

Kristen Stelljes

From: Sebastian Mariscal <sebastian@sebastianmariscal.com>
Sent: Thursday, May 16, 2019 11:49 PM
To: Kristen Stelljes
Cc: Luisa Oliveira; Sunayana Thomas; edendutcher@groundviewdesign.com
Subject: PHL_Community Preservation Act Funding
Attachments: PHS_05-06-2019_CommunityMeeting_Park copy.pdf; PHL_park_100CD_05-13-2019.pdf; 19_0510_PHL_Park Budget Tracking.pdf

Importance: High

Kristen,

Thanks for meeting with us and giving guidance through the process.

Per our discussions, I'd like to apply for the Emergency Funding under the Community Preservation Act for the Public Park at the former PowderHouse School. This Park will become a City Park and has been a close collaboration with the City team and GroundView Landscape Architects.

Please see attached our last community meeting presentation as a reference, the Park budget and the project website link below.

<http://www.markacommunities.com/powderhouse>

We are in the need of additional \$122,000 as a result of inflation, rapidly increasing construction costs and the continuous efforts to provide a Park that reflects the several community meetings goals.

The Park has completed its Construction Drawings (attached) and is shovel ready to start construction this July.

Please let me now if I could provide additional information.


Thanks!

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PowderHouse Park

PCO-011 - Park Landscape Budget with VE Options					
Item	Quantity	Unit	Revised Budget	High Bids	Low Bids
Park Allowance	(1)	allow	\$ (754,800.00)		
LAYOUT AND FIELD ENGINEERING	1	l.s.	\$ 10,000		
DESIGN / BUILD IRRIGATION	1	l.s.	\$ 25,000	\$ 25,000	\$ 14,450
LANDSCAPE LIGHTING	1	l.s.	\$ 63,000	\$ 63,000	\$ 40,800
LANDSCAPE			\$ 185,000		
Lawn: Screened Loam	1	l.s.		\$ 9,400	
Lawn: SOD	1	l.s.			
VE - Lawn Seed	1	l.s.	\$ 2,580		\$ 2,580
Planting: Mix 24"	1	l.s.		\$ 34,300	
VE - Planting Mix 18"	1	l.s.	\$ 19,440		\$ 19,440
Planting: Material	1	l.s.	\$ 141,030	\$ 192,220	\$ 115,000
VE - Planting Material	1	l.s.			
Planting: Metal Edging	1	l.s.		\$ 18,050	
VE - Planting: Plastic Edging	1	l.s.	\$ 12,350		\$ 12,350
Planting: Stonedust Surfacing	1	l.s.	\$ 9,600	\$ 9,600	\$ 9,500
60 Day Establishment Period (if we do irrigation)	1	l.s.			
			\$ 185,000	\$ 263,570	\$ 158,870
FURNISHINGS			\$ 35,000		
Benches	7	ea		\$ 33,600	\$ 33,600
VE - Benches	7	ea	\$ 4,200		
Tables & Chairs (NIC moveable furniture)	3	ea		\$ 18,000	\$ 18,000
VE - Tables and Chairs	3	ea	\$ 4,500		
Bike Racks	8	ea	\$ 5,000	\$ 5,000	\$ 5,000
Bike Repair Station	1	ea	\$ 5,500	\$ 5,500	\$ 5,500
Handrails	4	ea		\$ 20,000	
VE - Handrails	4	ea	\$ 15,800		\$ 10,000
			\$ 35,000	\$ 82,100	\$ 72,100
SITework			\$ 210,000		
F&I Spandrel Seats / Stage	1	l.s.		\$ 220,000	\$ 220,000
VE - Spandrel Seats/Stage 32 Sonotubes	1	l.s.	\$ 195,000		
Drainage	1	l.s.			
Prep and sub grade	1	l.s.			
Protection for Tufts Infrastructure Conduit			\$ 15,000	\$ 15,000	\$ 15,000
			\$ 210,000	\$ 235,000	\$ 235,000
HARDSCAPE			\$ 75,000		
Play Surface	900	sqft		\$ 45,000	
VE - Play Surface	900	sqft			\$ 25,200
VE - Substitute Bituminous for Play Surface	900	sqft	\$ 4,500		
Concrete Walkways	8,750	sqft			
VE - Bituminous Unit Cost	8,750	sqft	\$ 43,750		\$ 43,750
Concrete Walkways - Ready Mix Material	167	yds		\$ 24,163	
Concrete Walkways - Welded Wire Mesh	11,375	sqft		\$ 5,119	
Concrete Walkways - Concrete Bricks and Accessories	1	l.s.		\$ 750	
Concrete Walkways - F/P/F Concrete Walks	8,750	sqft		\$ 70,000	
Reuse of Existing Spandrel Beams			\$ 26,750	\$ 26,750	\$ 25,000
			\$ 75,000	\$ 171,781	\$ 93,950
MISCELLANEOUS			\$ 38,000		
Waterproofing Existing Retaining Wall	1	sqft	\$ 10,000	\$ 10,000	\$ 10,000
Reinforcing of existing Retaining Wall	1	sqft	\$ 12,000	\$ 12,000	\$ 12,000
Mural Wall Paint (kickoff programming)	1	sqft	\$ 16,000	\$ 16,000	\$ 16,000
			\$ 38,000	\$ 38,000	\$ 38,000
Soft Costs			\$ 235,700		
Design Fees (Groundview)	1	l.s.	\$ 50,000		
Electric Engineering Design	1	l.s.	\$ 24,300		
Civil Stormwater and water design			\$ 15,000		
Eversource Fees	1	l.s.	\$ 50,000		
Stormwater & Water Service Connection Fees (BY THE CITY)	1	l.s.	\$ -		
Contingency - 5%	1	l.s.	\$ 31,400		
GC's / PR'S	10	weeks	\$ 65,000		

Total Park Budget: \$876,700

Overbudget \$ 121,900.00

Excludes:

- 1) Play Equipment
- 2) Exercise Equipment
- 3) Ping pong
- 4) Water feature
- 5) Water fountain

Future Park at Powder House School

1060 Broadway, West Somerville

Community Update Meeting: Discuss Park Design

May 6, 2019



MarKa, LLC.

Mayor Joseph A. Curtatone

Ward 7 Councilor Katjana Ballantyne

Mayor's Office of Strategic Planning & Community Development
Sunayana Thomas, ED & Luisa Oliveira, P&OS

design team:

Landscape Architects [GroundView](#)

Architects [Sebastian Mariscal Studio](#)

Meeting Agenda

- Project Update: Building
- Project Update: Park
 - Park Plan, Program and Features
 - Construction Schedule
 - Friends Group

Goals for Community Meetings

- Understand neighborhood health, safety and security concerns
- Understand access, neighborhood users, recreational and social needs
- Design must capture the energy of the community
- Everyone is heard
- Outreach: neighborhood flyers, Facebook, Twitter, & community meetings

Project Process Timeline

September 2015
Community Meeting 1

October 2015
Community Meeting 2

November 2015
Community Meeting 3

December 2015
Community Meeting 4

November 2016
Community Meeting 5

May 2019
Update Meeting





PROJECT OVERVIEW

NEIGHBORHOOD CONTEXT:



community

•

architecture

•

landscape

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art

GREEN SPACE: public open space



community

•

architecture

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landscape

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art

CONSTRUCTION UPDATE: 38% completion



community

• architecture

•

landscape

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art

CONSTRUCTION UPDATE: Remove massing



community

•

architecture

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landscape

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art

CONSTRUCTION UPDATE: Building opening to Park



community

•

architecture

•

landscape

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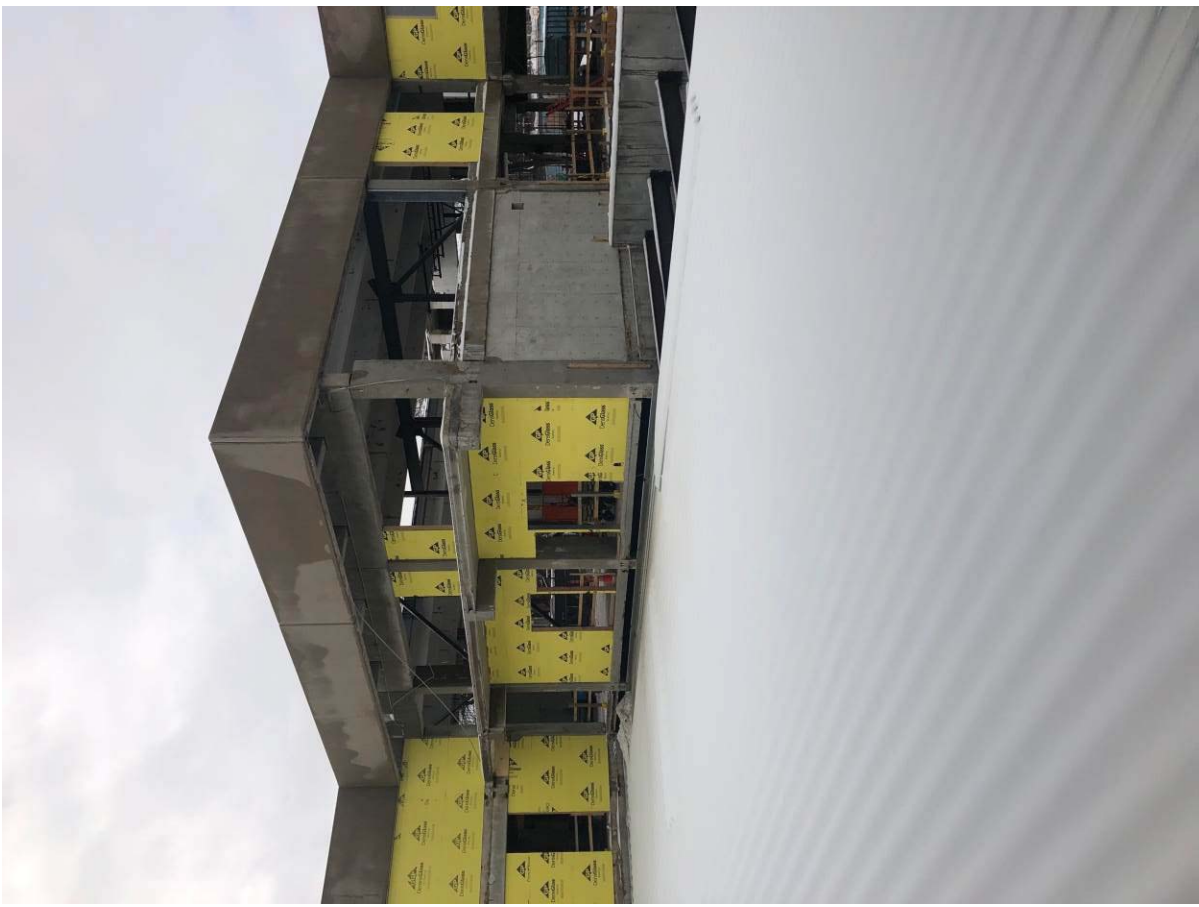
art

CONSTRUCTION UPDATE: Courtyard raised one floor



community

architecture



landscape

art

CONSTRUCTION UPDATE: Courtyard raised one floor



community

•

architecture

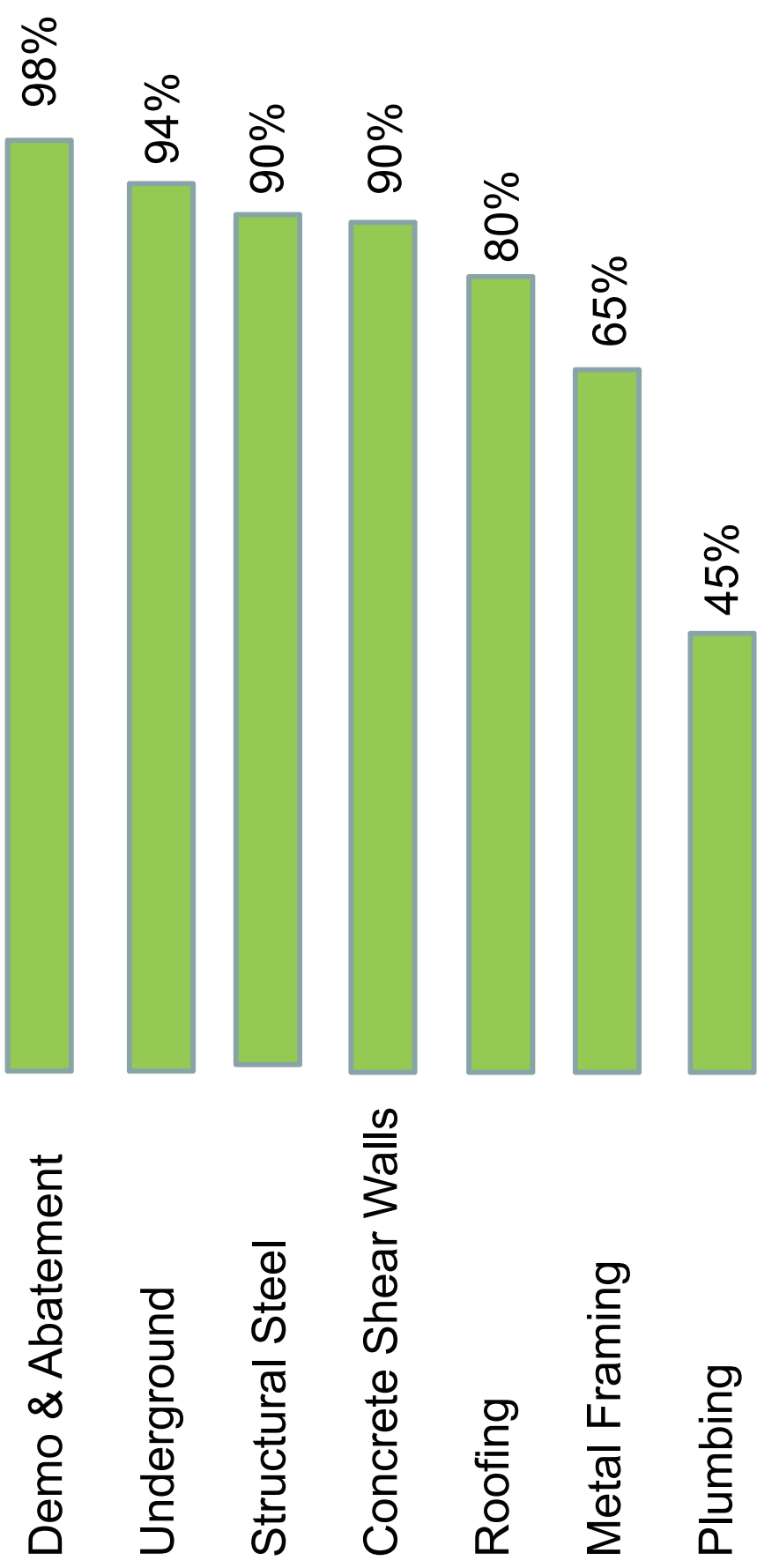
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landscape

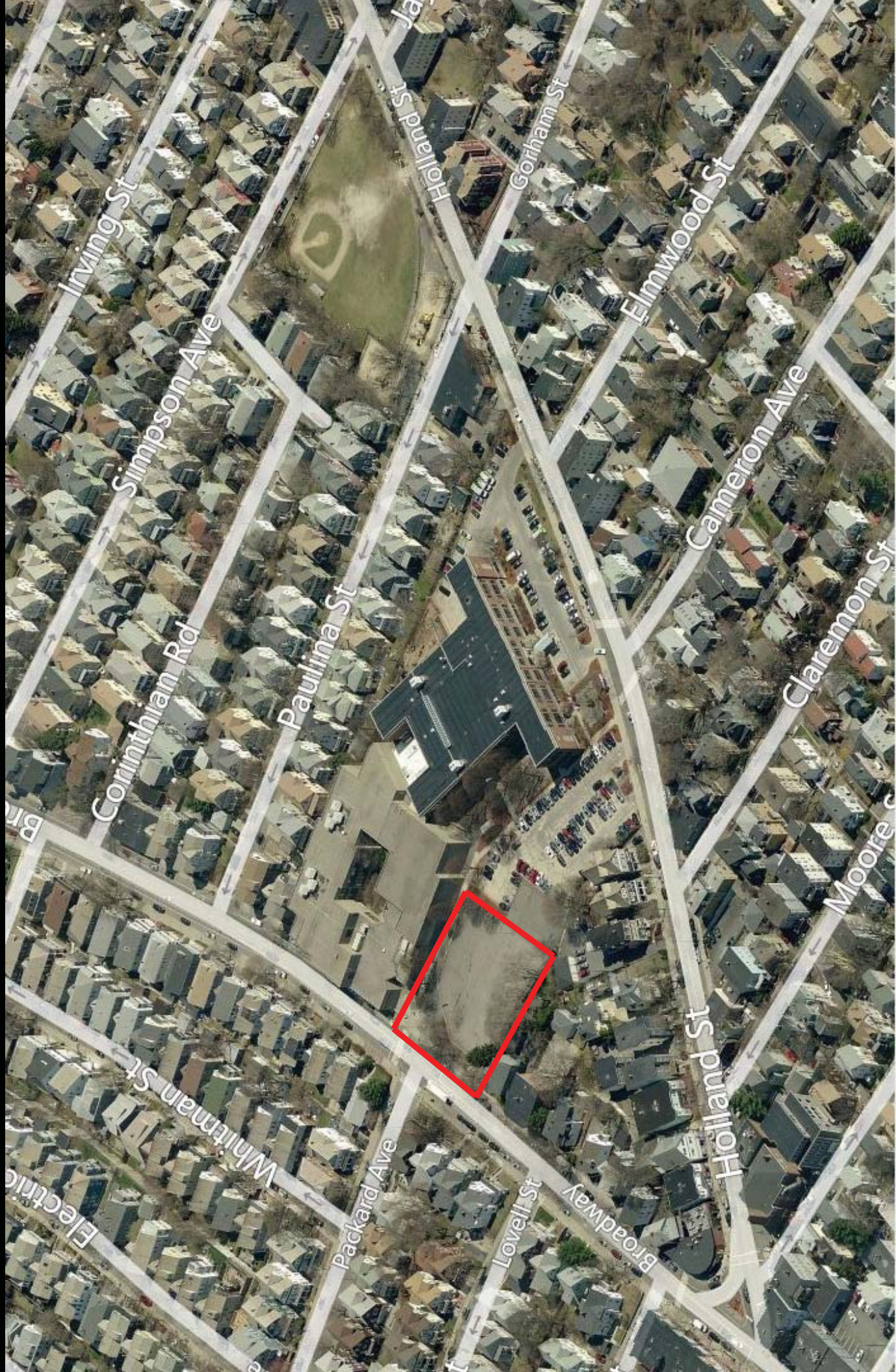
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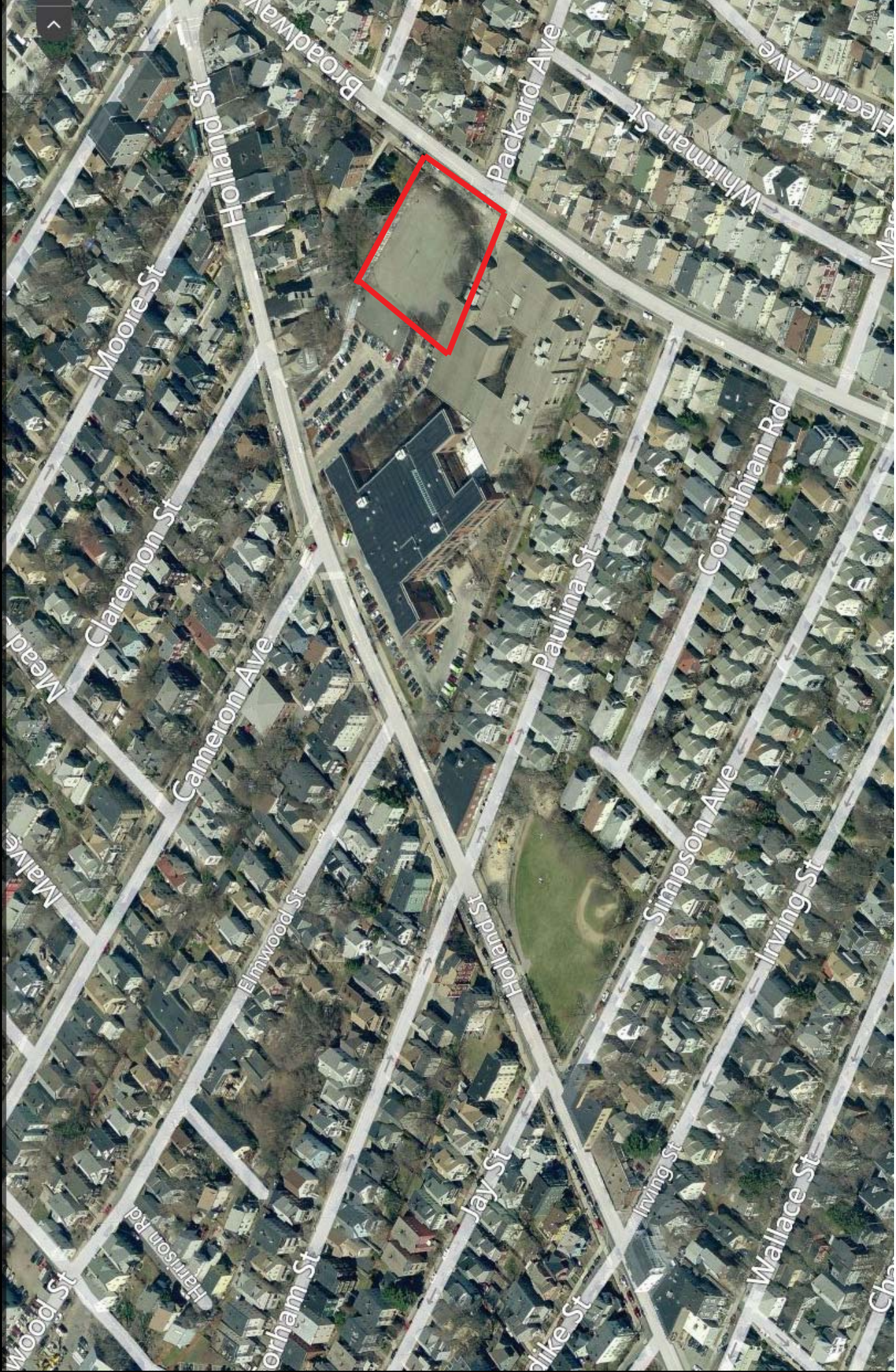
CONSTRUCTION PROGRESS



Park Site



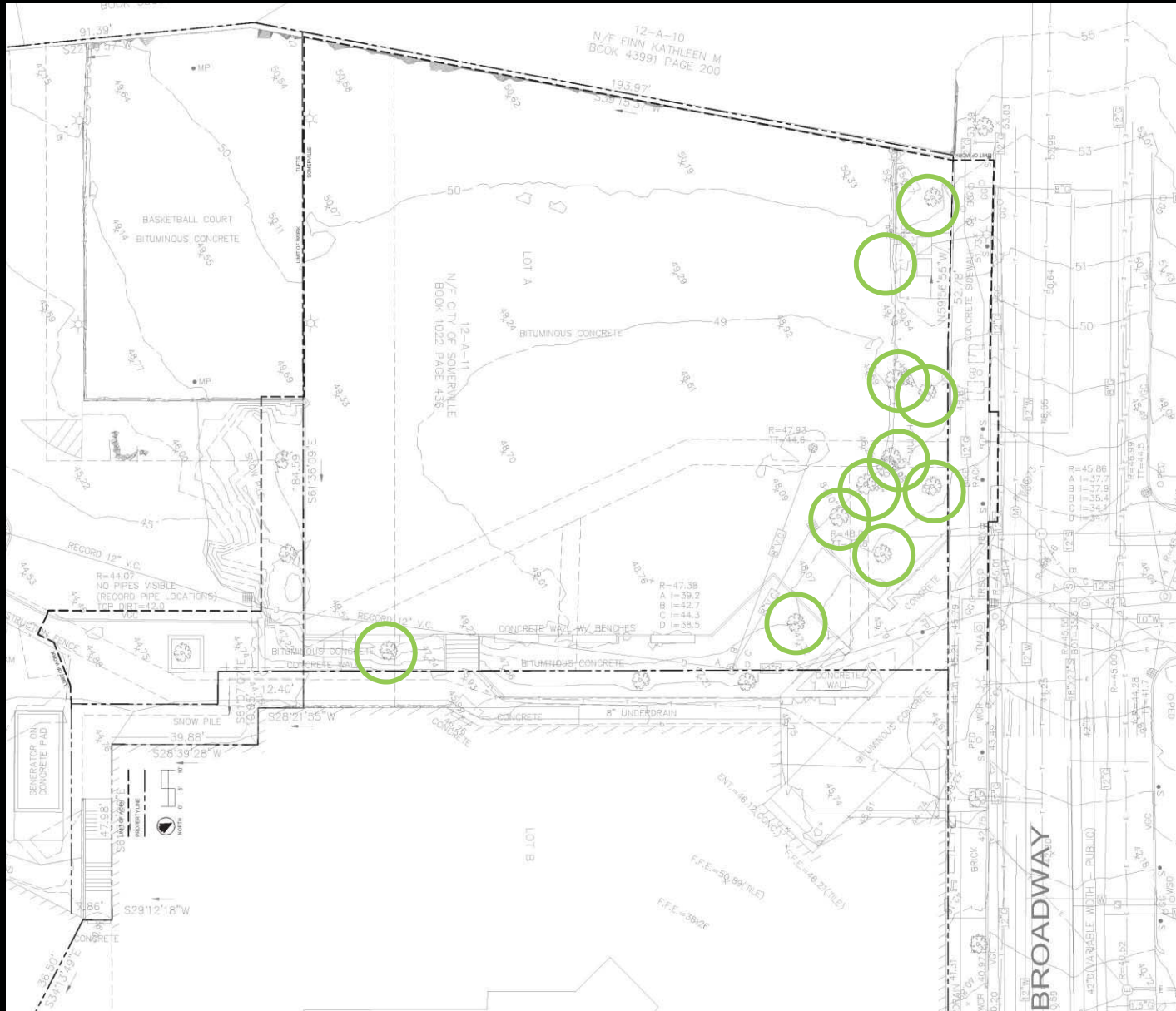
Park Site



Existing Conditions



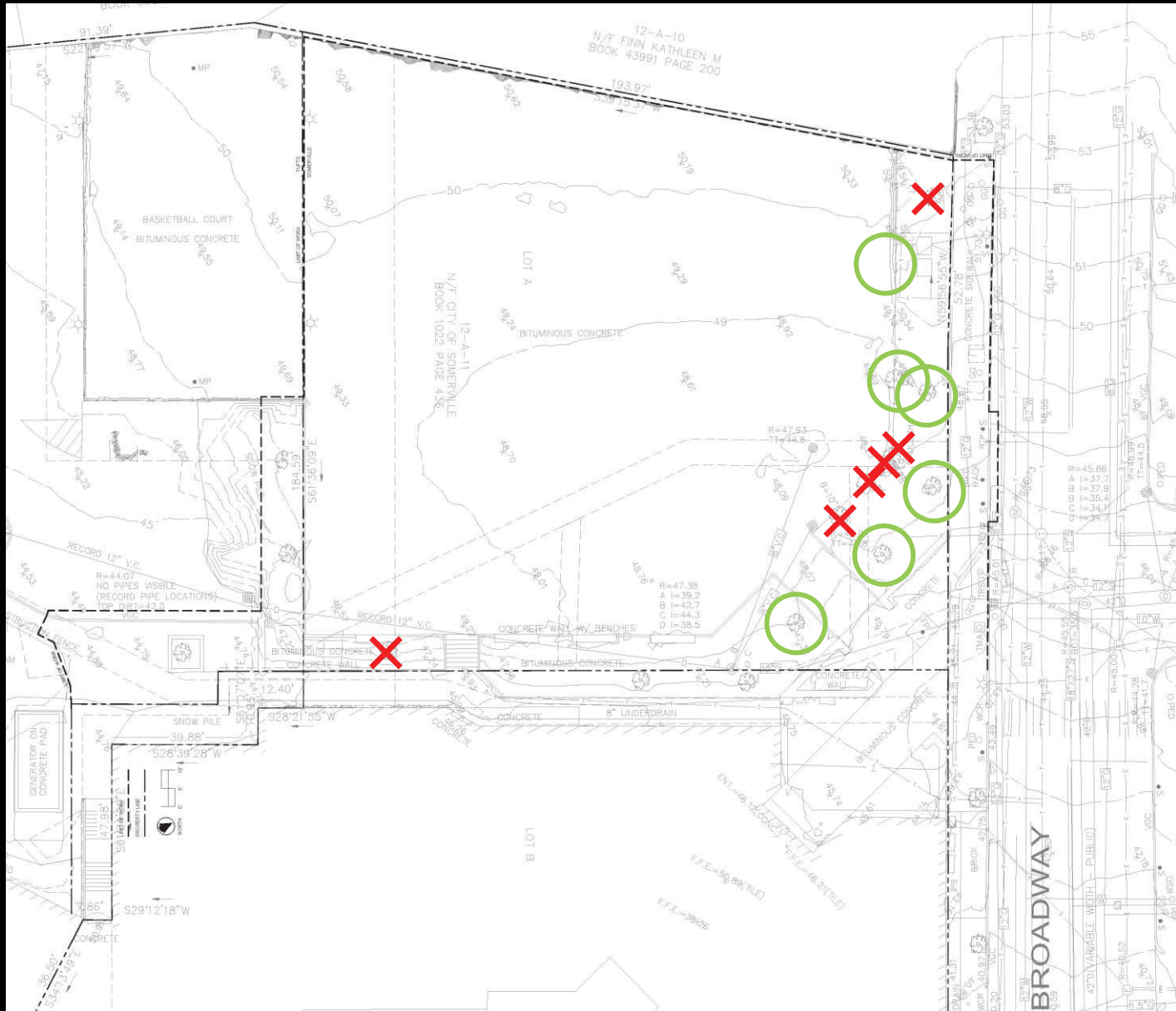
Trees



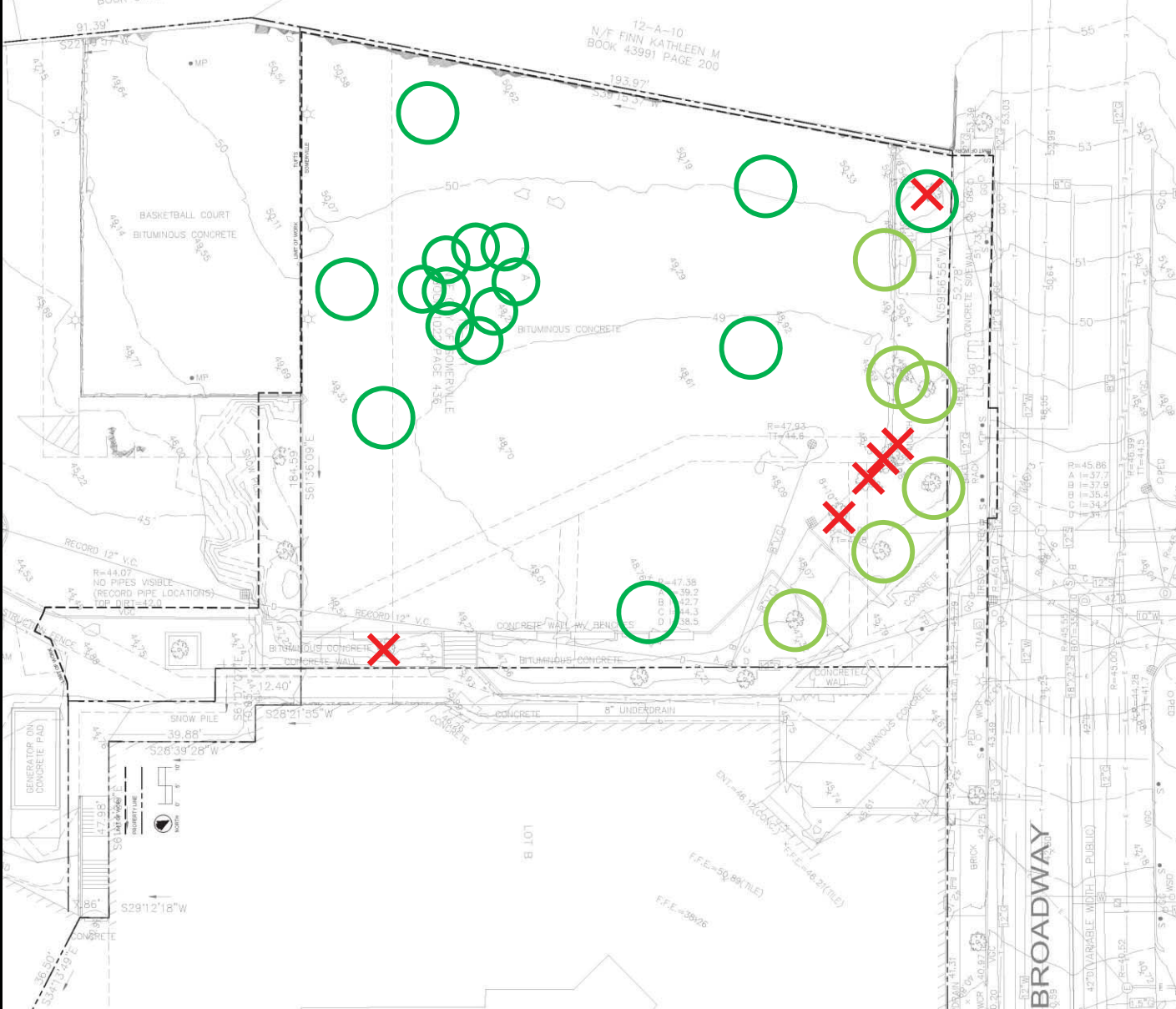
Trees

Existing to remain – 6 Trees

Removed – 6 Trees



Trees



Existing to remain – 6 Trees

Removed – 6 Trees (52" DBH)

Proposed – 16 Trees (61" Cal)

Net Gain – 10 Trees (9" DBH)

Park Plan



Park Program



Walking Paths



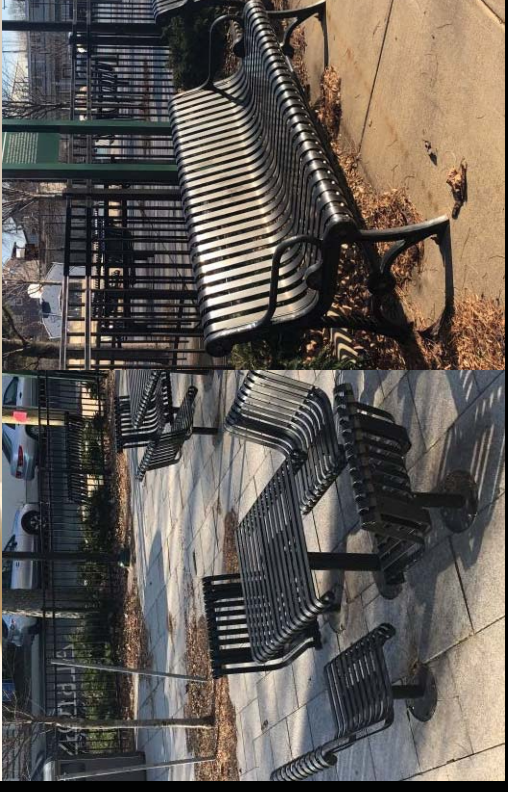
Park Plan



Multi-use Lawn



Seating



Activate the Wall



Program Opportunities



Planting Strategy



- Lush, naturalistic, & maintainable

- All season interest

- Attract biodiversity

- Plants with structure to direct circulation

- Stormwater catchment, passive irrigation

Planting | Trees



Ginkgo biloba
Ginkgo



Liriodendron tulipifera
Tulip Tree (N)

Planting | Plant Beds



Myrica pensylvanica
Bayberry (N)
5'-8' HT



Planting | Plant Beds



Thuja occidentalis
American Arborvitae (N)
2'-3' HT



Planting | Plant Beds



Cornus sericea
Yellow Twig Dogwood (N)
5'-6' HT



Planting | Plant Beds



Ilex verticillata
Winterberry (N)
3'-6' HT



Planting | Plant Beds



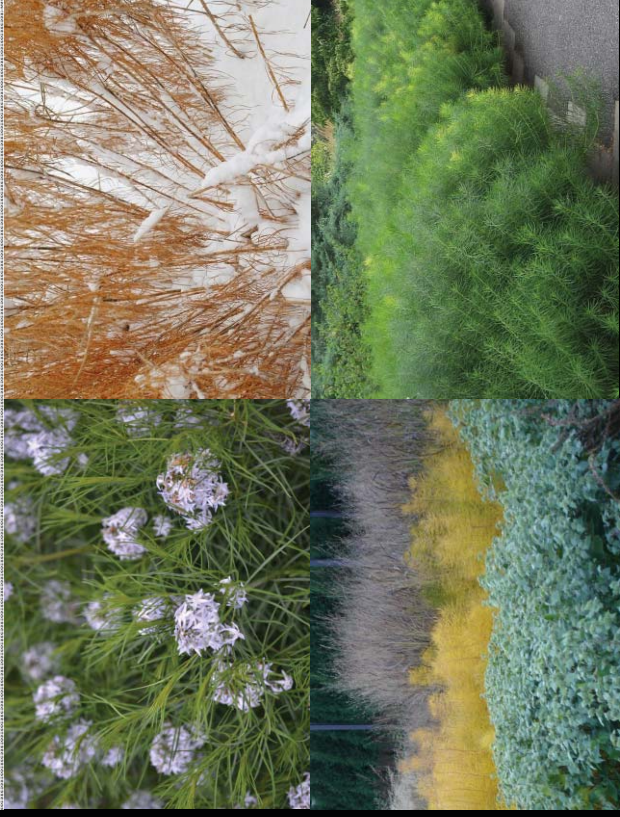
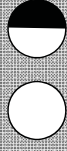
Perovskia atriplicifolia
Russian Sage
3'-4' HT



Planting | Plant Beds



Amsonia hubrichtii
Blue Star (N)
2'-3' HT



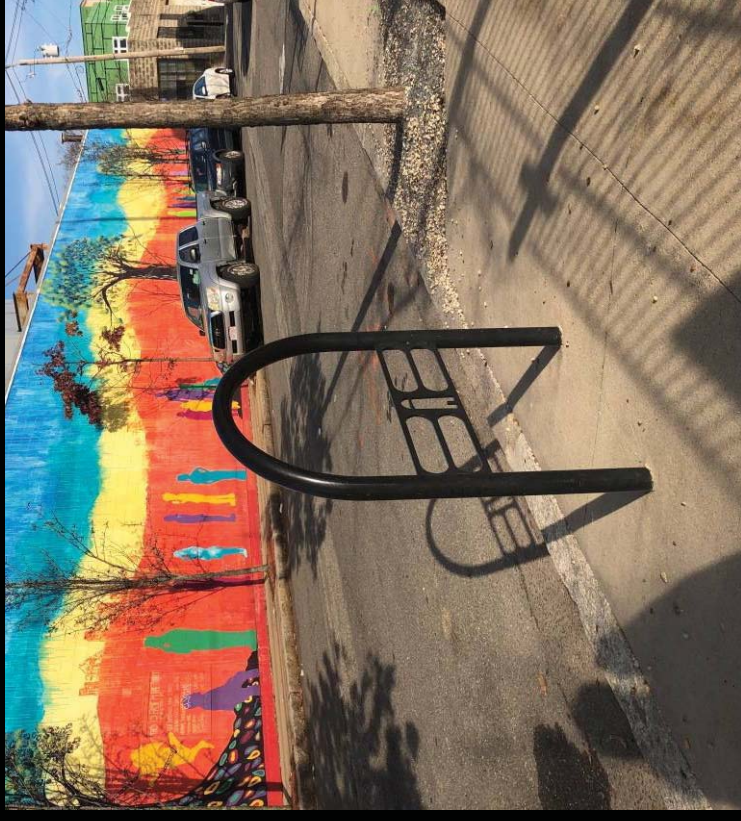
Planting | Plant Beds



Yucca filamentosa
Adam's Needle (N)
2' foliage, 4' plume HT



Bike Parking & Repair



Standard Park Furnishings



Existing View looking North



Park View looking North



What's Next?

July 2019

Groundbreaking

Spring 2020

Park Opens

Friends Group

Comments & Questions

Sunayana Thomas

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(617) 625-6600 x 2561
Sthomas@somervillema.gov

Luisa Oliveira

Senior Planner-Landscape Design
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loliveira@somervillema.gov

Sign up for Project Updates tonight.

POWDER HOUSE

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 CAMBRIDGE, MA 02139
 L 617-379-3110
 F 617-379-3110

GENERAL CONTRACTOR
 KAMVAN

T:

LANDSCAPE ARCHITECT
 BROOKHOLM
 5 DEWEE STREET
 SOMERVILLE, MA 02146
 L 617-379-9909

DATE

SCALE

PROJECT NO.

SHEET NO.

TITLE

NOT FOR CONSTRUCTION

DATE

REV.	DATE	DESCRIPTION

PARK COVER SHEET

PROJECT NUMBER	SHEET
DRAWING DATE	00.3
DATE PRINTED	AS NOTED

DRAWING LIST

- X0.3 EXISTING CONDITIONS
- L0.3 SITE PREPARATION PLAN
- L1.3 MATERIALS PLAN
- L2.3 LAYOUT PLAN
- L3.3 GRADING PLAN
- L4.3 PLANTING PLAN
- L5.3 SITE DETAILS
- E1.01 ELECTRICAL SITE LIGHTING PLAN
- E1.02 ELECTRICAL SITE LIGHTING DETAILS
- L-1/01 PHOTOMETRIC

POWDER HOUSE

106 BROADWAY
SOMERVILLE, MASS 01914

DESIGNER
MERRILL W. WOODS
202 RIVER STREET
CAMBRIDGE, MA 02139
TEL: 617-252-1310

GENERAL CONTRACTOR
KAMYAN

LANDSCAPE ARCHITECT
SOMERVILLE, MASS 01914
TEL: 617-252-1310

DATE

SCALE

PROJECT

CLIENT

BOOK

REVISION

DATE

DESCRIPTION

BY

CHECKED

DATE

DATE

DATE

DATE

DATE

DATE

DATE

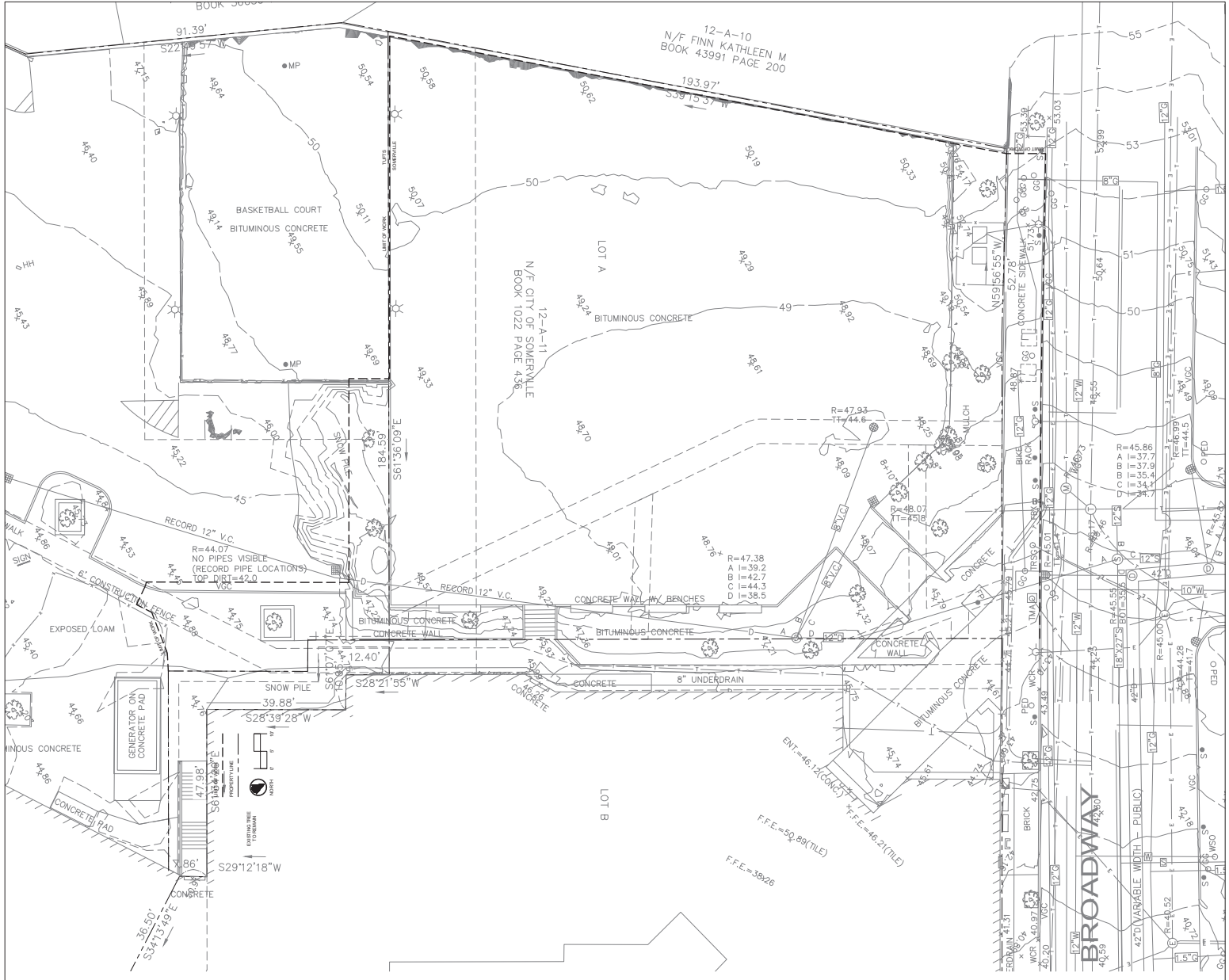
NOT FOR CONSTRUCTION

PARK EXISTING CONDITIONS PLAN

SHEET X0.3

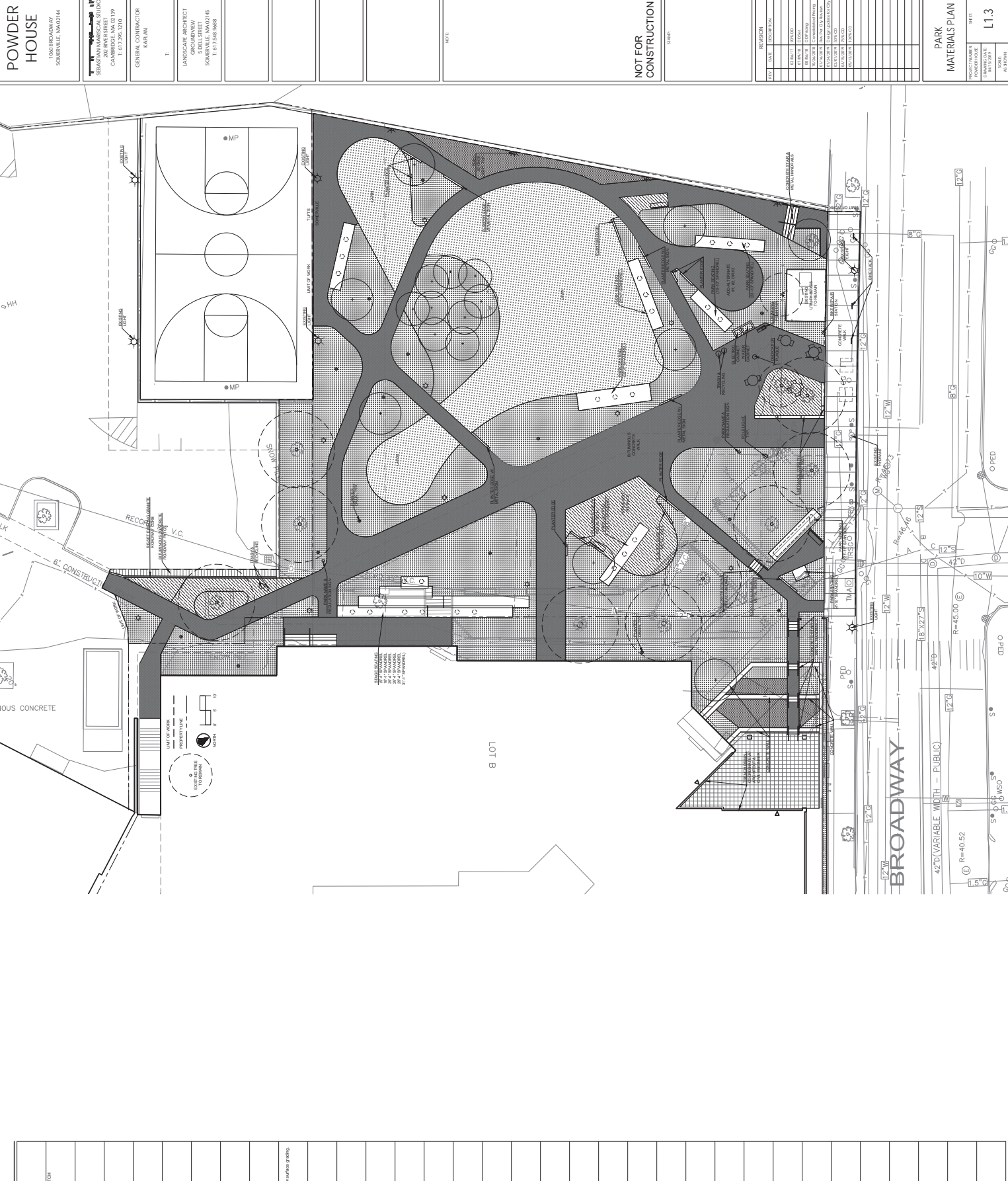
- ### LEGEND
- CATCH BASIN
 - CABLE TELEVISION MANHOLE
 - DRAIN MANHOLE
 - ELECTRIC MANHOLE
 - MISCELLANEOUS MANHOLE
 - SEWER MANHOLE
 - WATER MANHOLE
 - GAS SHUT-OFF
 - WATER SHUT-OFF
 - GAS GATE
 - WATER GATE
 - FIRE HYDRANT
 - DOWN SPOUT
 - BOSTON WATER WORKS
 - UTILITY POLE
 - UTILITY POLE WITH CONDUIT LINE TO GROUND
 - LIGHT POLE
 - LANDSCAPE LIGHT
 - HAND HOLE
 - TRASH CAN
 - REEL AND POST
 - MINOR POST
 - CONCRETE POST
 - PARKING METER
 - SIGN POST
 - DECIDUOUS TREE WITH TRUNK DIAMETER
 - CONIFEROUS TREE WITH TRUNK DIAMETER
 - HANDICAP PARKING
 - SPOT ELEVATION
 - PAVING CURB
 - BITUMINOUS CONCRETE BERM
 - SLOPED GRANITE CURB
 - VERTICAL GRANITE CURB
 - VERTICAL CONCRETE CURB
 - WHEELCHAIR RAMP
 - LANDSCAPE TIMBER
 - RIM ELEVATION EQUALS
 - INVERT ELEVATION EQUALS
 - TOP OF HOOD ELEVATION EQUALS
 - NO PIPES VISIBLE
 - TOP OF WALL
 - TOP OF WATER
 - UNDERGROUND CABLE TELEVISION LINE
 - UNDERGROUND DRAIN LINE
 - UNDERGROUND ELECTRIC LINE
 - UNDERGROUND GAS LINE
 - UNDERGROUND TELEPHONE LINE
 - UNDERGROUND WATER LINE
 - OVERHEAD WIRES
 - MONITORING WELL
 - BENCH MARK

SURVEY NOTES
ALL DIMENSIONS UNLESS OTHERWISE NOTED
ALL ELEVATIONS UNLESS OTHERWISE NOTED



MATERIALS LEGEND

	INTERLOCKING CONCRETE WALK Sheet 101.3
	POLISHED CONCRETE Sheet 101.3
	CONCRETE SLAB Sheet 101.3
	CONCRETE PAVING Sheet 101.3
	STONE SET SURFACE Sheet 101.3
	GRANITE TILE PAVERS Sheet 101.3
	GRANITE TILE Sheet 101.3
	PLANT BED Sheet 101.4
	CONCRETE EDGE Sheet 101.3
	GRANITE HORIZONTAL CORE Sheet 101.3
	GRANITE VERTICAL CORE Sheet 101.3
	PLANTING EDGE MATERIAL SKIN Sheet 101.3
	METAL LAMINAR Sheet 101.3
	GRANITE SEATING Sheet 101.3
	GRANITE BENCHES Sheet 101.3
	BENCH Sheet 101.3
	TABLE SEATING Sheet 101.3
	PARK BENCH Sheet 101.3
	WASTE STATION Sheet 101.3
	WATER STATION Sheet 101.3
	TRASH & RECYCLING ENCLOSURE Sheet 101.3
	PARK SIGNAGE & REGULATION Sheet 101.3
	INFORMATION KIOSK Sheet 101.3
	CONCRETE COLUMN Sheet 101.3
	TREE Sheet 101.4
	IRRIGATION Sheet 101.3
	LIGHT FIXTURE Sheet 101.3
	WALL SEATING Sheet 101.3
	LIGHT POLE Sheet 101.3
	WATER CABINET Sheet 101.3
	ALTERNATIVE A1 Sheet 101.3
	ALTERNATIVE B1 Sheet 101.3
	ALTERNATIVE C1 Sheet 101.3



POWDER HOUSE
100 BROADWAY
SOMERVILLE, MA 02144

ARCHITECT: **TP**
SOMERVILLE ARCHITECT
202 RIVER STREET
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GENERAL CONTRACTOR:
KAMVAN

LANDSCAPE ARCHITECT:
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5 DEER STREET
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TEL: 617-750-1110

DATE: _____
REVISION: _____

NOT FOR CONSTRUCTION

PARK MATERIALS PLAN

PROJECT NUMBER: _____
DRAWING DATE: _____
DRAWING SCALE: _____
SHEET: _____

PROJECT TITLE: _____

DATE: _____

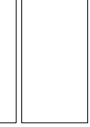
POWDER HOUSE

106 BROADWAY
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500 WASHINGTON STREET
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TEL: 617-759-1110



NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION

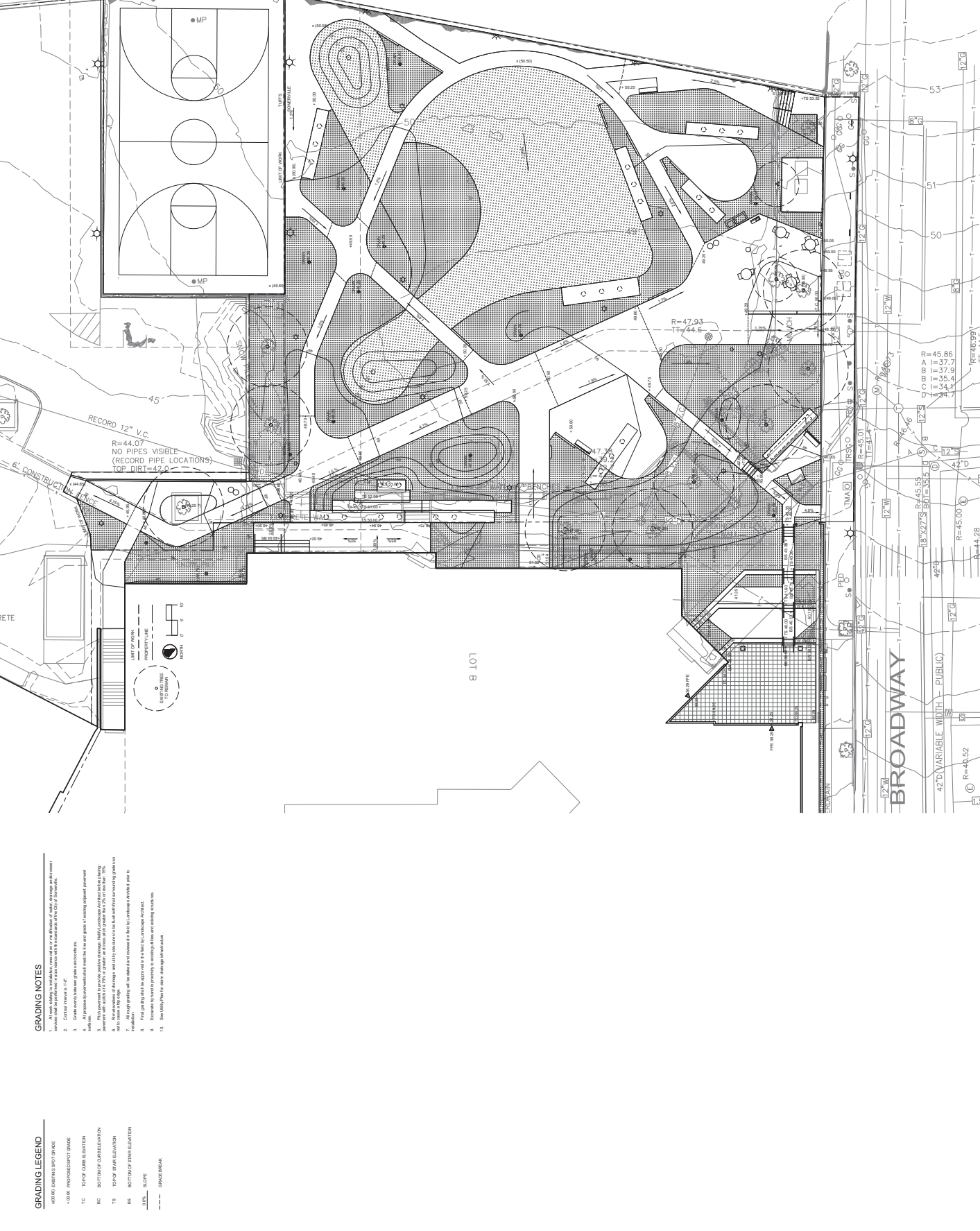
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106BROADWAY

ISSUE DATE
06/10/2020

DATE PLOTTED
06/10/2020

PARK GRADING PLAN

SHEET
L3.3

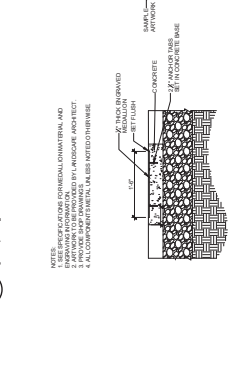
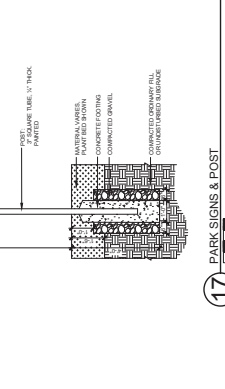
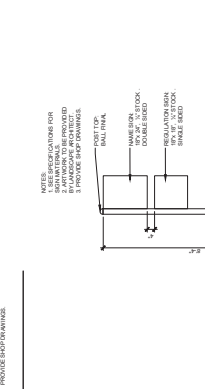
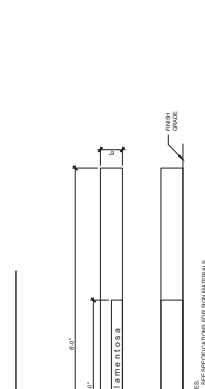
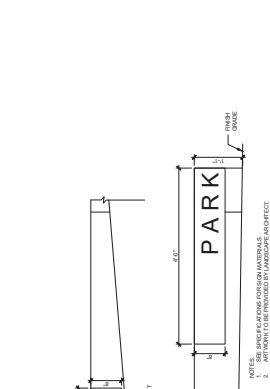
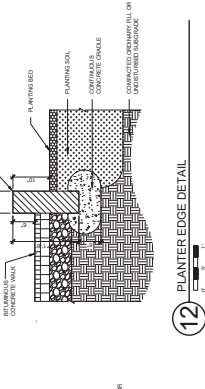
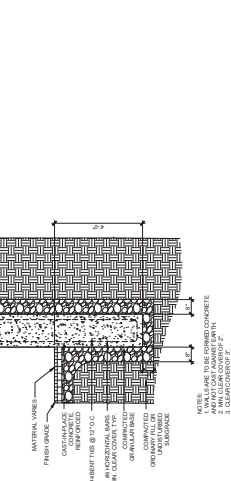
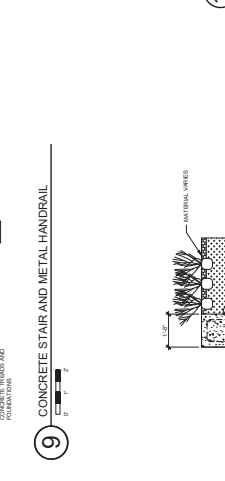
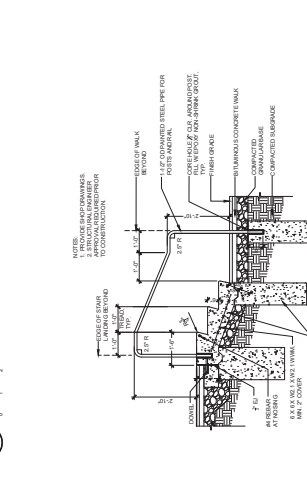
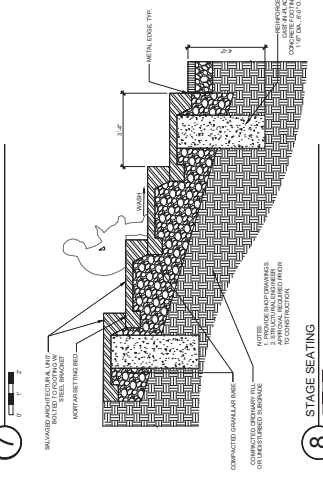
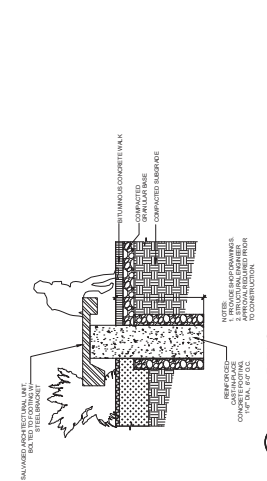
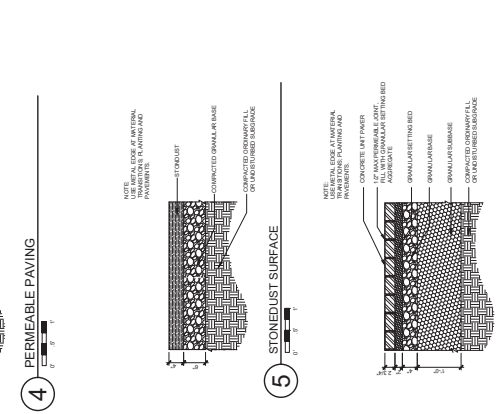
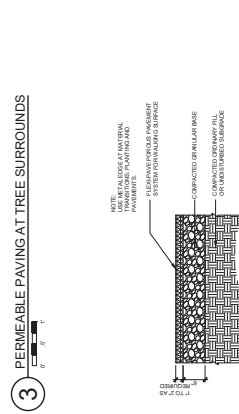
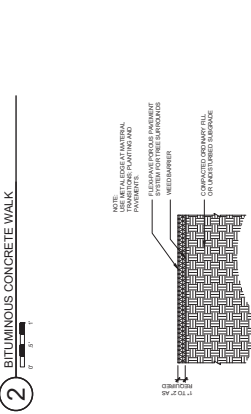
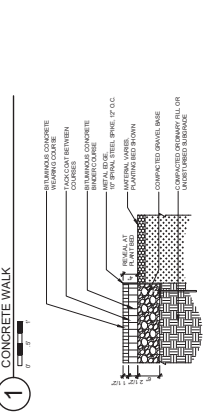
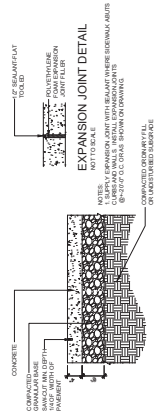


GRADING LEGEND

- 100.00 EXISTING SPOT GRADE
- +10.00 PROPOSED SPOT GRADE

GRADING NOTES

1. Grading shall conform to the specifications for grading as shown on the plan and be installed in accordance with the standards of the City of Somerville.
2. Grading shall be installed in accordance with the standards of the City of Somerville.
3. Grading shall be installed in accordance with the standards of the City of Somerville.
4. Grading shall be installed in accordance with the standards of the City of Somerville.
5. Grading shall be installed in accordance with the standards of the City of Somerville.
6. Grading shall be installed in accordance with the standards of the City of Somerville.
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8. Grading shall be installed in accordance with the standards of the City of Somerville.
9. Grading shall be installed in accordance with the standards of the City of Somerville.
10. Grading shall be installed in accordance with the standards of the City of Somerville.



POWDER HOUSE

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GENERAL CONTRACTOR
KAM-AN

LANDSCAPE ARCHITECT
DANIEL SWANBY
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SOMERVILLE, MA 02148
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DATE: 10/20/2016

PROJECT NO: 160101

NOT FOR CONSTRUCTION

REVISIONS

DATE

DESCRIPTION

NO. OF SHEETS

TOTAL SHEETS

DATE OF ISSUE

DATE OF REVISION

DATE OF REVISION

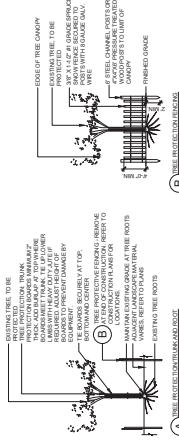
DATE OF REVISION

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DATE OF REVISION

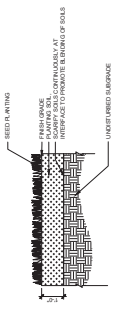
LANDSCAPE DETAILS

PROJECT NUMBER: 160101
SHEET: L5.4
DATE: 10/20/2016
DRAWN BY: JWH
AS NOTED

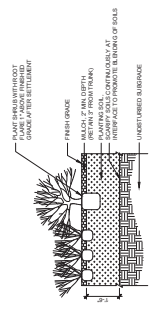


4 TREE PROTECTION

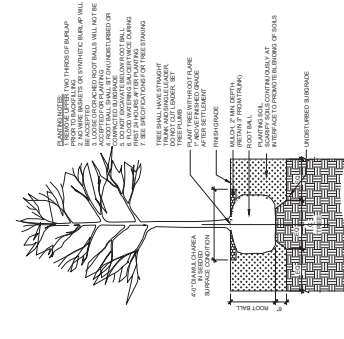
NOTE: THE ENCLOSURE SHALL BE CONSTRUCTED TO PROTECT THE TREE TRUNK AND ROOTS FROM CONSTRUCTION ACTIVITIES. THE ENCLOSURE SHALL BE CONSTRUCTED OF 4\"/>



5 LAWN PLANTING, TYP.



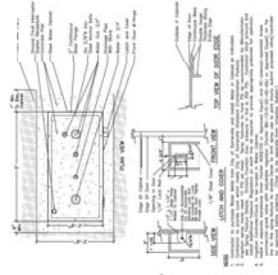
6 SHRUB & PERENNIAL PLANTING, TYP.



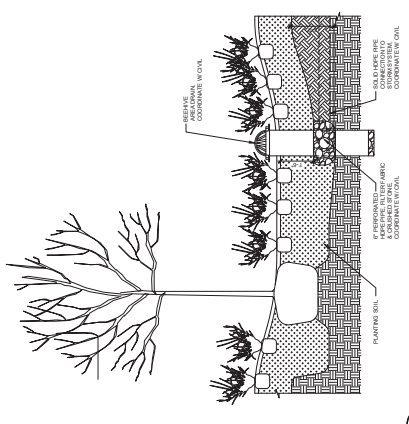
7 TREE PLANTING, TYP.



2 ELECTRIC CABINET - CITY OF SOMERVILLE STANDARD



1 WATER CABINET - CITY OF SOMERVILLE STANDARD



3 PLANTER DRAIN

POWDER HOUSE

106B BROADWAY
SOMERVILLE, MA 02144

GENERAL CONTRACTOR
MARIAN CONSTRUCTION
142 DENNEY ST.
CAMBRIDGE, MA 02139
1-617-750-1310

OWNER
GENERAL CONTRACTOR
MARIAN CONSTRUCTION
142 DENNEY ST.
CAMBRIDGE, MA 02139
1-617-750-1310

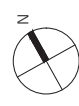
GENERAL CONTRACTOR
MARIAN CONSTRUCTION
142 DENNEY ST.
CAMBRIDGE, MA 02139
1-617-750-1310

CIVIL ENGINEER
EB CONSULTING
BURLINGTON, MA 01803
1-781-425-5110

ELECTRICAL ENGINEER
WOODWARD & ASSOCIATES
1070 WASHINGTON STREET
HARTFORD, CT 06119
1-860-411-1111

CODE CONSULTANT
GORDIAN ASSOCIATE
1070 WASHINGTON STREET
BOSTON, MA 02110
1-617-748-7800

LANDSCAPE ARCHITECT
GRANDVIEW
50 WILMINGTON STREET
BOSTON, MA 02116
1-617-546-9882



DATE: _____

REVISION: _____

DESCRIPTION: _____

PROJECT NUMBER: _____

DRAWING DATE: 04/10/19

DATE PLOTTED: _____

SHEET: E1.02

PROJECT NAME: _____

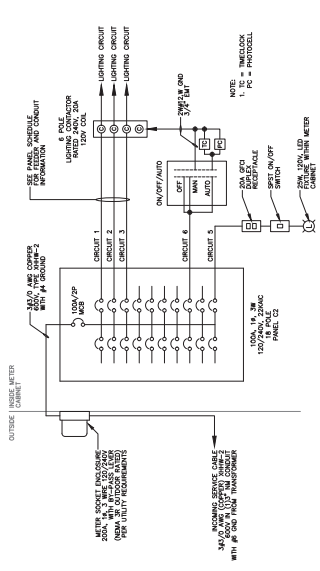
LOAD CENTER PANEL SCHEDULE - C1

TYPE	DESCRIPTION	MANUFACTURER & CATALOG NUMBER	LAMPS	WARRANT	VOLTS	WATTS	REMARKS
FS4	DOMUS SMALL	OSRAM SYLVANIA LED-100-WATT-FAIR	1	LED	120	50W	SEE NOTES BELOW
WT1	LED WALL SCONCE (1) BODIES	OSRAM SYLVANIA LED-100-WATT-FAIR	1	LED	208	65W	SEE NOTES BELOW

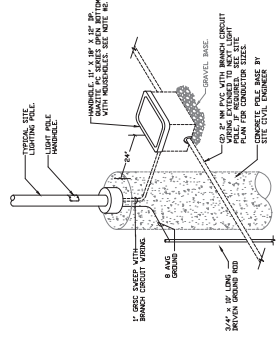
- FIGURE SCHEDULE NOTES:
- 1. ELECTRICAL CONTRACTOR SHALL CONFIRM FIXTURE, POLE BASE, COVER COLOR/FINISH AND LAMP COLOR WITH LANDSCAPE ARCHITECT.
 - 2. CONTRACTOR SHALL CONFIRM QUANTITY AND LOCATION OF FIXTURES WITH SITE/CIVIL ENGINEER AND LANDSCAPE ARCHITECT.
 - 3. CONTRACTOR SHALL CONFIRM MOUNTING HEIGHT OF GFI RECEPTACLE WITH LANDSCAPE ARCHITECT.

LOAD CENTER PANEL SCHEDULE - C1

BRANNO	FRASE 1	FRASE 2	FRASE 3	FRASE 4	FRASE 5	FRASE 6	FRASE 7	FRASE 8	FRASE 9	FRASE 10	FRASE 11	FRASE 12
1	2P	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A
2	2P	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A
3	2P	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A
4	2P	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A
5	2P	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A
6	2P	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A
7	2P	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A
8	2P	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A
9	2P	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A
10	2P	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A
11	2P	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A
12	2P	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A	100A

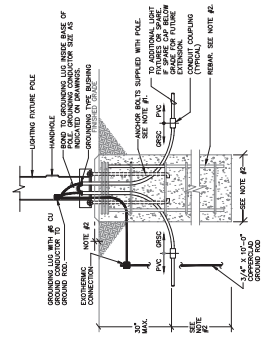


1 Lighting Load Center Riser Detail



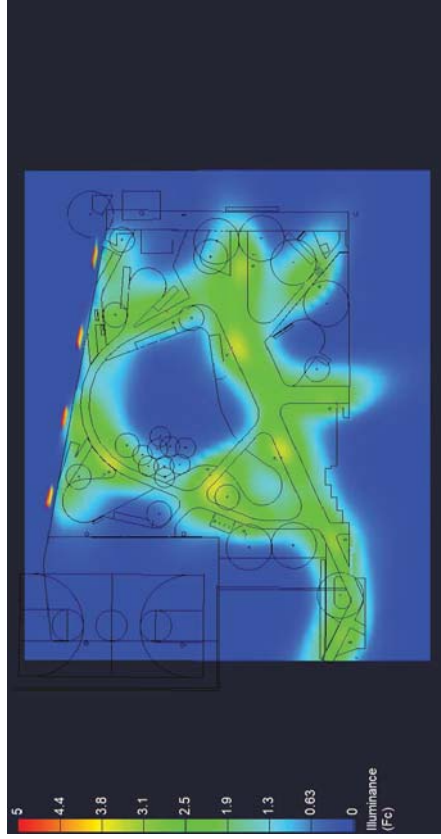
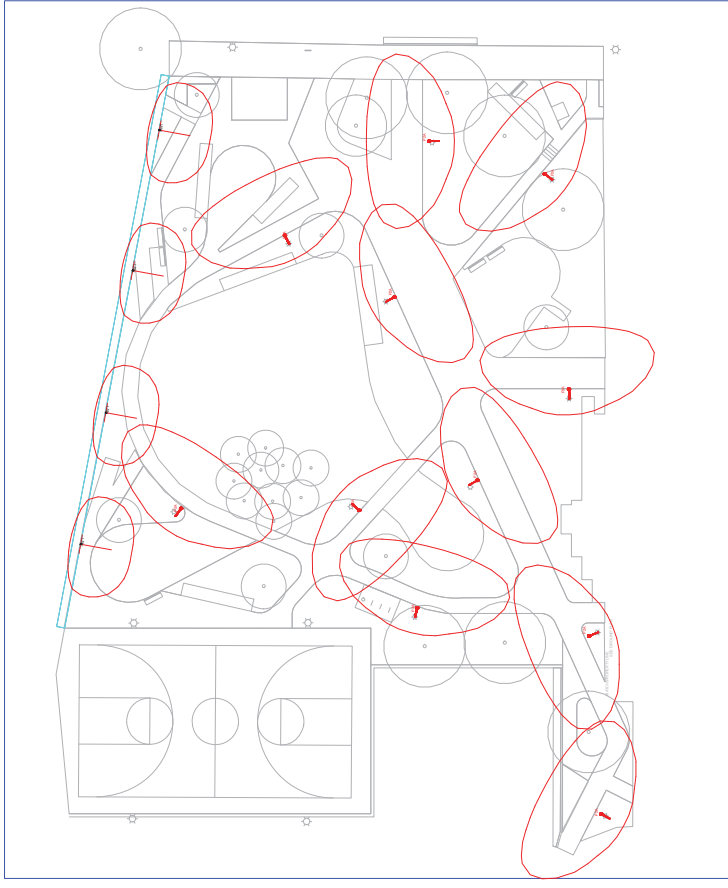
- NOTES:
- 1. INSTALLATION TYPICAL FOR LANDSCAPED OR PAVED SIDEWALK AREAS. HANDHOLE SHALL NOT BE LOCATED IN PROXIMITY TO DRIVEWAYS, DRIVEWAYS, DRIVEWAYS, DRIVEWAYS, DRIVEWAYS.
 - 2. PROVIDE IN-LINE, WATERPROOF FUSE HOLDERS-BUS-TYPED, TYPE #62 OR #64, AS REQUIRED.
 - 3. REFER TO TYPICAL LIGHT POLE BASE DETAIL.

2 Site Lighting Fixture Handhole Detail



- NOTES:
- 1. INSTALLATION TYPICAL FOR LANDSCAPED OR PAVED SIDEWALK AREAS. HANDHOLE SHALL NOT BE LOCATED IN PROXIMITY TO DRIVEWAYS, DRIVEWAYS, DRIVEWAYS, DRIVEWAYS, DRIVEWAYS.
 - 2. PROVIDE IN-LINE, WATERPROOF FUSE HOLDERS-BUS-TYPED, TYPE #62 OR #64, AS REQUIRED.
 - 3. REFER TO TYPICAL LIGHT POLE BASE DETAIL.

3 Site Lighting Pole Base Detail



Luminaires Schedule	Series	Catalog #	IES Class
QV	Domus Small	DOSS-55W/32LED3K-T-LE2F	Type II
W1	IoT Series	IoT-L16L-55D-NW-G1-3	Type III

GENERAL NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 6. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 7. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 8. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 9. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 10. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

REVISIONS:
 REV. NO. _____



1000 S. BRADSHAW BLVD.
 SUITE 100
 CHANDLER, AZ 85226

PROJECT TITLE: **Somerville - PHJ Project**
 DRAWING TITLE: **OPTIONAL DOWNING SMALL 16 POLE & WALL SCONES PROFORMERIC CALCULATION**

SCALE: NTS
 DATE: 02/27/2019
 DRAWN BY: DP
 SHEET