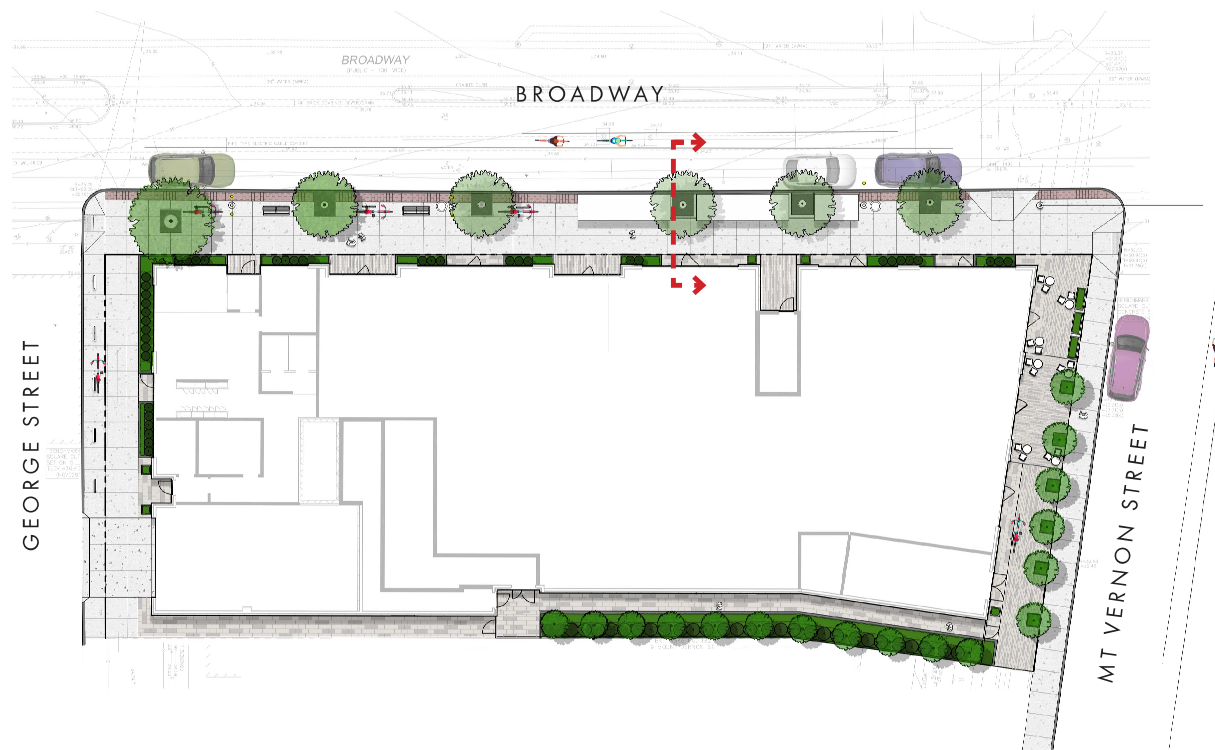


NOTES:

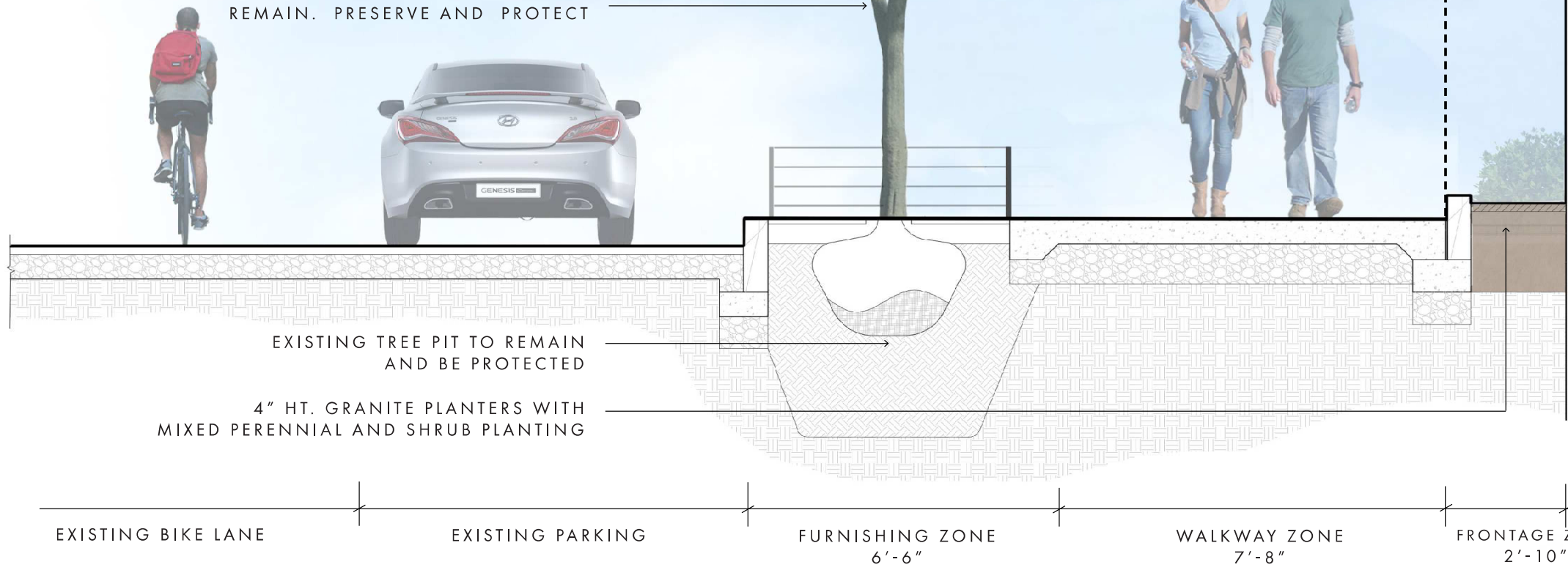
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2. DESIGN TEAM WILL WORK WITH CORTNEY KIRK ON FINAL MATERIAL SELECTION.
3. SEE SECTIONS FOR PROPOSED WALKWAY DIMENSIONS. SEE EXISTING CONDITIONS BOARD EXISTING WALKWAY DIMENSIONS.



| PLANT SCHEDULE | | | | | |
|--|------|-------------------------------|----------------------------|--------------|-------------------------|
| SYMBOL | QTY. | LATIN NAME | COMMON NAME | SIZE | NOTES |
| TREES | | | | | |
| AR | 1 | ACER RUBRUM 'AUTUMN BLAZE' | AUTUMN BLAZE RED MAPLE | 3.5"-4" CAL. | B&B, 6' CLEAR BRANCHING |
| CB | 11 | CARPINUS BETULUS 'FASTIGIATA' | COLUMNAR EUROPEAN HORNBEAM | 3.5"-4" CAL. | B&B, BRANCH TO GROUND |
| CF | 4 | CORNUS FLORIDA | FLOWERING DOGWOOD | 3.5"-4" CAL. | B&B |
| EVERGREEN SHRUBS | | | | | |
| IG | 40 | ILEX GLABRA 'SHAMROCK' | SHAMROCK INKBERRY | 3'-3.5' TALL | 36" O.C.; 5 GALLON |
| TD | 16 | TAXUS X M. 'DENSIFORMIS' | YEW | 3'-3.5' TALL | 36" O.C.; B&B |
| DECIDUOUS SHRUBS | | | | | |
| RA | 12 | RHUS AROMATICA 'GROW-LOW' | GROW-LOW FRAGRANT SUMAC | 5 GALLON | 36" O.C. |
| PERENNIALS AND ORNAMENTAL GRASSES | | | | | |
| AM | 20 | ALCHEMILLA MOLLIS | LADY'S MANTLE | 1 GAL | 18" O.C. |
| LS | 143 | LIRIOPE SPICATA | LILY TURF | 1 GAL | 18" O.C. |
| PA | 20 | PENNISETUM ALOPECURIODES | FOUNTAIN GRASS | 1 GAL | 18" O.C. |
| PV | 33 | PANICUM VIRGATUM | SWITCH GRASS | 1 GAL | 18" O.C. |
| SN | 15 | SYMPHYOTRICHUM NOVAE-ANGLIAE | NEW ENGLAND ASTER | 1 GAL | 18" O.C. |



6" DBH EXISTING SIBERIAN ELM TO REMAIN. PRESERVE AND PROTECT



EXISTING BIKE LANE

EXISTING PARKING

FURNISHING ZONE
6'-6"

WALKWAY ZONE
7'-8"

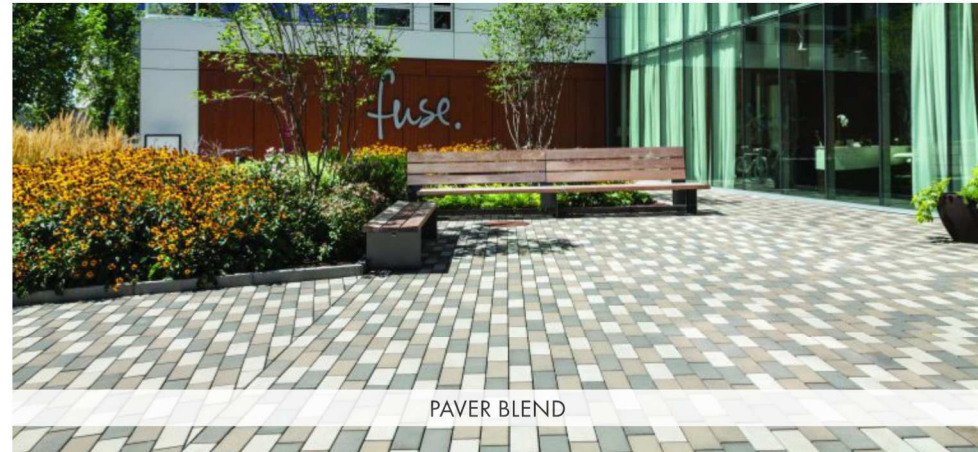
FRONTAGE ZONE
2'-10"

EXISTING TREE PIT TO REMAIN AND BE PROTECTED

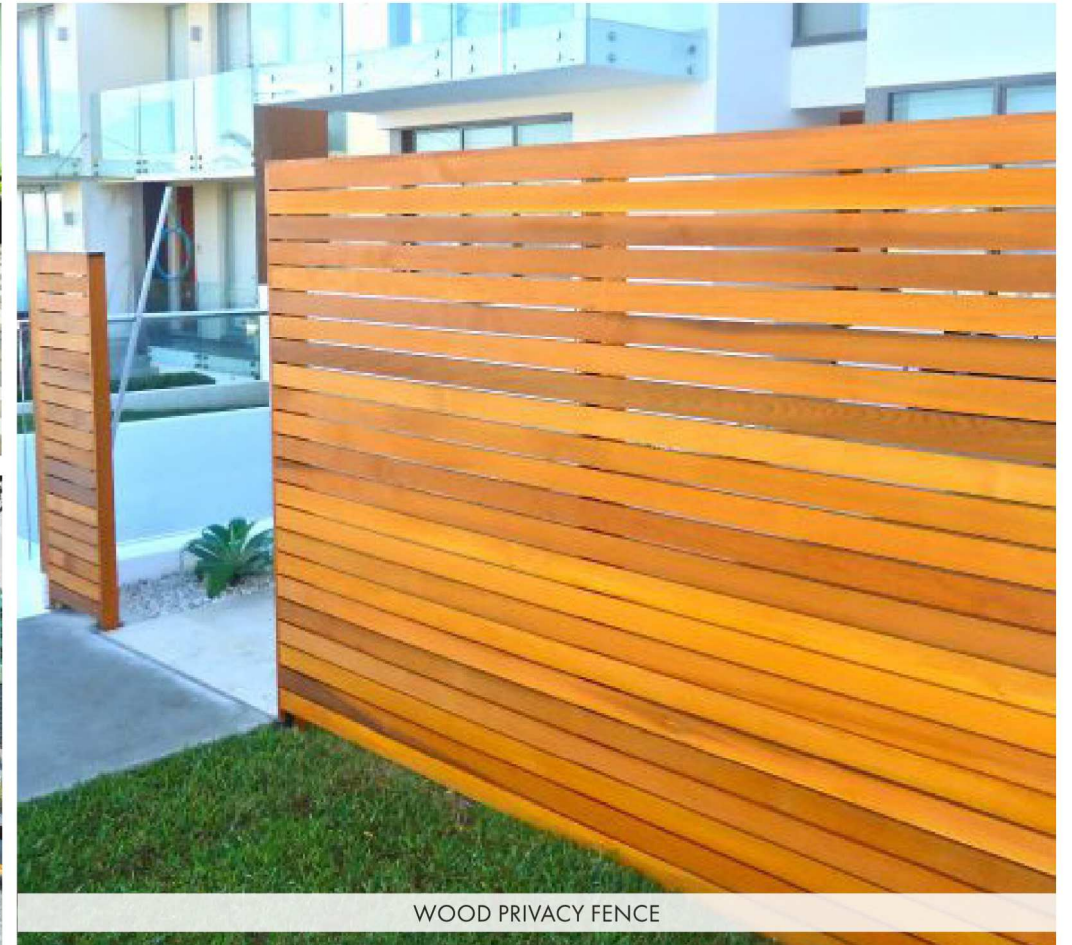
4" HT. GRANITE PLANTERS WITH MIXED PERENNIAL AND SHRUB PLANTING



PAVER BLEND



PAVER BLEND



WOOD PRIVACY FENCE



BELTWAY BIKE RACK BY CUSTOM FABRICATION INC (SOMERVILLE CITY STANDARD)



PAVER BLEND



CAST-IRON BENCH BY CUSTOM FABRICATION INC (SOMERVILLE CITY STANDARD)



THREE-SIDED TREE GUARD (SOMERVILLE ZO)



MOVABLE PLANTERS AT CAFE SEATING



AUTUMN BLAZE MAPLE



FLOWERING DOGWOOD



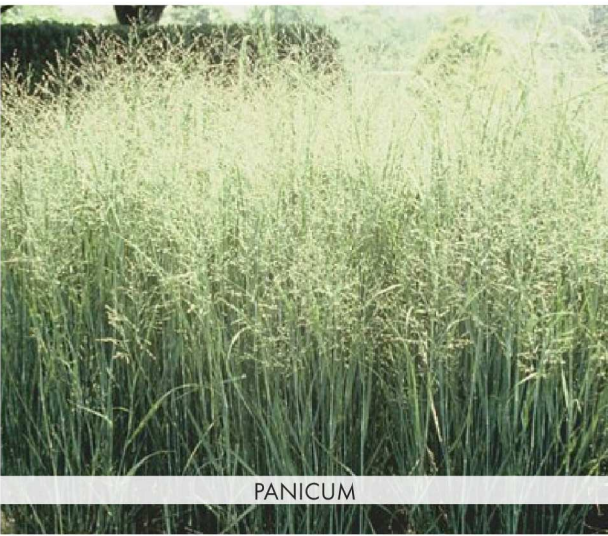
NEW ENGLAND ASTER



LADY'S MANTLE



INKBERRY



PANICUM



GROW LOW SUMAC (FALL)

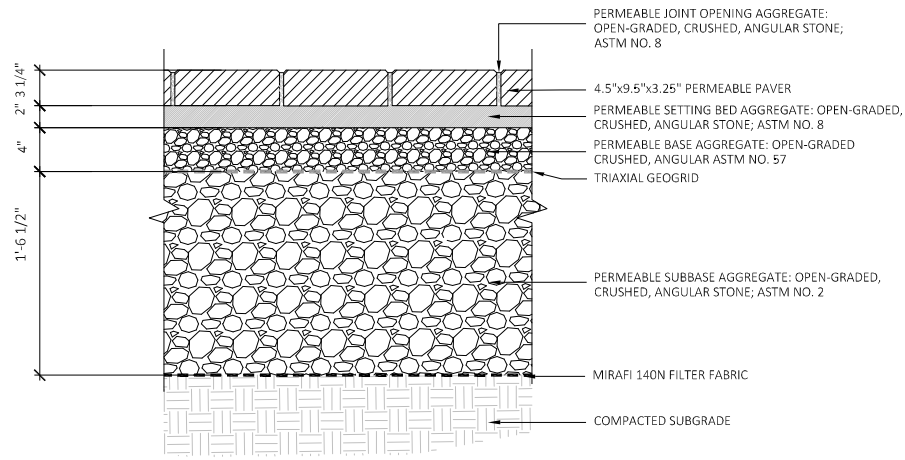


MOVABLE PLANTERS AT CAFE SEATING

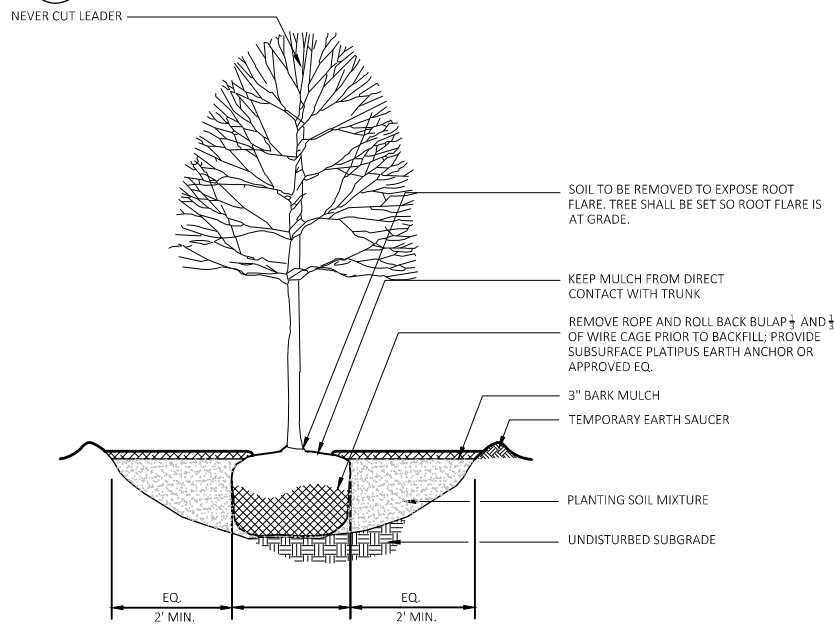


HORNBEAMS

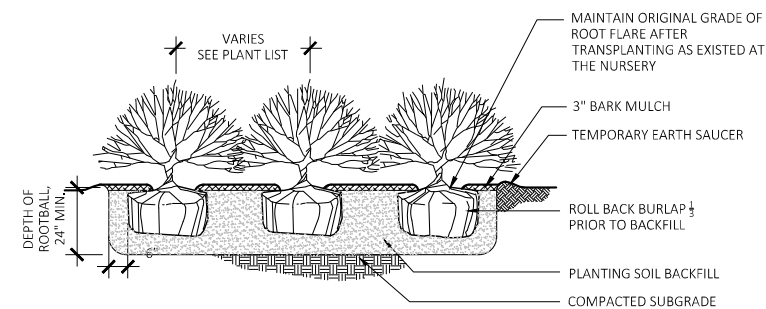




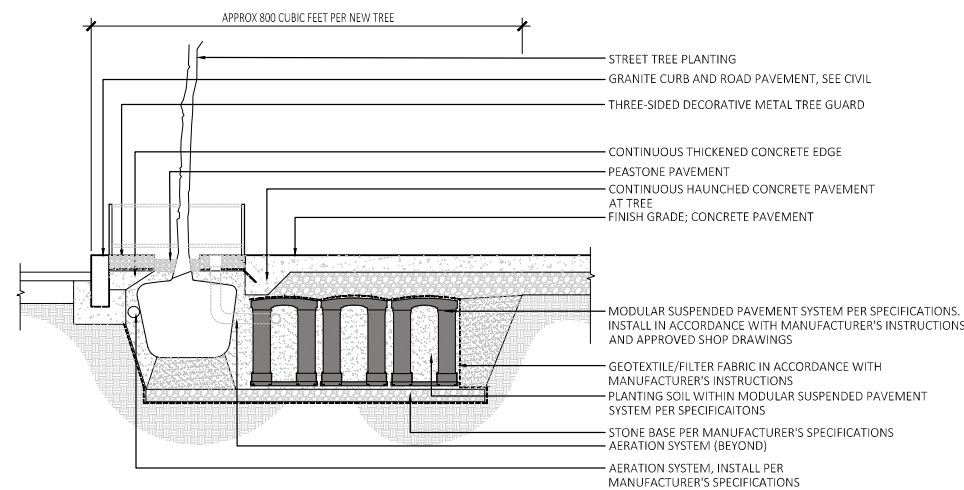
1 PERMEABLE PAVERS
SCALE: 1-1/2" = 1'-0"



2 DECIDUOUS TREE PLANTING
SCALE: N.T.S.



3 SHRUB PLANTING
SCALE: N.T.S.



4 SUSPENDED PAVEMENT SYSTEM AT TREE PLANTING
SCALE: N.T.S.

Somerville Green Score

DIRECTIONS:

1. Enter the Lot Area in square feet to the right >>>

2. Enter the area in square feet or the number of landscape elements

Area or Number

19,197

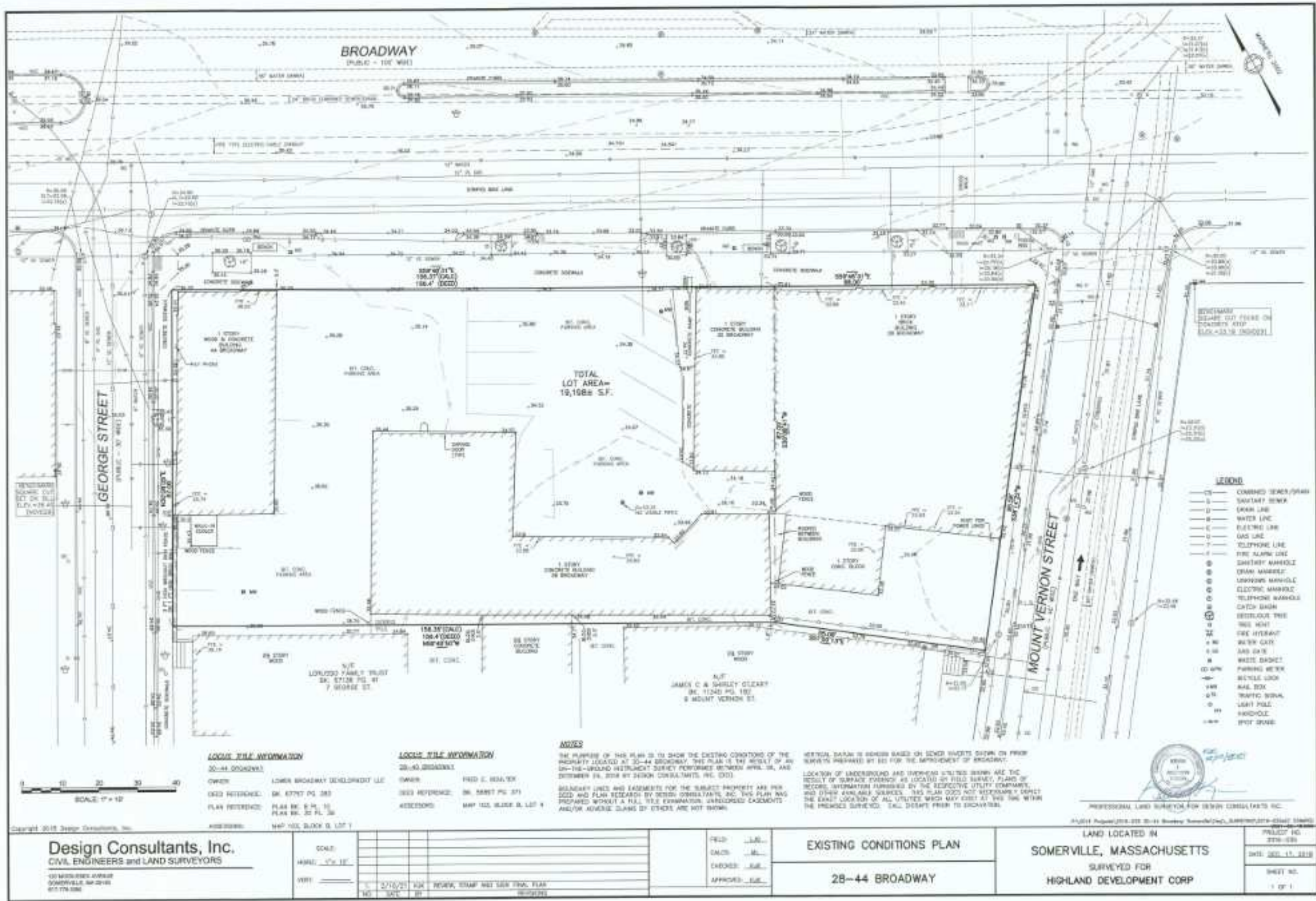
| Category | Area or Number |
|--|----------------|
| Soils | |
| Landscaped area with a soil depth less than 24 inches (enter square feet) | 0 |
| Landscaped area with a soil depth equal to or greater than 24 inches (enter square feet) | 940 |
| Pervious Paving with 6 to 24 inches of subsurface soil or gravel (enter square feet) | |
| Pervious Paving with more than 24 inches of subsurface soil or gravel (enter square feet) | 2,603 |
| Groundcovers | |
| Turf grass, mulch, and inorganic surfacing materials (enter square feet) | 0 |
| Plants | |
| Vegetation less than two (2) feet tall at maturity (enter square feet) | 435 |
| Vegetation at least two (2) feet tall at maturity (enter number of individual plants) | 16 |
| Vegetation at least two (2) feet tall at maturity (enter number of individual plants) (0.1 native) | 53 |
| Trees | |
| Small Tree (enter number of trees) (0.1 public vis) | 6 |
| Large Tree (enter number of trees) | 11 |
| Preserved Tree (enter DBH) | |
| Engineered Landscape | |
| Vegetated Wall (enter square feet) | 0 |
| Rain gardens, bioswales, and stormwater planters (enter square feet) | 0 |
| Green Roof with up to 6" of growth medium (enter square feet) | 0 |
| Green Roof with 6"-10" of growth medium (enter square feet) | 0 |
| Green Roof of 10"-24" growth medium (enter square feet) | 0 |
| Green Roof of over 24" growth medium | N/A |

| Sq Ft Credit | Multiplier | Weighted Area | Score Value |
|--|------------|---------------|-------------|
| actual sq ft | 0.3 | 0 | 0.000 |
| actual sq ft | 0.6 | 564 | 0.029 |
| actual sq ft | 0.2 | 0 | 0.000 |
| actual sq ft | 0.5 | 1301.4 | 0.068 |
| actual sq ft | 0.1 | 0 | 0.000 |
| actual sq ft | 0.2 | 87 | 0.005 |
| 12 | 0.3 | 57.6 | 0.003 |
| 12 | 0.4 | 254.4 | 0.013 |
| 50 | 0.6 | 180 | 0.009 |
| 450 | 0.6 | 2970 | 0.155 |
| 65 | 0.6 | 0 | 0.000 |
| actual sq ft | 0.1 | 0 | 0.000 |
| actual sq ft | 1.0 | 0 | 0.000 |
| actual sq ft | 0.1 | 0 | 0.000 |
| actual sq ft | 0.4 | 0 | 0.000 |
| actual sq ft | 0.6 | 0 | 0.000 |
| Calculate as if soils, groundcovers, plants, and trees | | | |

Green Score = 0.282

Required Score: 0.35
Target Score: 0.40
Actual Green Score: 0.282

| Green Score District Requirements | | | |
|-----------------------------------|-----------|----------------|-----------------|
| NR & UR | MR3 & MR4 | MR5, MR6, & HR | FAB, CC, CB, CI |
| 0.35 | 0.25 | 0.20 | 0.20 |
| 0.40 | 0.3 | 0.25 | - |
| 0.282 | 0.282 | 0.282 | 0.282 |



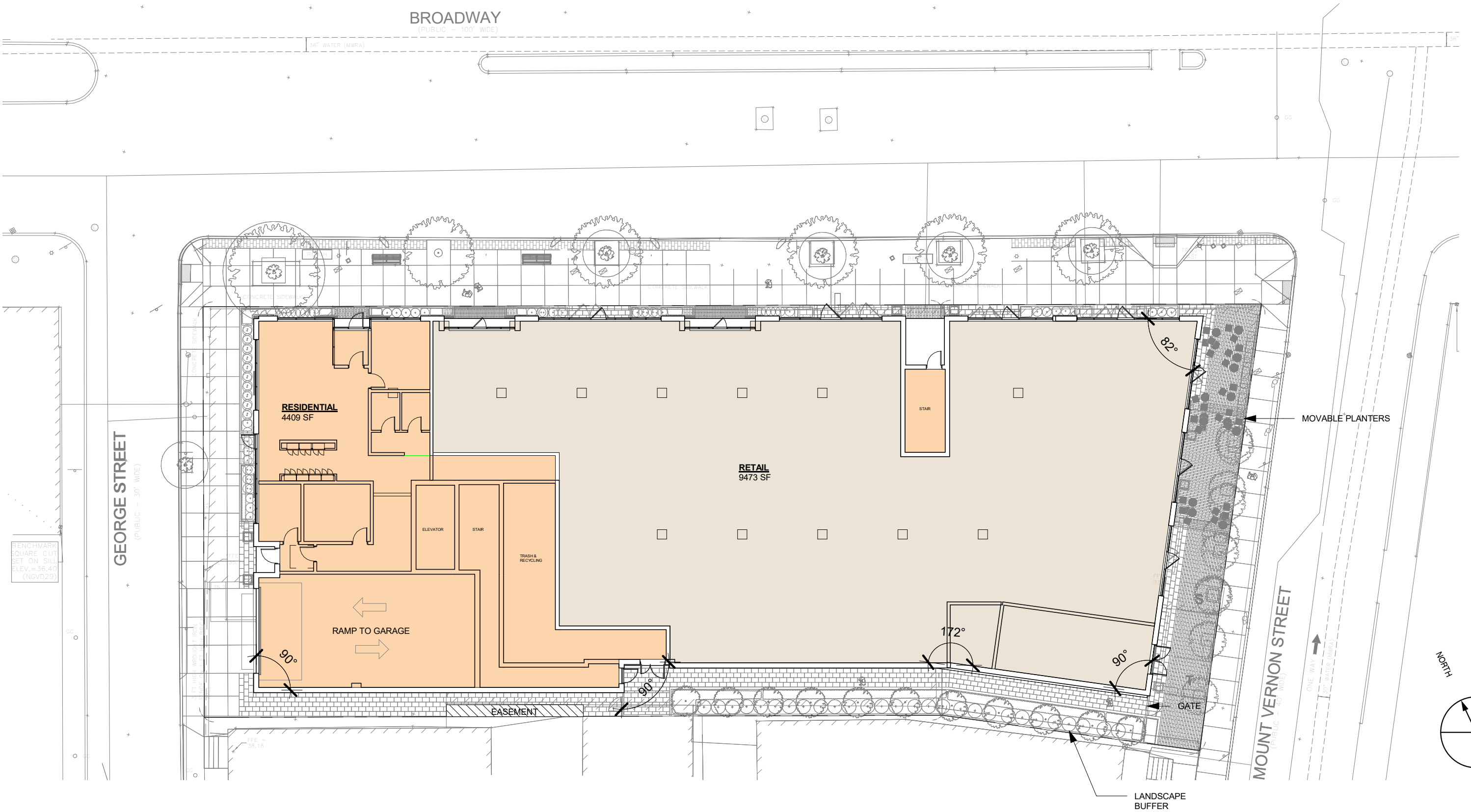
44 BROADWAY

HIGHLAND DEVELOPMENT

EXISTING CONDITIONS PLAN

A-100
03/07/2022





44 BROADWAY

HIGHLAND DEVELOPMENT

SCALE: 1" = 20'-0"

ARCHITECTURAL SITE PLAN

A-102

03/04/2022



| MR6 - General Building Type | Allowed | Existing | Proposed | Comments/Notes |
|--|-----------|-------------|--------------------|--|
| Use | Multiple | Multiple | Residential/Retail | Proposed use conforms with allowed |
| Building Type | | | | Proposed use conforms with allowed |
| Lot Dimensions | | | | |
| Lot Width (Min.) | 30 ft | 224.4 ft | 222.4 ft | Proposed conforms |
| Lot Coverage | | | | |
| Lot Coverage % | 100% | 52.60% | 78.70% | Proposed conforms |
| Lot Coverage in Area | 19,197 SF | 10,101.1 SF | 15,113 SF | Proposed conforms |
| Green Score | | | | |
| Minimum | 0.2 | 0 | 0.282 | Proposed conforms; see Landscape plan for Calculation |
| Ideal | 0.25 | 0 | 0.282 | Proposed conforms; see Landscape plan for Calculation |
| Open Space % | 15% | 0% | 15.52% | 2,979 SF Landscape area at grade along |
| Building Setbacks | | | | |
| Primary Front Setback Min/Max | 2-15 ft | .3 ft | 2 ft | Proposed conforms with allowed |
| Secondary Front Setback Mount Vernon Min/Max | 2-15 ft | .0 ft | 4 ft | Proposed conforms with allowed |
| Secondary Front Setback George St Min/Max | 2-15 ft | .0 ft | 4 ft | Proposed conforms with allowed |
| Side Setback (not abutting NR) | .0 ft | .6 ft | 5 ft | Proposed conforms with allowed |
| Side Setback (abutting NR 1st-3rd story) | 10 ft | NA | 10 ft | Proposed conforms with allowed |
| Side Setback (abutting NR 4st-6rd story) | 30 ft | NA | 30 ft | Proposed conforms with allowed |
| Parking Setbacks | | | | |
| Parking Setbacks (NA) | NA | NA | NA | No surface parking proposed |
| Main Massing | | | | |
| Building Width (max) | 200 ft | 68 ft | 199'-9" | Proposed conforms with allowed |
| Facade Build Out | | | | |
| Primary Front (Broadway) | 80% | 51% | 89% | Proposed conforms with allowed |
| Secondary Front (Mt. Vernon) | 65% | 69% | 85% | Proposed conforms with allowed |
| Secondary Front (George) | 65% | 66% | 92% | Proposed conforms with allowed |
| Floor Plate (max) | 30,000 SF | 10,101.1 SF | 15,113 SF | Proposed conforms with allowed |
| Ground Story Height (min.) | 18 ft | 13 ft | 18 ft | Proposed conforms with allowed |
| Story Height (min.) | 10 ft | NA | 10 ft | Proposed conforms with allowed |
| Number of Stories (min/max) | 3 / 6 | 1 | 6 | Proposed conforms with allowed |
| Step-back Façade, 5-6th Story (min.) | 10 ft | NA | 10 ft | Proposed conforms with allowed |
| Building Height | 80' | NA | 70' | Proposed conforms with allowed |
| Roof Type | Flat | NA | Flat | All mechanical equipment and screens will be under 10' in height |
| Façade Composition | | | | |
| Primary Ground Story Fenestration (min) Broadway | 70% | NA | 75% | Proposed conforms with allowed |
| Primary Upper Story Fenestration (min/max) Broadway | 15% / 50% | NA | 29% | Proposed conforms with allowed |
| Secondary Ground Story Fenestration (min) Mt. Vernon | 15% / 70% | NA | 55% | Proposed conforms with allowed |
| Secondary Upper Story Fenestration (min/max) Mt. Vernon | 15% / 50% | NA | 32% | Proposed conforms with allowed |
| Secondary Ground Story Fenestration (min) George | 15% / 70% | NA | 42% | Proposed conforms with allowed |
| Secondary Upper Story Fenestration (min/max) George | 15% / 50% | NA | 33% | Proposed conforms with allowed |
| Use & Occupancy | | | | |
| Gross Floor Area per DU | - | - | - | |
| Lot Area > 6,500 SF | 850 SF | NA | 1007.6 SF | 81,619 SF Gross floor area used to calculate |
| Number of Units | 96 | NA | 81 | Proposed conforms with allowed |
| Affordable Dwelling Units (20%) | 18.2 | NA | 16.2 | 0.2 Fraction buyout |
| Outdoor Amenity Space | 1/DU | NA | 1/DU | 28 private roof decks; 1,720 SF common outdoor area for 53 units (32.45 SF/DU) |
| Ground Story Entrance Spacing (max) | 30 ft | NA | 30 ft | Proposed conforms |
| Commercial Space Depth (min) | 30 ft | NA | 30 ft | Proposed conforms |
| Parking | | | | |
| Vehicular | | | | |
| Formula Retail & Consumer Goods withing Transit Area 7,888 (max) | 6.47 | 0 | 2 | 9,705 SF of Commercial @ 1 space/1,500 SF; Proposed conforms with allowed |
| Restaurant within Transit Area 4,000 SF (max) | 32.35 | 0 | 2 | 9,705 SF of Commercial @ 1 space/300 SF Proposed conforms with allowed |
| Residential within Transit Area (max) | 81 | 0 | 22 | Proposed conforms with allowed |
| Bike Short Term | | | | |
| Formula Retail & Consumer Goods within Transit Area 7,888 SF (min) | 3.2 | 0 | 4 | Proposed conforms with allowed (At grade; see Landscape Plan) |
| Restaurant within Transit Area 4,000 SF (min) | 4 | 0 | 4 | Proposed conforms with allowed (At grade; see Landscape Plan) |
| Residential within Transit Area (min) | 9.1 | 0 | 9 | Proposed conforms with allowed (At grade; see Landscape Plan) |
| Bike Long Term | | | | |
| Formula Retail & Consumer Goods withing Transit Area 7,888 (min) | 0.8 | 0 | 1 | Proposed conforms; within basement |
| Restaurant within Transit Area 4,000 SF (max) | 0.8 | 0 | 1 | Proposed conforms; within basement |
| Residential within Transit Area (min) | 81 | 0 | 96 | Proposed conforms; within basement |

44 BROADWAY

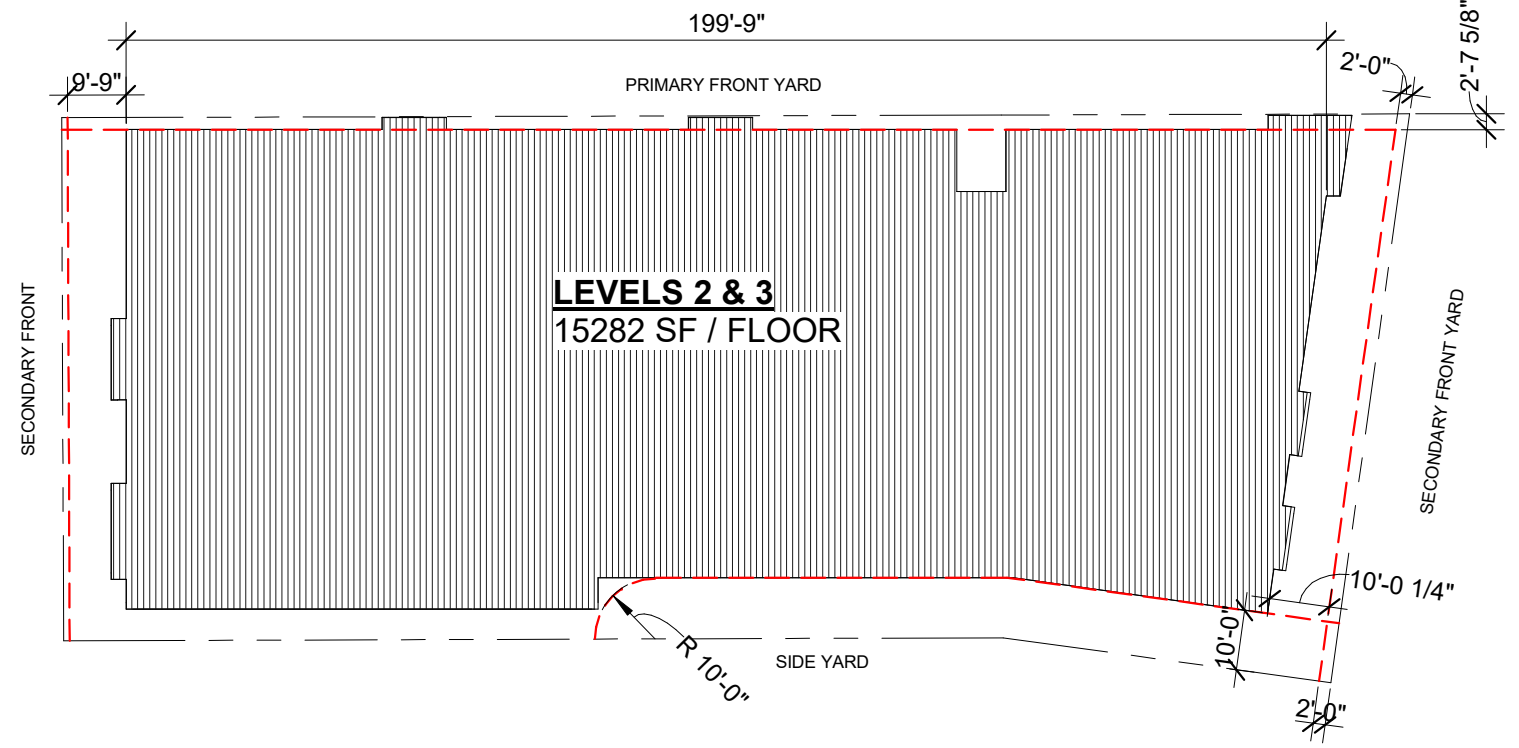
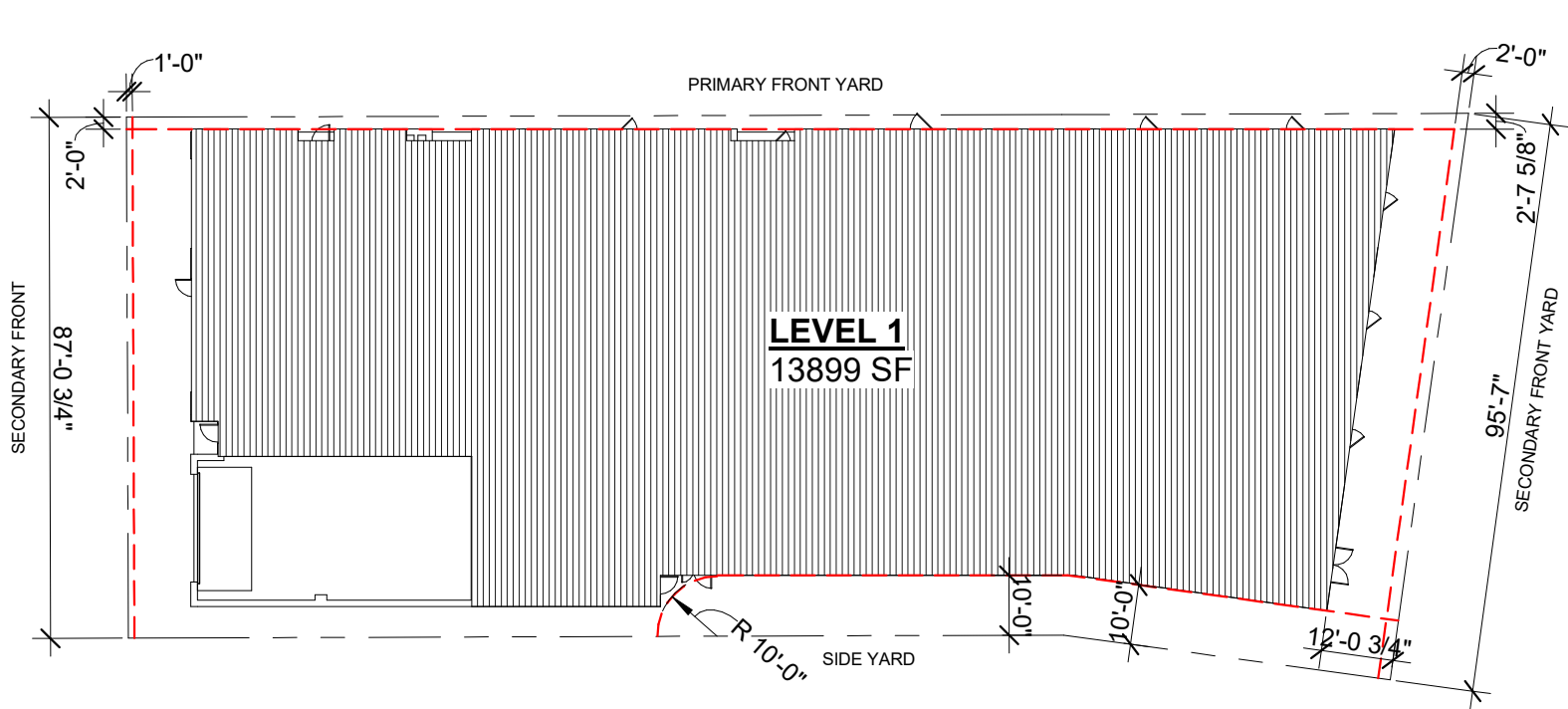
HIGHLAND DEVELOPMENT

DIMENSIONAL TABLE

A-103

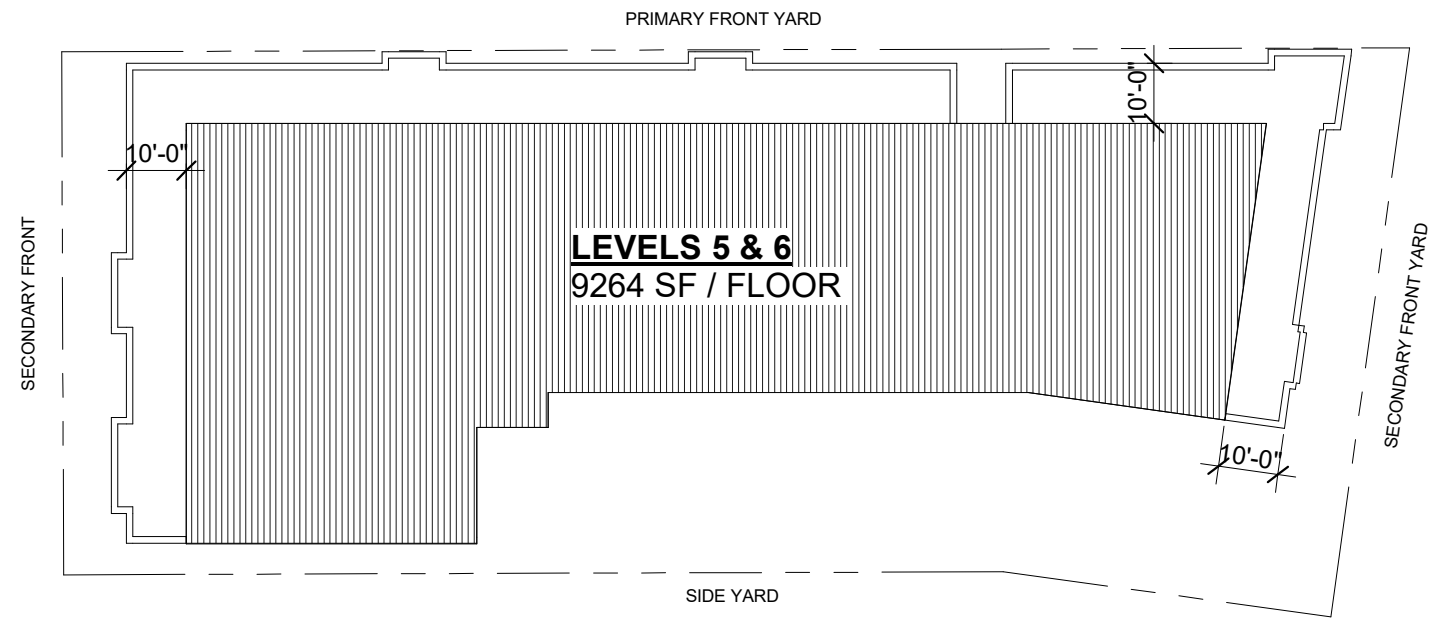
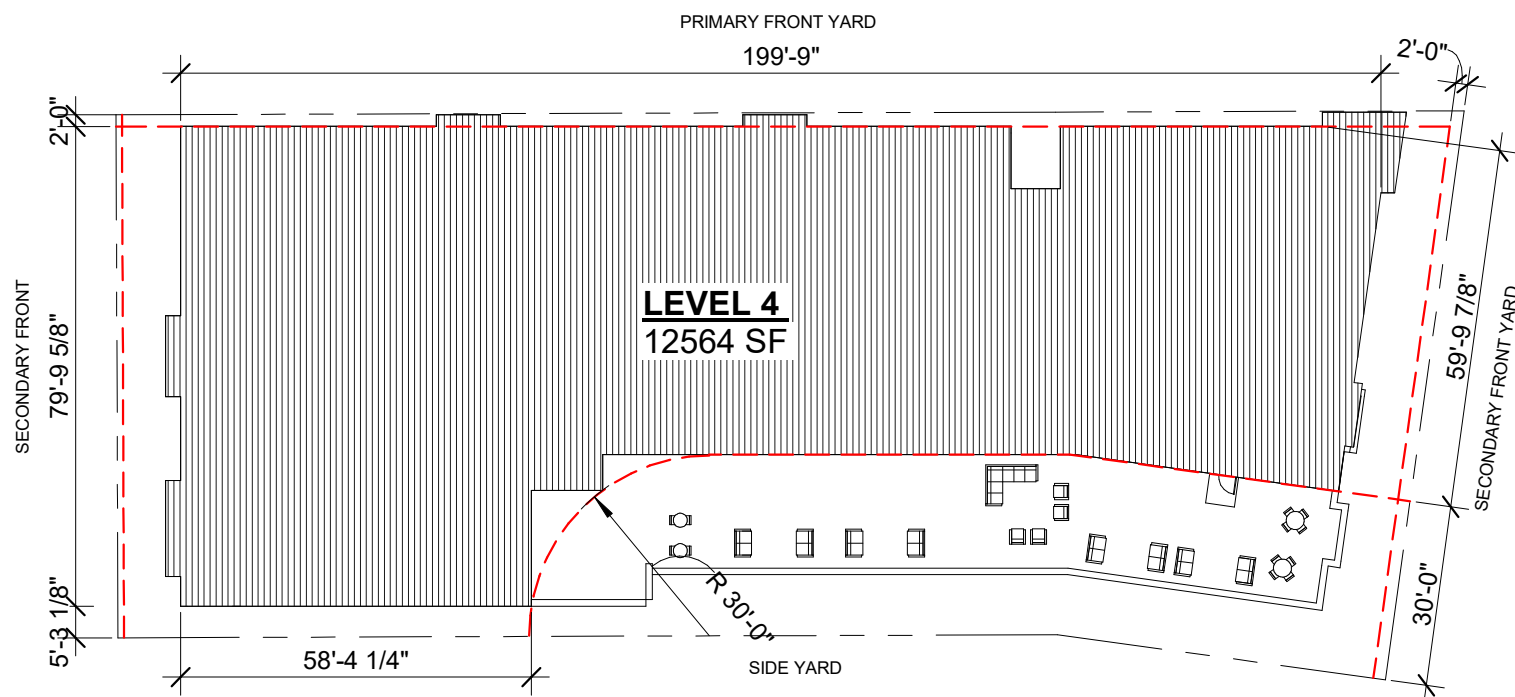
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1 MR6 DIMENSIONAL GROUND ZONING SETBACKS
1/32" = 1'-0"

2 MR6 DIMENSIONAL LEVELS 1-3
1/32" = 1'-0"



3 MR6 DIMENSIONAL LEVEL 4
1/32" = 1'-0"

4 MR6 DIMENSIONAL LEVELS 5-6
1/32" = 1'-0"

44 BROADWAY

HIGHLAND DEVELOPMENT

DIMENSIONAL ANALYSIS

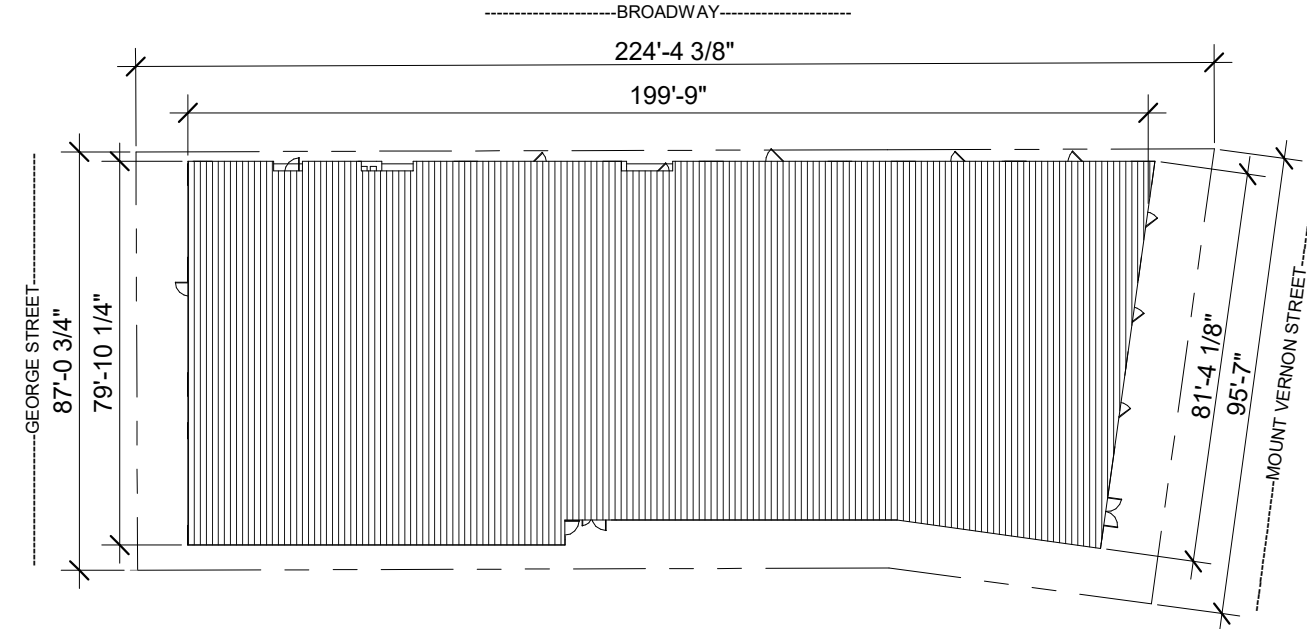
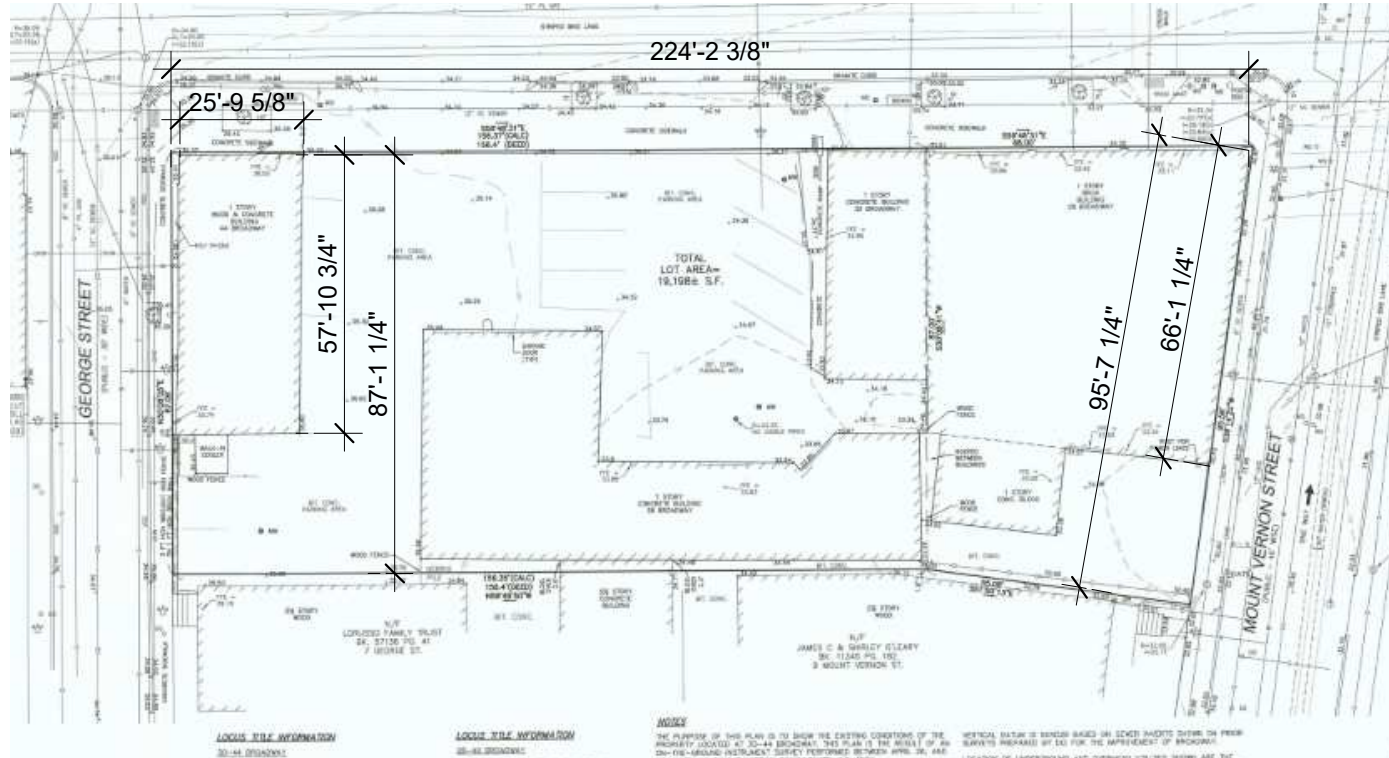
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51% PRIMARY FRONT BUILD-OUT (BROADWAY)
 69% SECONDARY FRONT BUILD-OUT (MT VERNON ST)
 66% SECONDARY FRONT BUILD-OUT (GEORGE ST)

89% PRIMARY FRONT BUILD-OUT (BROADWAY)
 85% SECONDARY FRONT BUILD-OUT (MT VERNON ST)
 92% SECONDARY FRONT BUILD-OUT (GEORGE ST)



1 FACADE BUILD-OUT - EXISTING
 1" = 40'-0"

2 FACADE BUILD-OUT - PROPOSED
 1" = 40'-0"

44 BROADWAY

HIGHLAND DEVELOPMENT

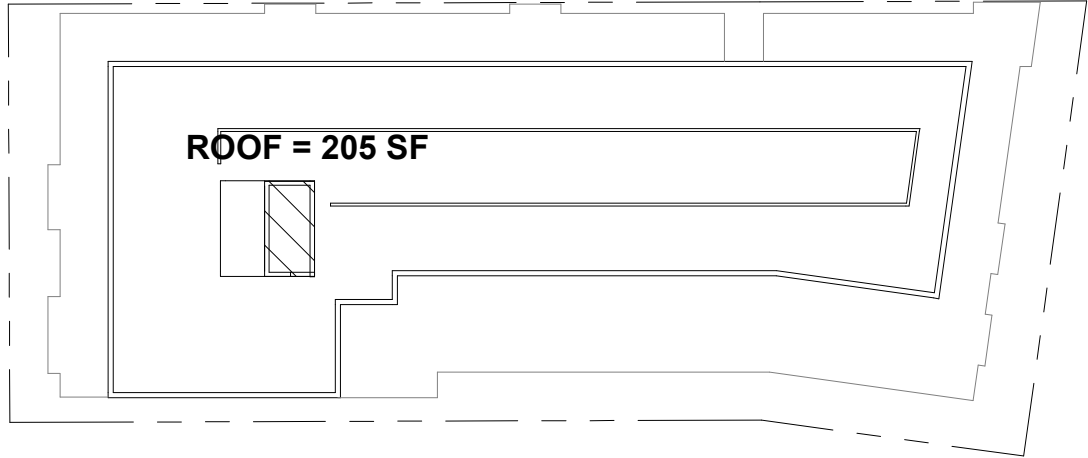
ZONING & FACADE BUILD-OUT

A-105

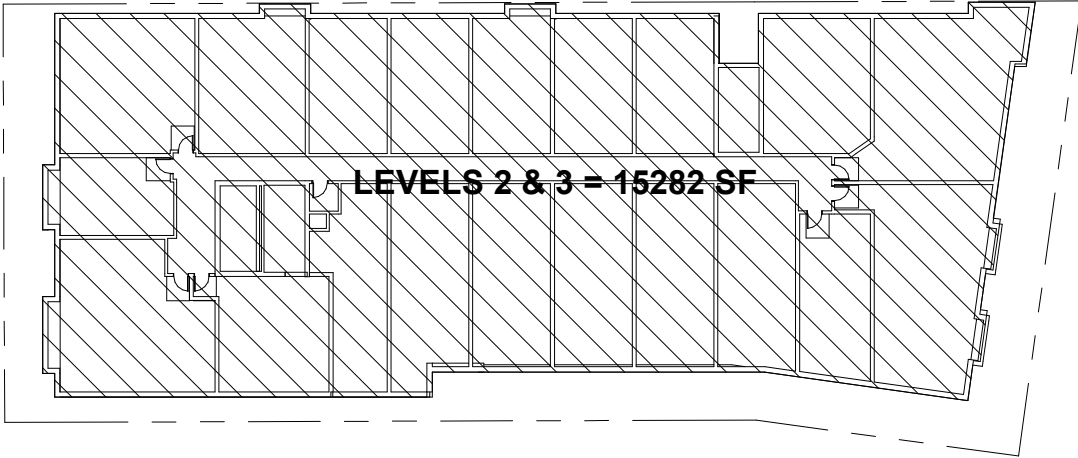
03/07/2022



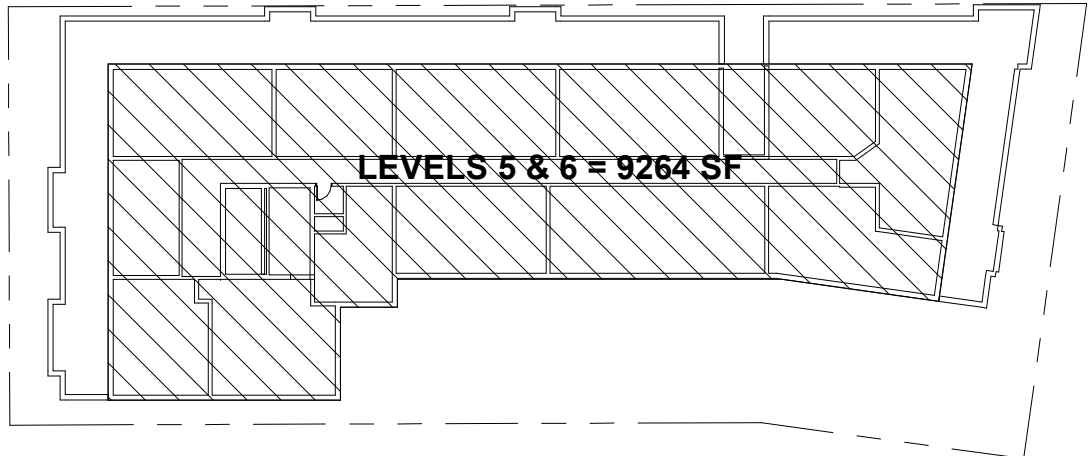
ROOF



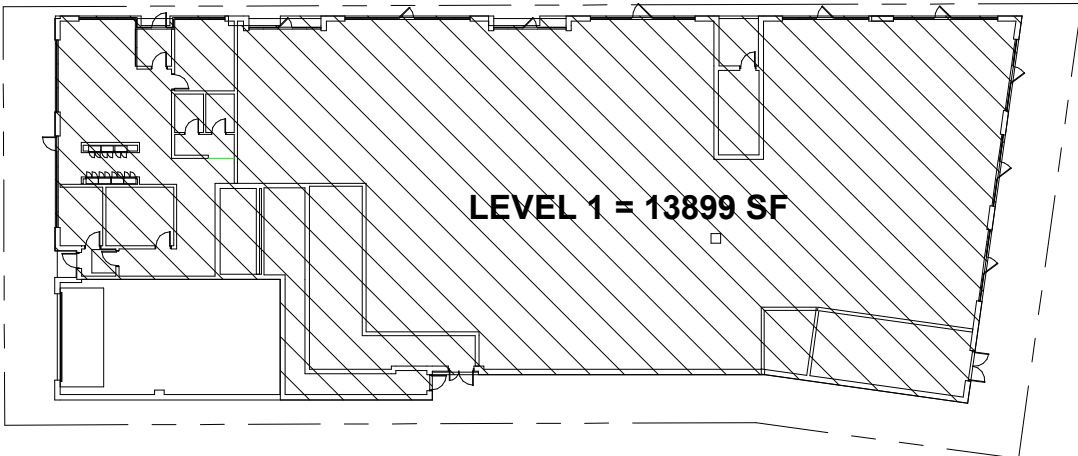
LEVELS 2-3



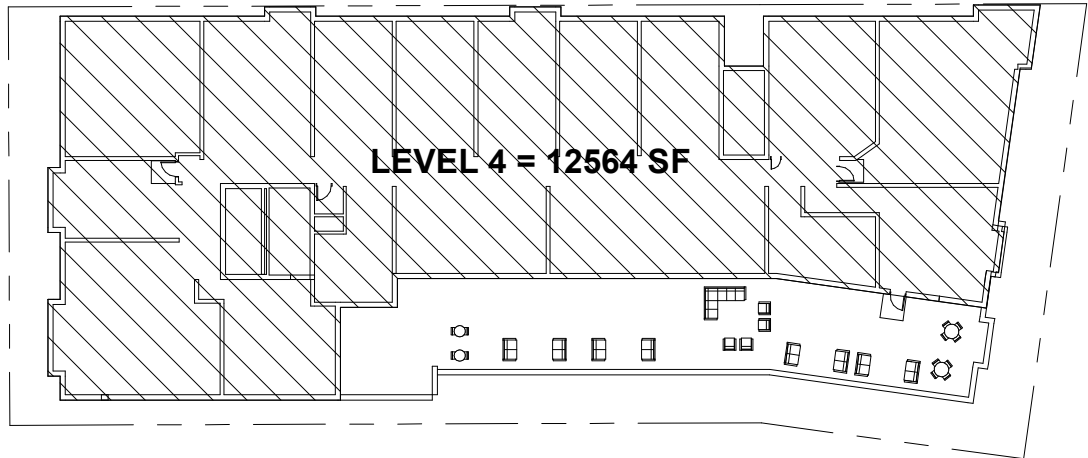
LEVELS 5-6



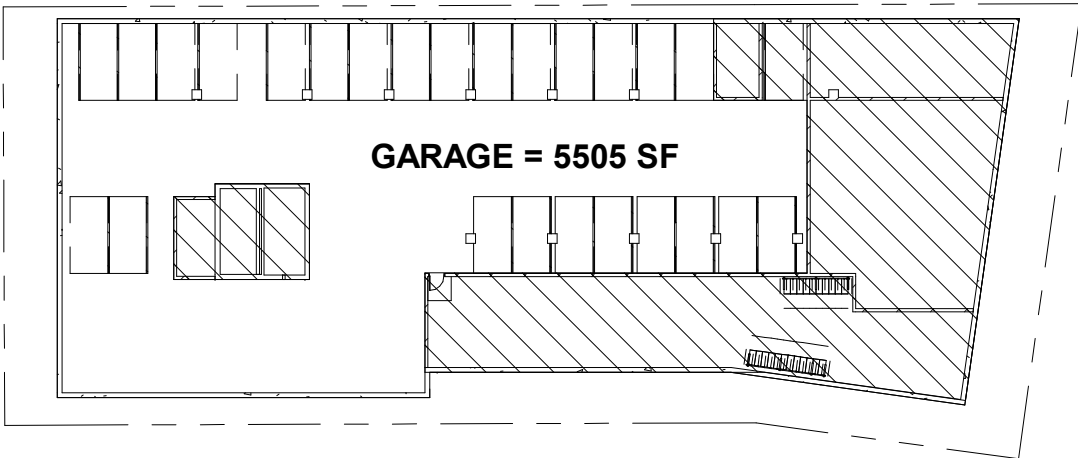
LEVEL 1



LEVEL 4



GARAGE



| AREA SCHEDULE (GROSS AREA/DU) | |
|-------------------------------|---------------|
| LEVEL | AREA (SF) |
| GARAGE | 5,505 |
| LEVEL 1 | 13,899 |
| LEVEL 2 | 15,282 |
| LEVEL 3 | 15,282 |
| LEVEL 4 | 12,564 |
| LEVEL 5 | 9,264 |
| LEVEL 6 | 9,264 |
| ROOF | 205 |
| | 81,265 |

44 BROADWAY

HIGHLAND DEVELOPMENT

GROSS FLOOR AREA

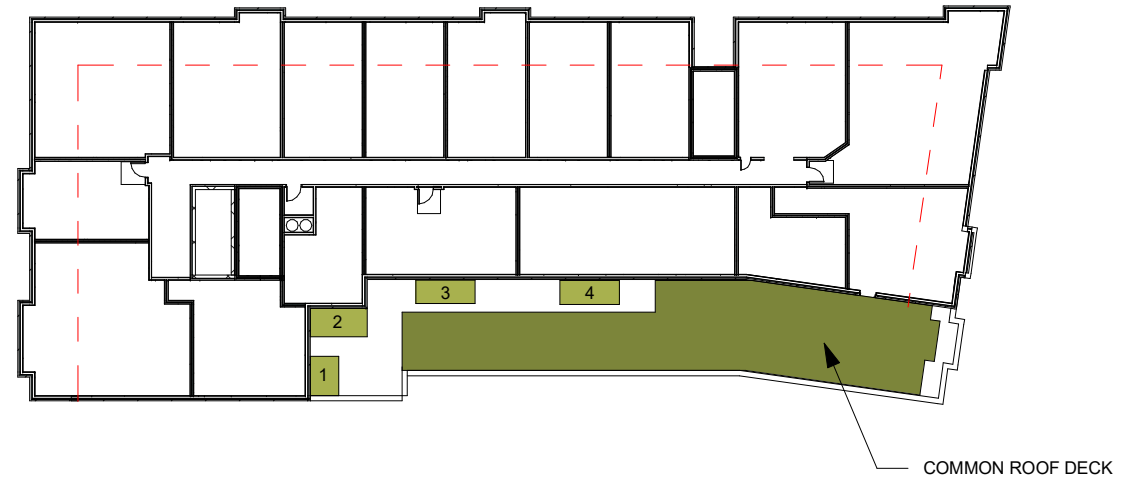
A-106

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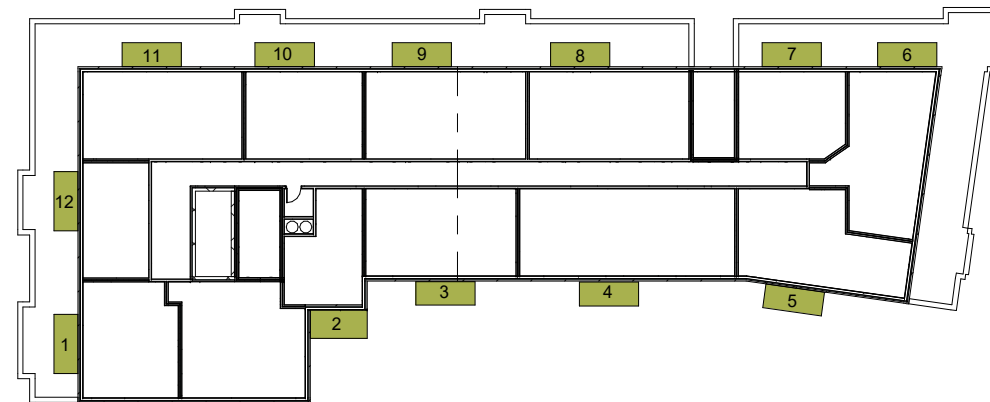
LEVEL 4 OUTDOOR AREA

- 4 PRIVATE ROOF DECKS
- 1720 SF COMMON OUTDOOR AREA



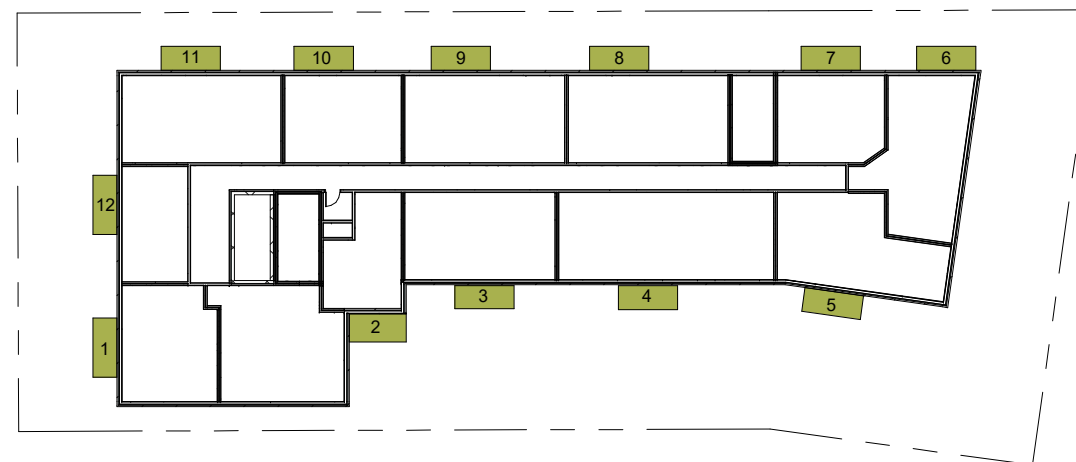
LEVEL 5 OUTDOOR AREA

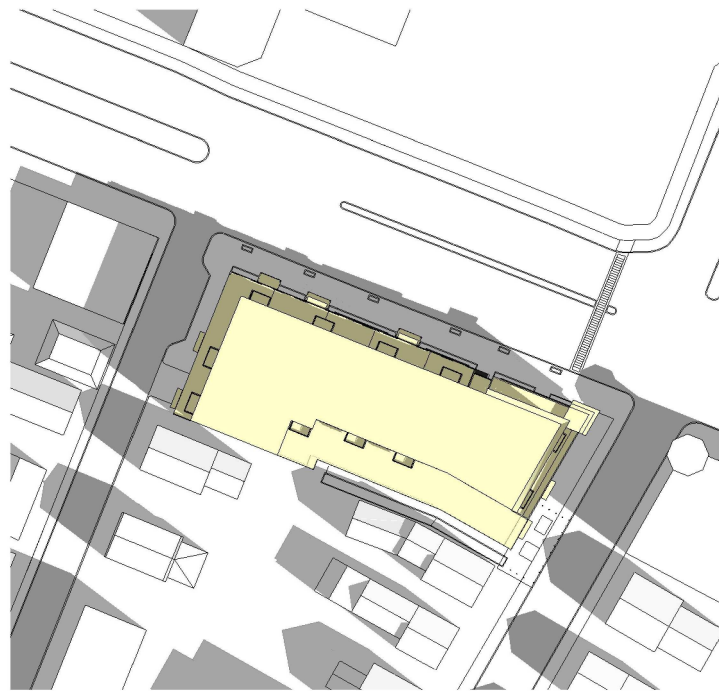
- 12 PRIVATE ROOF DECKS



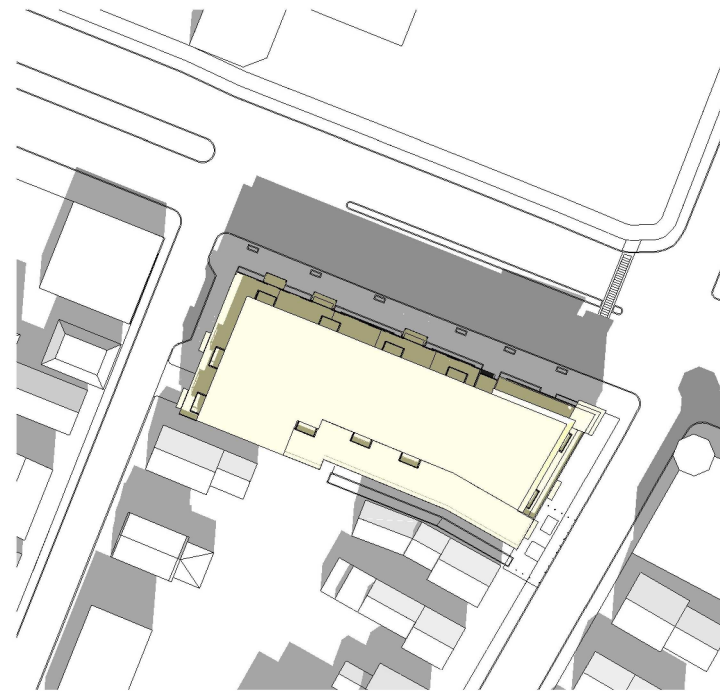
LEVEL 6 OUTDOOR AREA

- 12 PRIVATE BALCONIES

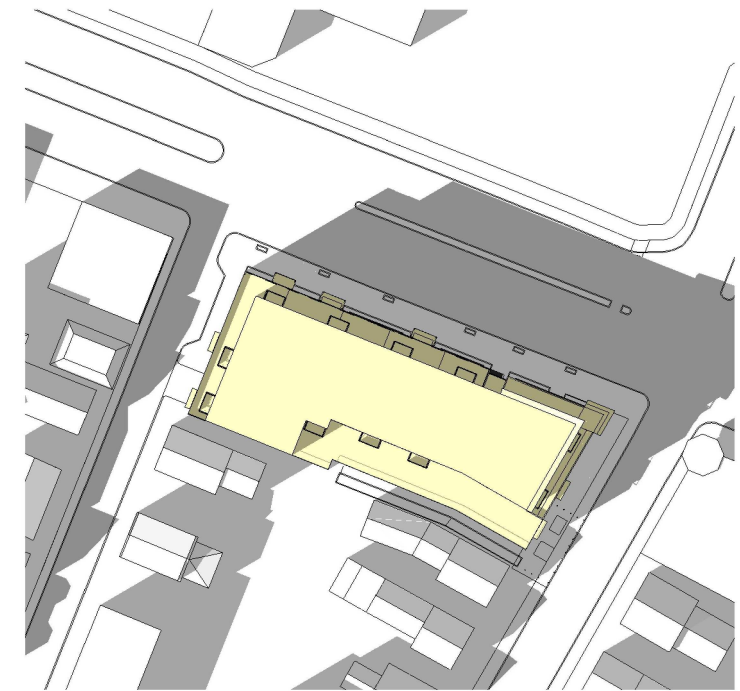




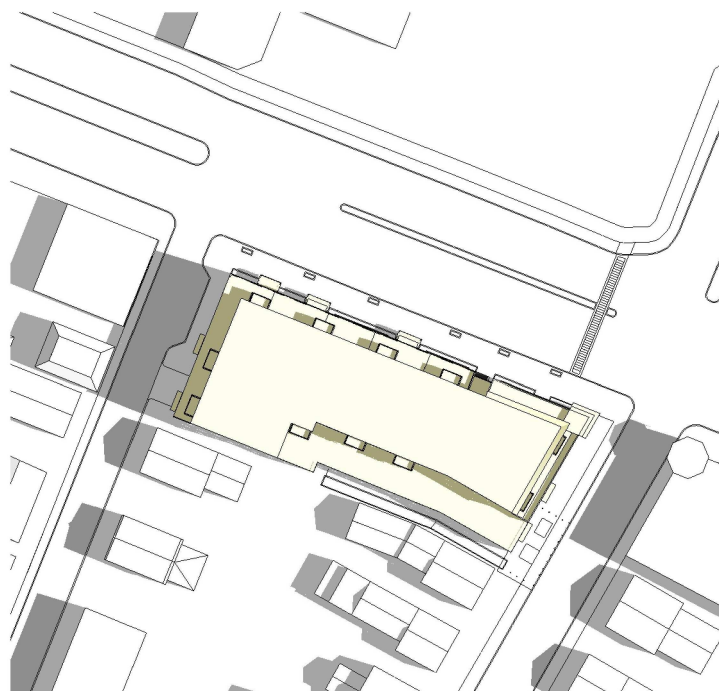
SPRING EQUINOX 9AM



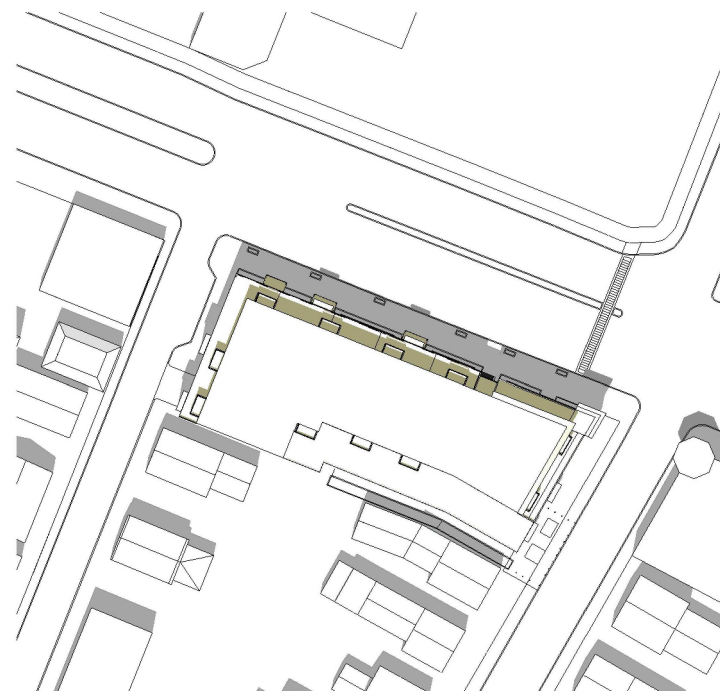
SPRING EQUINOX 12PM



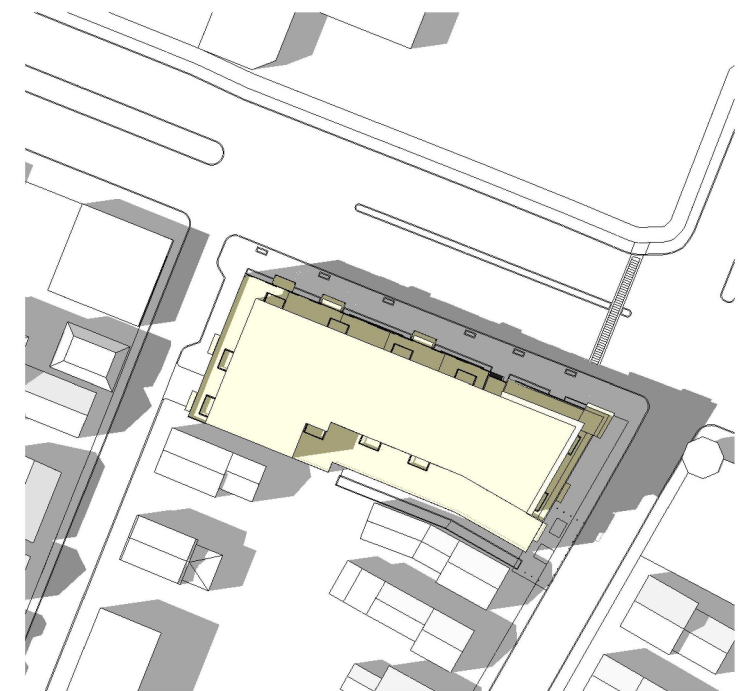
SPRING EQUINOX 3PM



SUMMER SOLSTICE 9AM



SUMMER SOLSTICE 12PM



SUMMER SOLSTICE 3PM

44 BROADWAY

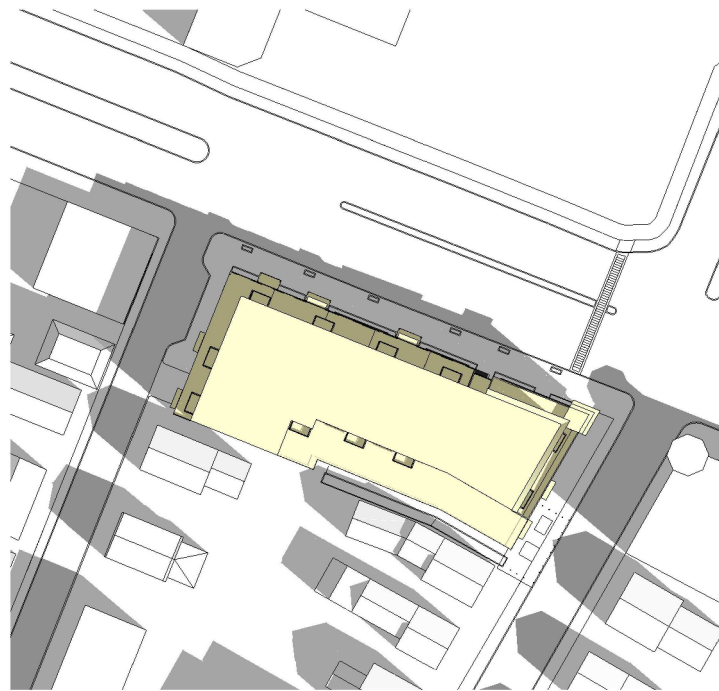
HIGHLAND DEVELOPMENT

SHADOW STUDY

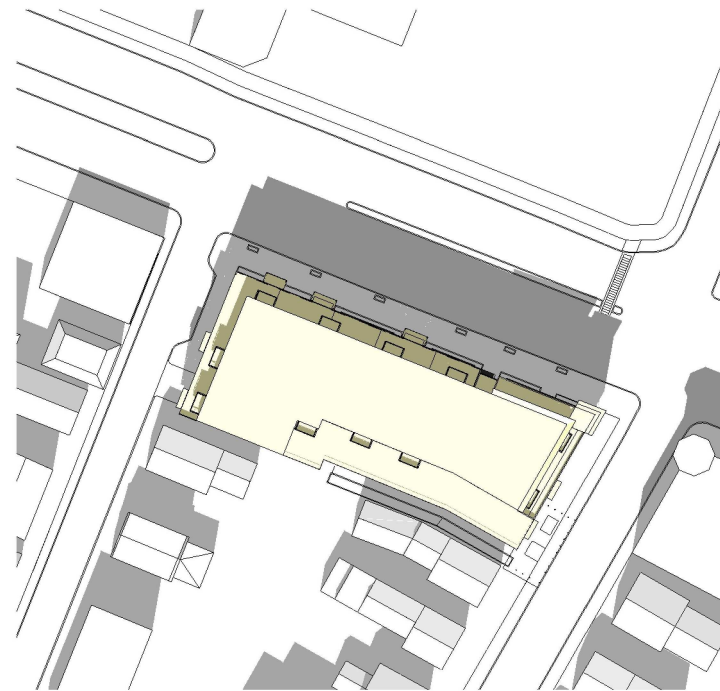
A-108

03/07/2022

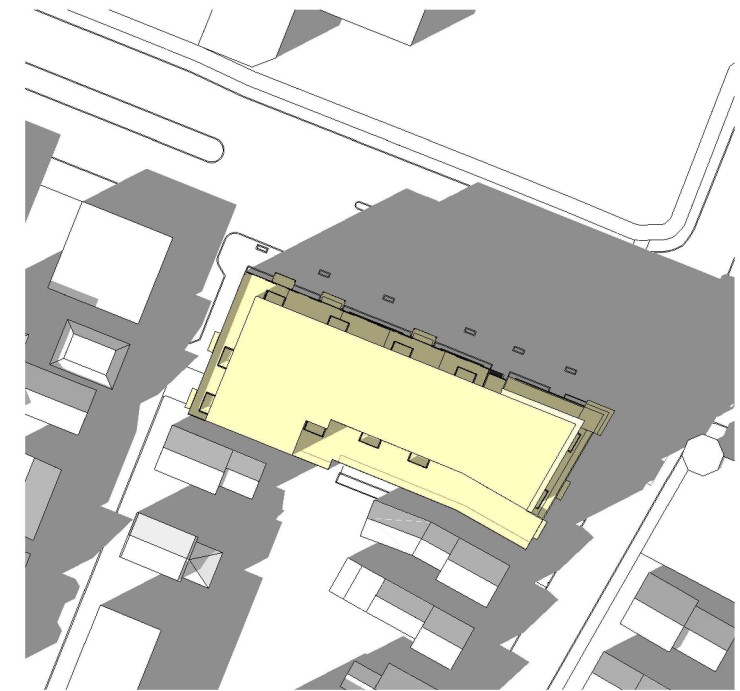




FALL EQUINOX 9AM



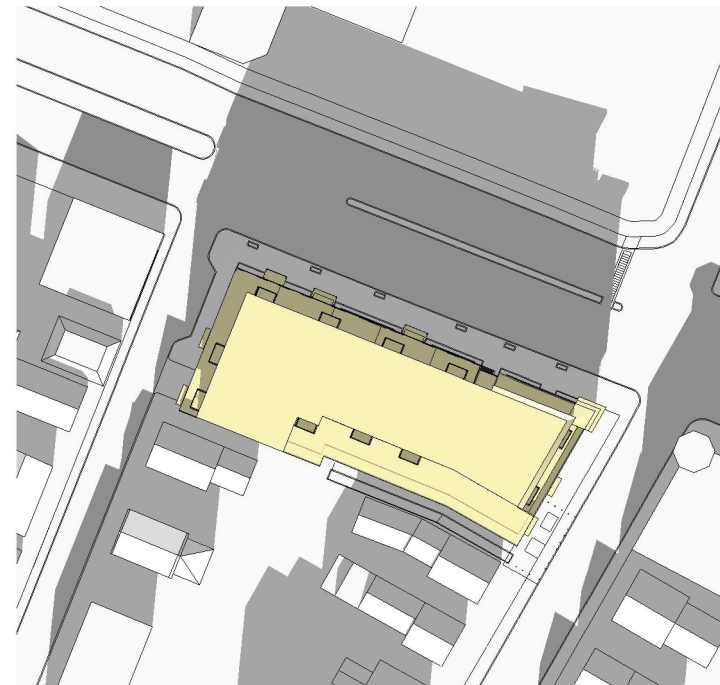
FALL EQUINOX 12PM



FALL EQUINOX 3PM



WINTER SOLSTICE 9AM



WINTER SOLSTICE 12PM



WINTER SOLSTICE 3PM

44 BROADWAY

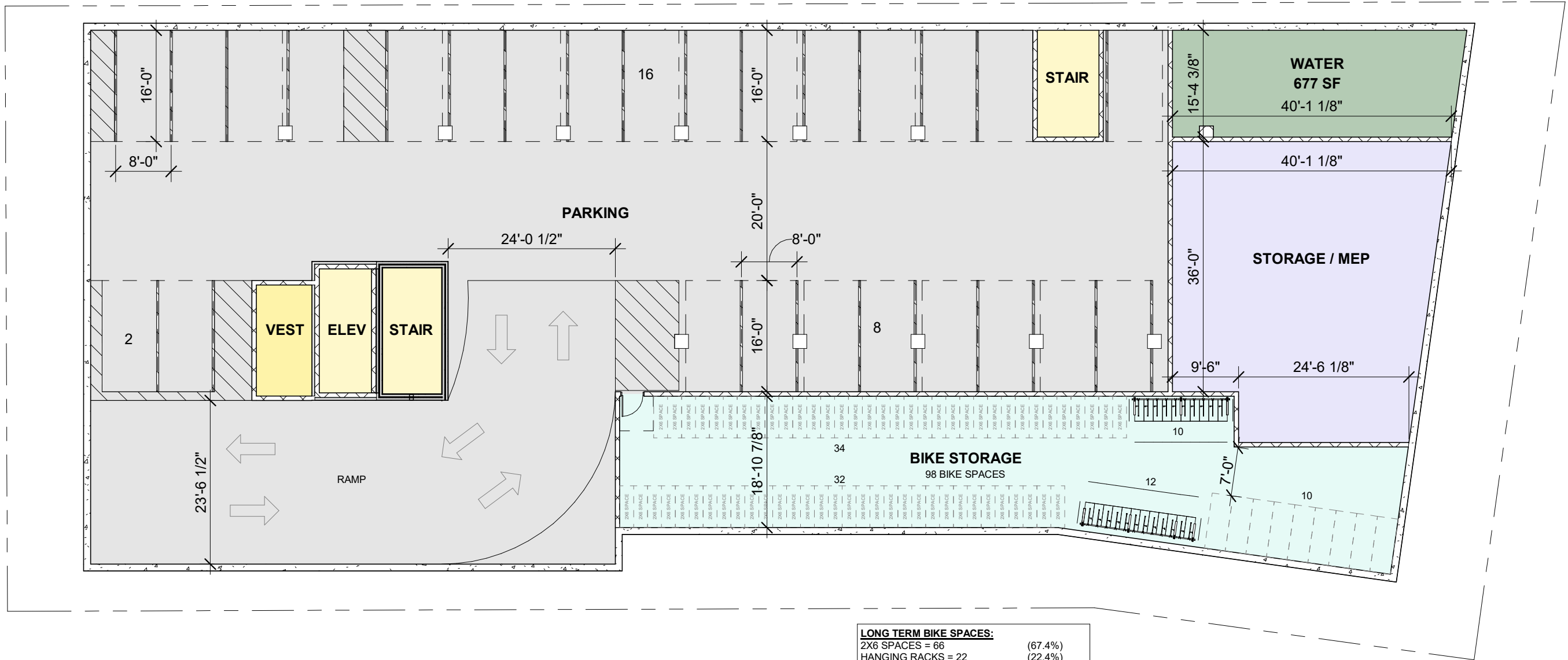
HIGHLAND DEVELOPMENT

SHADOW STUDY

A-109

03/07/2022





1 GARAGE PLAN
1/16" = 1'-0"

44 BROADWAY

HIGHLAND DEVELOPMENT

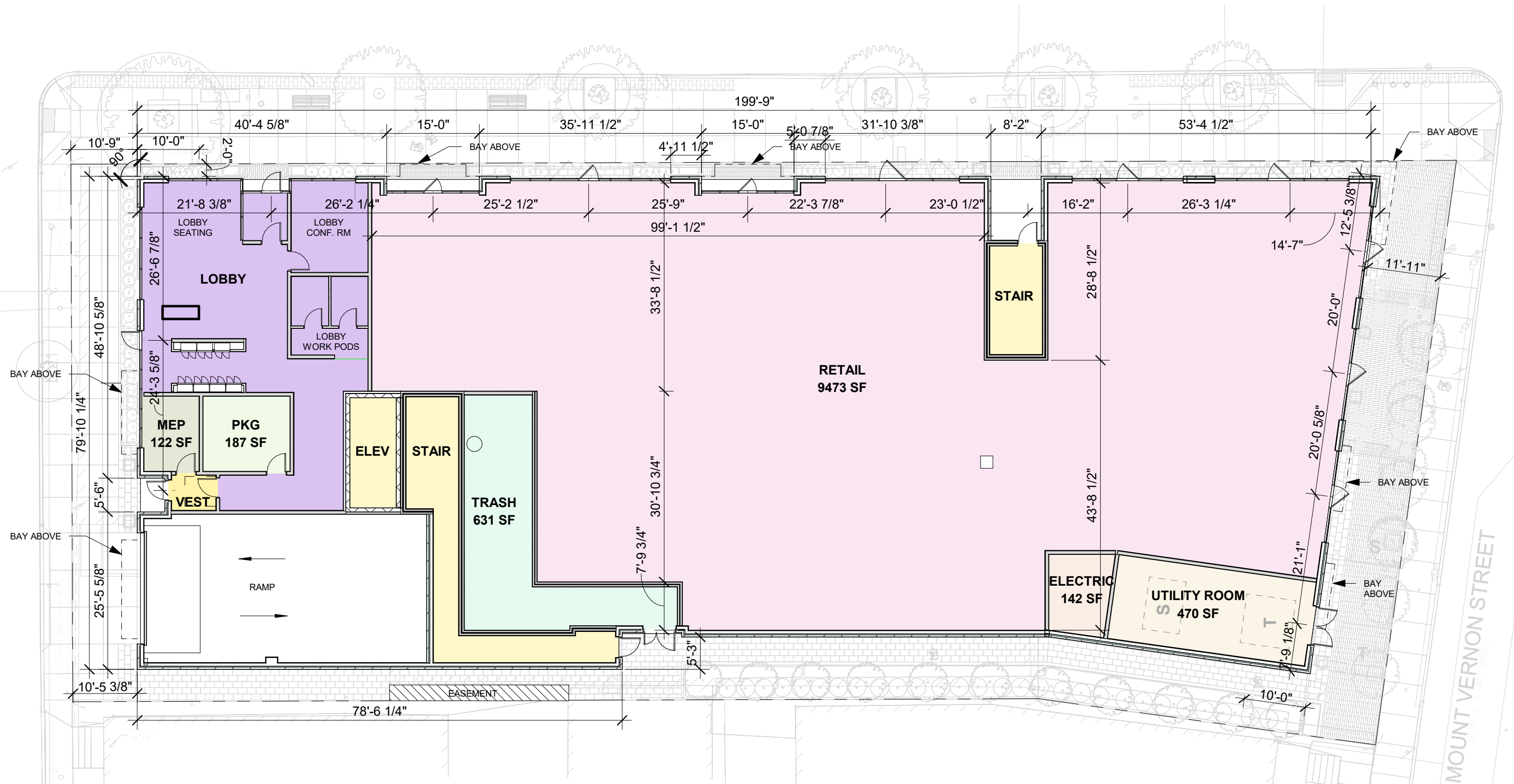
GARAGE PLAN

A-110

03/07/2022



GEORGE STREET
(PUBLIC - 30' WIDE)



1 LEVEL 1 PLAN
1/16" = 1'-0"

44 BROADWAY

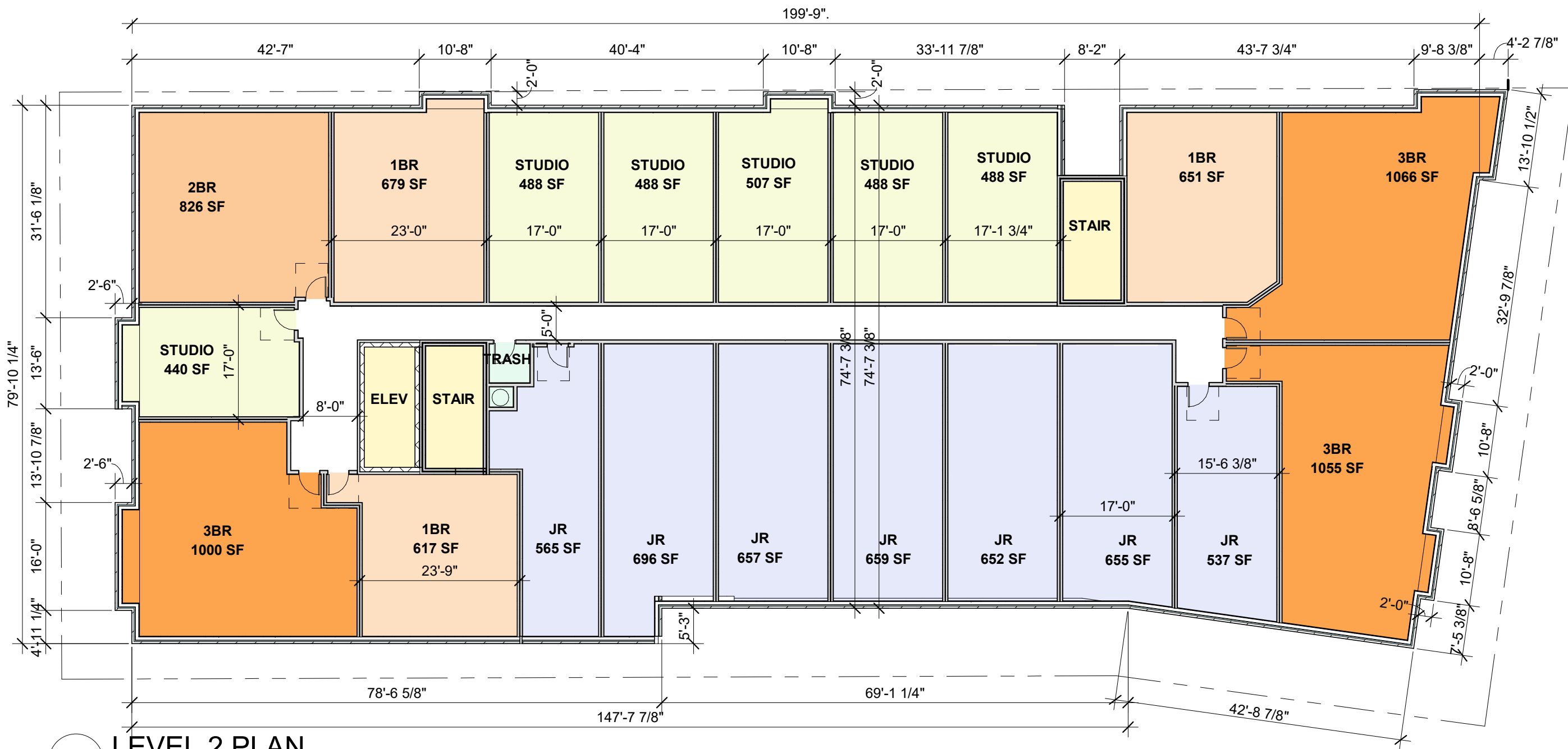
HIGHLAND DEVELOPMENT

LEVEL 1 PLAN

A-111

03/04/2022





1 LEVEL 2 PLAN
1/16" = 1'-0"

44 BROADWAY

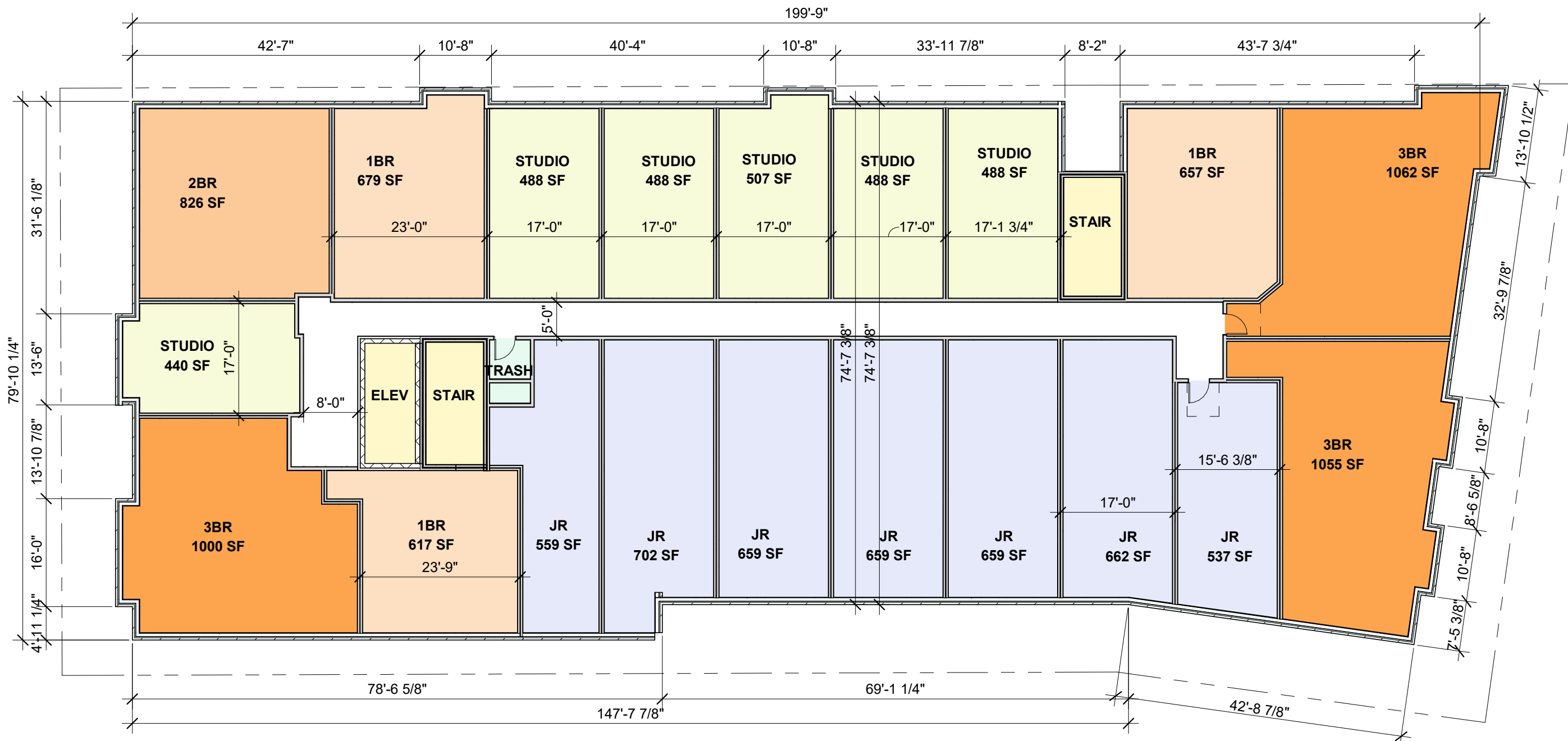
HIGHLAND DEVELOPMENT

LEVEL 2 PLAN

A-112

03/07/2022





1 LEVEL 3 PLAN
 1/16" = 1'-0"

44 BROADWAY

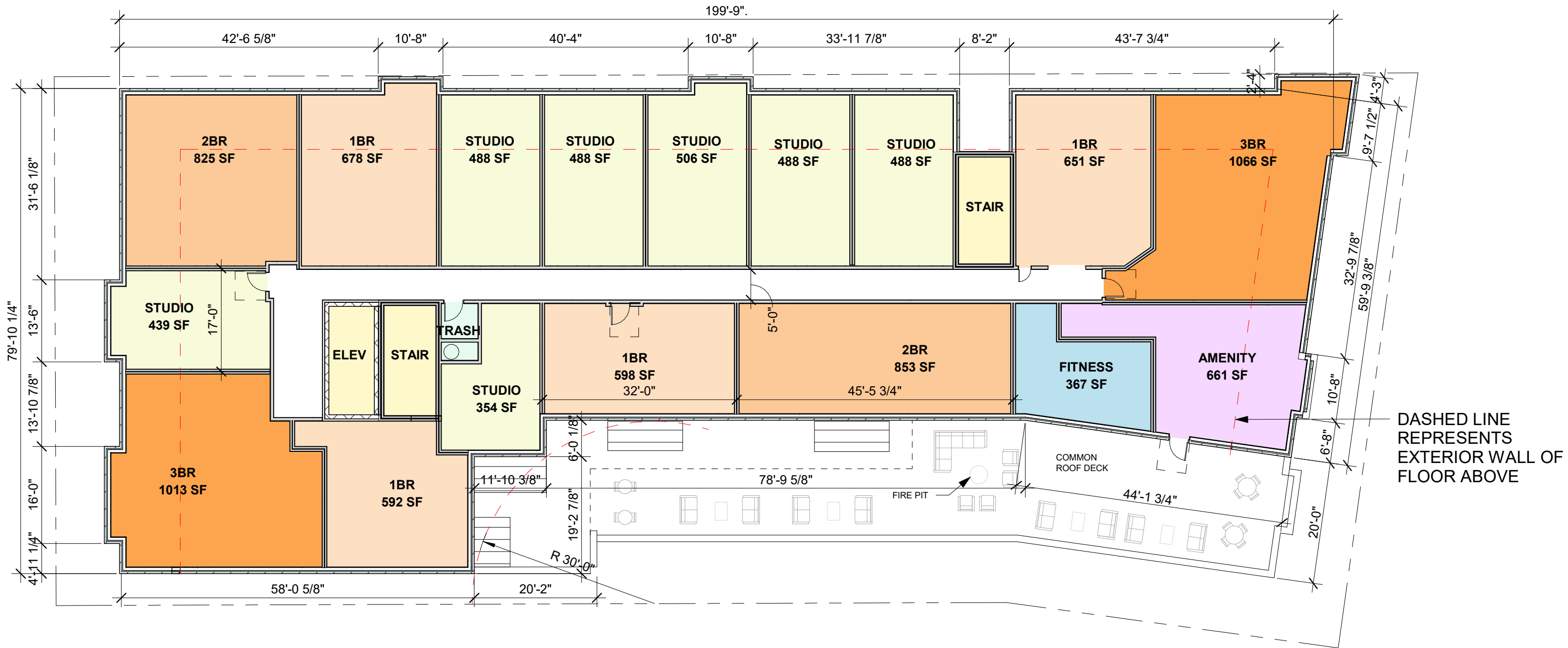
HIGHLAND DEVELOPMENT

LEVEL 3 PLAN

A-113

03/07/2022





1 LEVEL 4 PLAN
1/16" = 1'-0"

44 BROADWAY

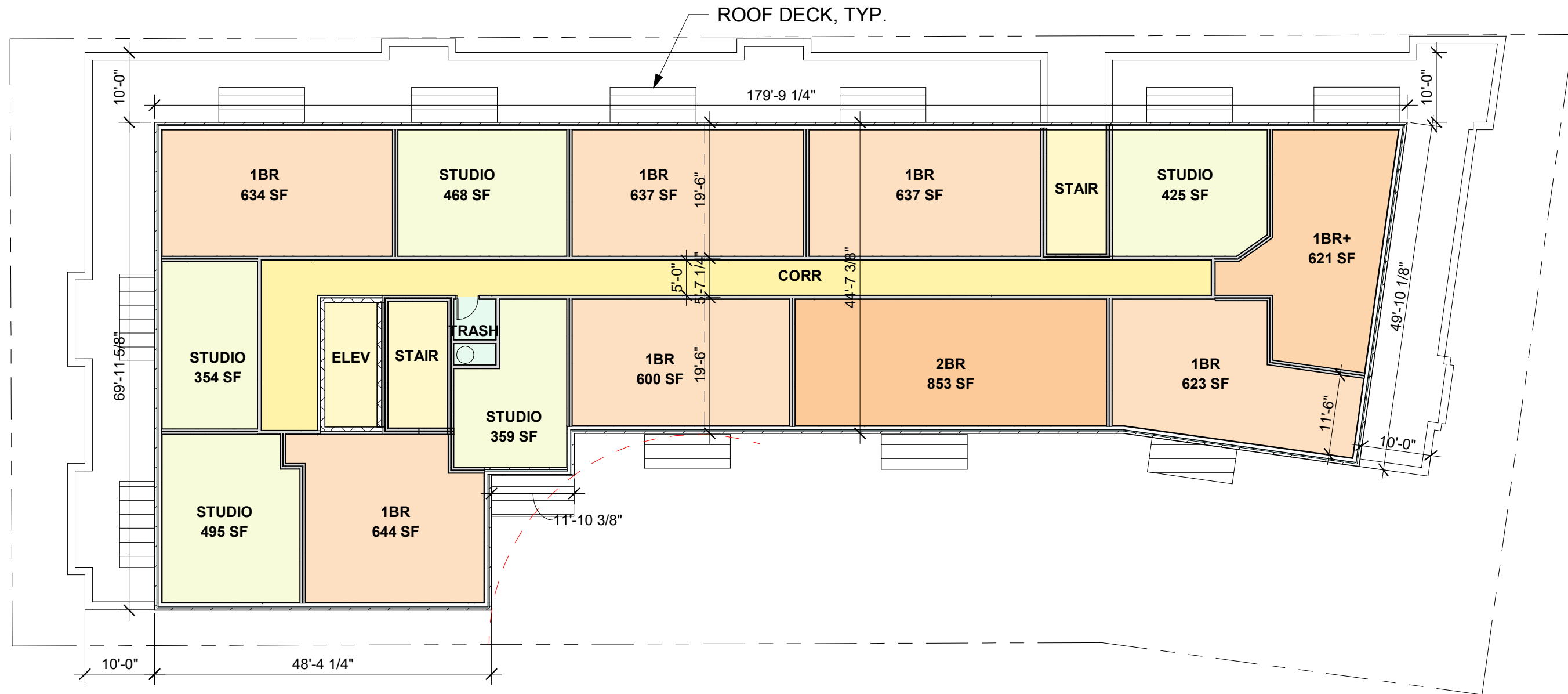
HIGHLAND DEVELOPMENT

LEVEL 4 PLAN

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03/07/2022





1 LEVEL 5 PLAN
1/16" = 1'-0"

44 BROADWAY

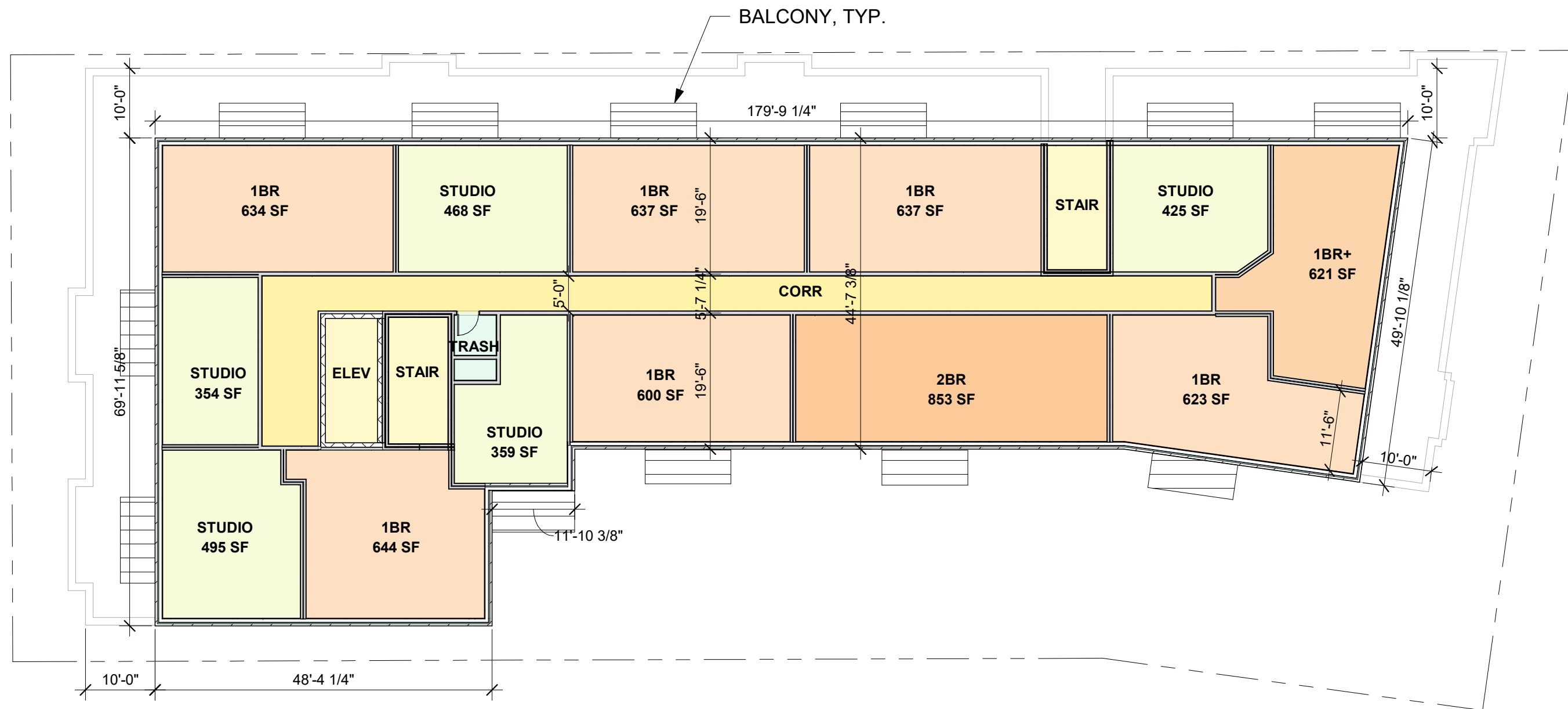
HIGHLAND DEVELOPMENT

LEVEL 5 PLAN

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03/07/2022





1 LEVEL 6 PLAN
1/16" = 1'-0"

44 BROADWAY

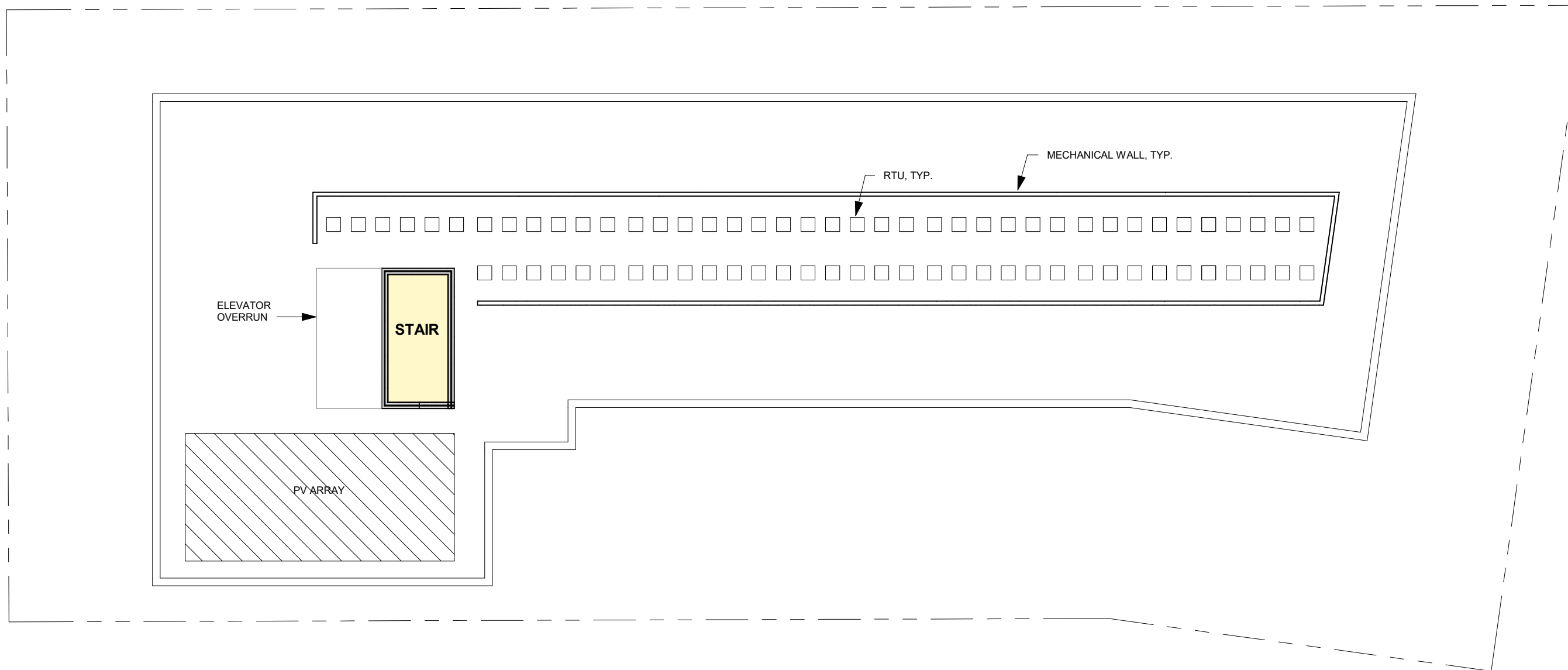
HIGHLAND DEVELOPMENT

LEVEL 6 PLAN

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1 ROOF PLAN
1/16" = 1'-0"

44 BROADWAY

HIGHLAND DEVELOPMENT

ROOF PLAN

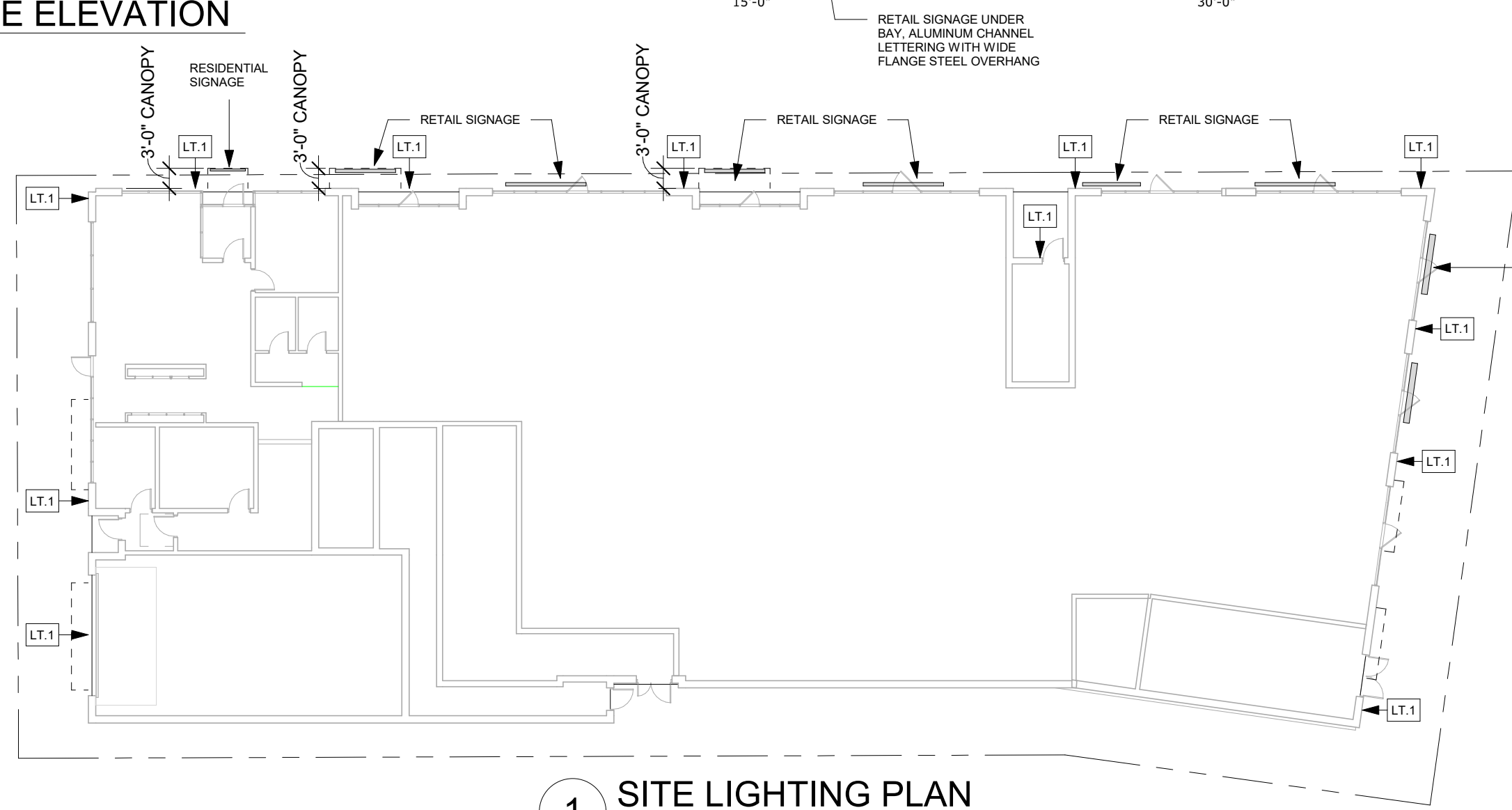
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2 SIGNAGE ELEVATION
1/8" = 1'-0"



1 SITE LIGHTING PLAN
1" = 20'-0"

LEGEND:
LT.1 - CYLINDRICAL DOWNLIGHT LED

NOTE:
ALL RETAIL AND COMMERCIAL SIGNAGE TO BE COORDINATED WITH FUTURE TENANTS AND TO BE COMPLIANCE WITH SOMERVILLE ZONING ORDINANCE SECTION 10.9 COMMERCIAL SIGNS

44 BROADWAY

HIGHLAND DEVELOPMENT

SITE LIGHTING

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44 BROADWAY STREET

HIGHLAND DEVELOPMENT

SITE CONTEXT

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03/07/2022





44 BROADWAY STREET

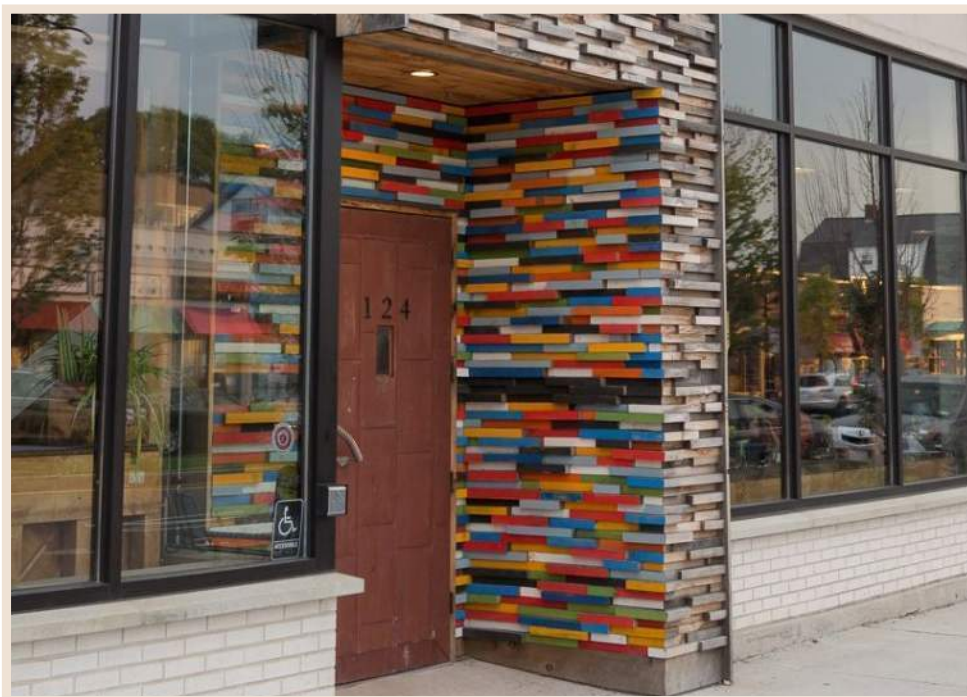
HIGHLAND DEVELOPMENT

REFERENCE IMAGERY

A-202

03/07/2022





44 BROADWAY STREET

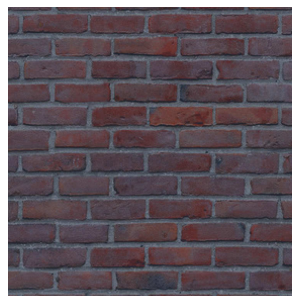
HIGHLAND DEVELOPMENT

REFERENCE IMAGERY

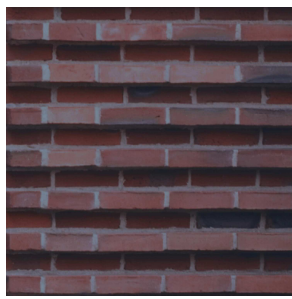
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1. BRICK



2. PATTERNED BRICK



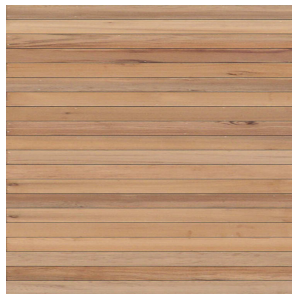
3. FIBER CEMENT LAP SIDING



4. FIBER CEMENT LAP SIDING



5. FIBER CEMENT PANEL



6. WOOD LOOK SIDING



2 NORTH ELEVATION
1" = 20'-0"



1 SOUTH ELEVATION
1" = 20'-0"

44 BROADWAY

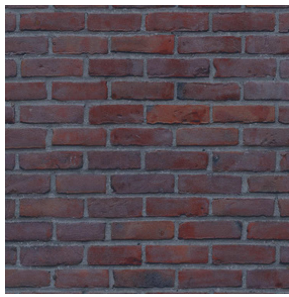
HIGHLAND DEVELOPMENT

BUILDING ELEVATIONS

A-204

03/07/2022

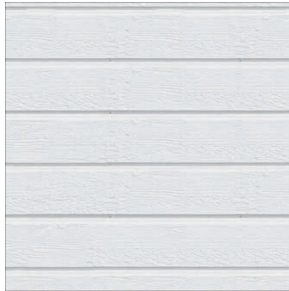




1. BRICK



2. PATTERNED BRICK



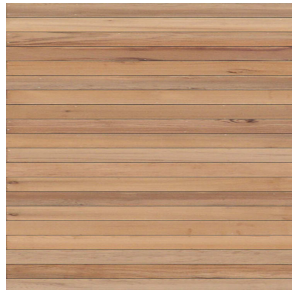
3. FIBER CEMENT LAP SIDING



4. FIBER CEMENT LAP SIDING



5. FIBER CEMENT PANEL



6. WOOD LOOK SIDING



2 WEST ELEVATION
1" = 20'-0"



1 EAST ELEVATION
1" = 20'-0"

44 BROADWAY

HIGHLAND DEVELOPMENT

BUILDING ELEVATIONS

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03/07/2022





4 EAST ELEVATION
1" = 30'-0"



2 NORTH ELEVATION
1" = 30'-0"



3 WEST ELEVATION
1" = 30'-0"



1 SOUTH ELEVATION
1" = 30'-0"

44 BROADWAY

HIGHLAND DEVELOPMENT

PERCENTAGE OF GLAZING

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03/07/2022





44 BROADWAY

HIGHLAND DEVELOPMENT

PERSPECTIVE LOOKING WEST ON BROADWAY

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44 BROADWAY

HIGHLAND DEVELOPMENT

PERSPECTIVE LOOKING EAST ON BROADWAY

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44 BROADWAY

HIGHLAND DEVELOPMENT

AXON AERIAL

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