

# MURRAY RESIDENCE

90 BARTLETT ST  
SOMERVILLE, MA 02145

CONSTRUCTION SET - JUNE 2017

ARCHITECT:  
MICHAEL KIM ASSOCIATES  
1 Holden Street #3  
Brookline, MA 02445  
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CLIENT/OWNER:  
GORDON MURRAY & HYERYUN KIM  
90 Bartlett St  
Somerville MA 02145  
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Email: gmurr4y@gmail.com  
Contact: Gordon Murray

CONTRACTOR:  
TBD

SURVEYOR:  
SUMMIT SURVEYING

Tel:  
Email:  
Contact:

Tel:  
Email:  
Contact: Chuck Brennan

### DRAWING INDEX:

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### GENERAL NOTES:

- Contractor shall verify all dimensions and notify Architect of any discrepancies ambiguities, or inconsistencies prior to proceeding with the work.
- Stairways
  - Req'd stairways shall not be less than 3'-0" in clear width. Max rise shall be 8 $\frac{1}{4}$ " min. run shall be 10" with nosing not exceeding 1 $\frac{1}{4}$ " min. headroom shall be 6'-6".
  - Handrails shall be located, in each stairway with more than 3 risers, at a height of 30" min. & 38" max. measured vertically from the nosing of the treads. Max clear opening between balusters/rails shall not exceed 4".
- Window sizes shown within are based generically on Harvey.
  - Glazing closer than 18" to the floor and exceeding 6 square feet in area must be tempered.
  - Glazing closer than 24" to a door must be tempered.
- Bearing plates shall match or exceed the width of all beams that bear upon them.
- Dimensions standards used within the documents are as follow, unless otherwise noted:
  - Exterior dimensioning at building corners represent an outside of stud dimension.
  - Interior dimensioning at stairs represent a dimension to the finished face of the stair.
- Structural Headers & Beams shall bear on the following:
  - Laminated Veneer Lumber (LVL) products specified within are sized for Micro=Lam Brand, LVLs shall be handled and installed in strict accordance with the manufacturers specifications,
- All ductwork and hot water piping shall be insulated per state of Massachusetts Building & Energy Codes

### ZONING ANALYSIS

#### PROPERTY DATA (PER SOMERVILLE ASSESSOR):

Address: 90 Bartlett St  
Parcel ID: 7472  
Zoning District: RA Residence A  
Occupancy: Two-Family  
Year Built: 1920

#### DIMENSIONAL REQUIREMENTS [TO BE UPDATED]:

Lot size - Minimum:	10,000 S.F	
Lot size - Actual	4,126 S.F	[EXIST. NON-CONFORMING]
Lot width - Minimum	65 FT	
Lot width - Actual	40 FT	[EXIST. NON-CONFORMING]
Height - Maximum	35 FT	
Height - Actual	23.5 FT	[CONFIRM]
Stories - Maximum	2.5	
Stories - Actual	2	[EXIST. CONFORMING]
Front Yard - Minimum	15 FT	
Front Yard - Actual	28.9 FT	[EXIST. CONFORMING]
Side Yard Left - Minimum	7.5 FT	
Side Yard Left - Actual	9.1 FT	[EXIST. CONFORMING]
Side Yard Right - Minimum	7.5 FT	
Side Yard Right - Actual	1.7 FT	[EXIST. NON-CONFORMING]
Rear Yard - Minimum	20 FT	
Rear Yard - Actual	30.5 FT	[EXIST. CONFORMING]
Open Space - Min.	30%	
Open Space - Actual	82%	[EXIST. CONFORMING]

#### FLOOR AREA [PER ASSESSOR, NO CHANGE]:

Lot Size: 4,126 sf  
Frontage: 60 ft  
F.A.R. - Max. Allowable: 0.75  
Living Area - Current: 3,757 sf  
First Floor: 1,442 sf  
Second Floor: 1,442 sf  
Attic: 873 sf  
F.A.R. - Current: 0.91 [NON-CONFORMING]

\*NO CHANGE OR ADDITION



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#	DATE	DESCRIPTION
REVISIONS		

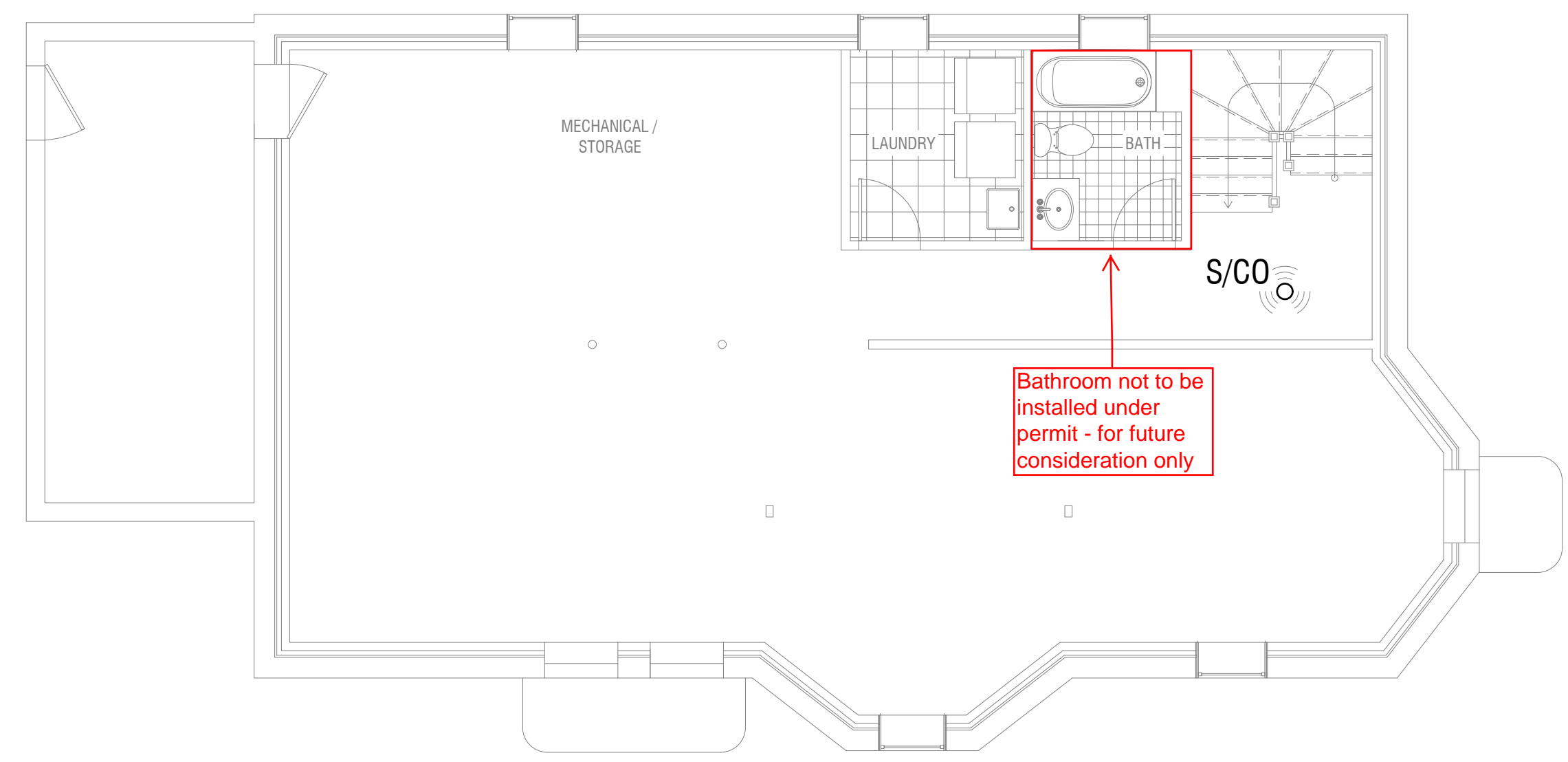
Date Issued: June 28, 2017

Drawing Scale: 1/4" = 1'-0"

COVER

GO.O

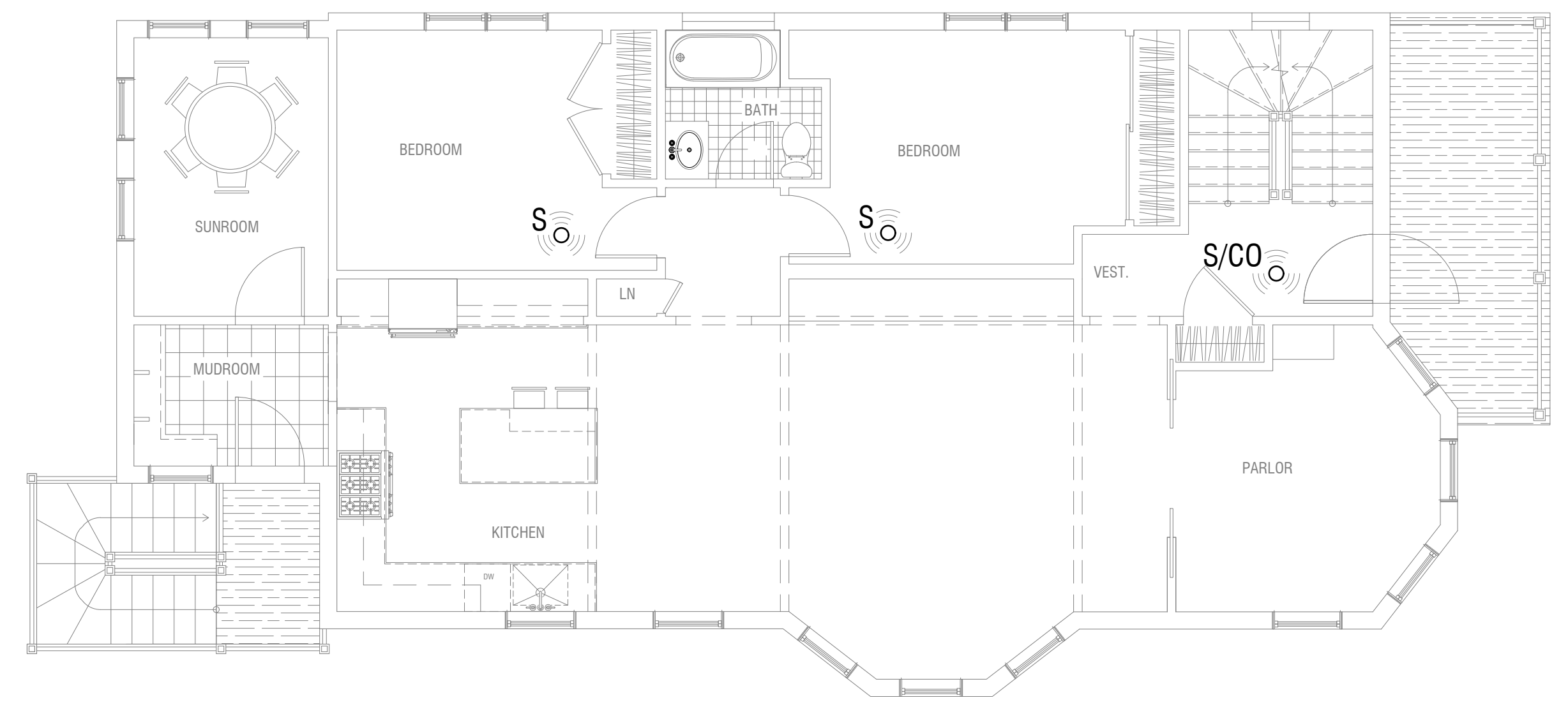
3"=1'  
SCALE  
0 2 4 6 8 10 12 20  
1-1/2"=1'  
SCALE  
0 1 2 4 8  
1/4"=1'  
SCALE  
0 5 10 20



1 Basement Life Safety Plan  
3/16" = 1'-0"

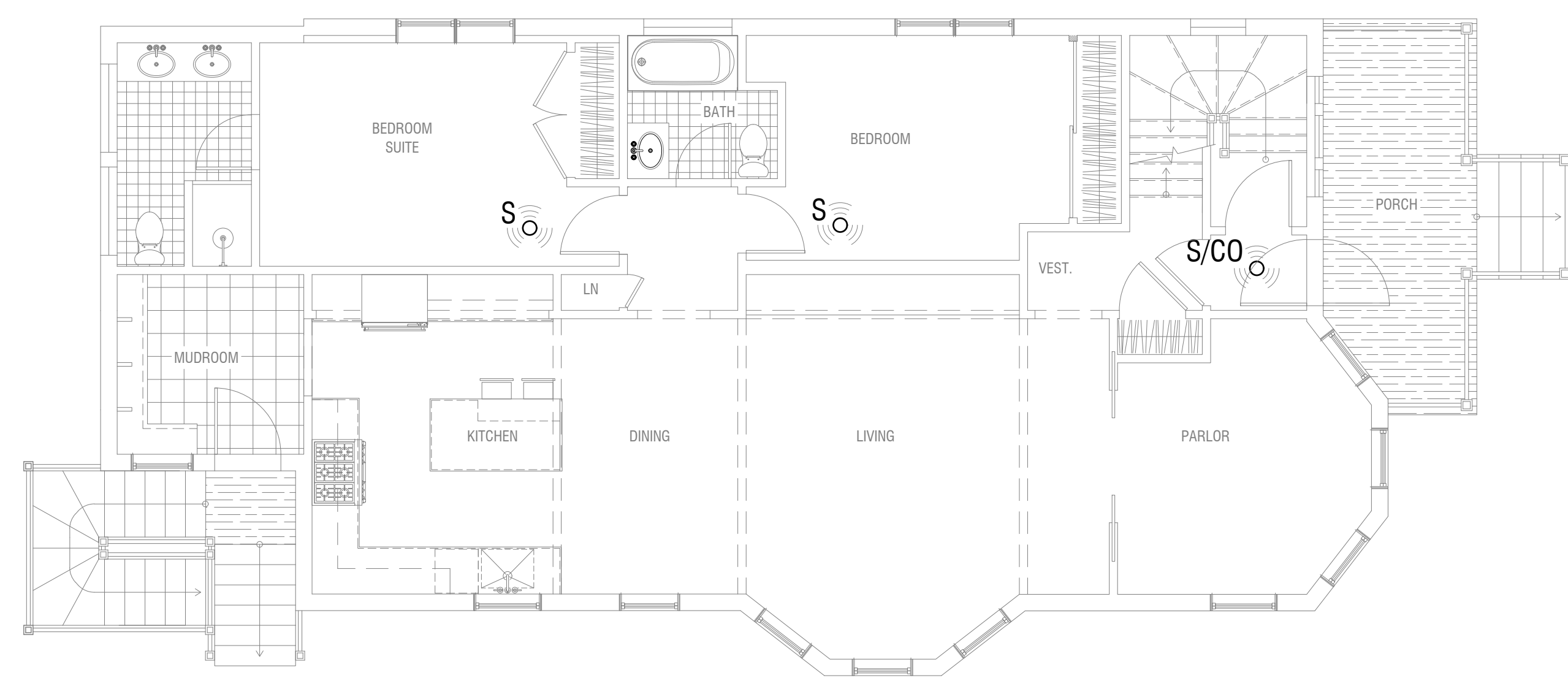
**LIFE SAFETY LEGEND**

- H Heat Detector
- S/CO Smoke/ CO Detector
- S Smoke Detector
- CO Dedicated CO detector



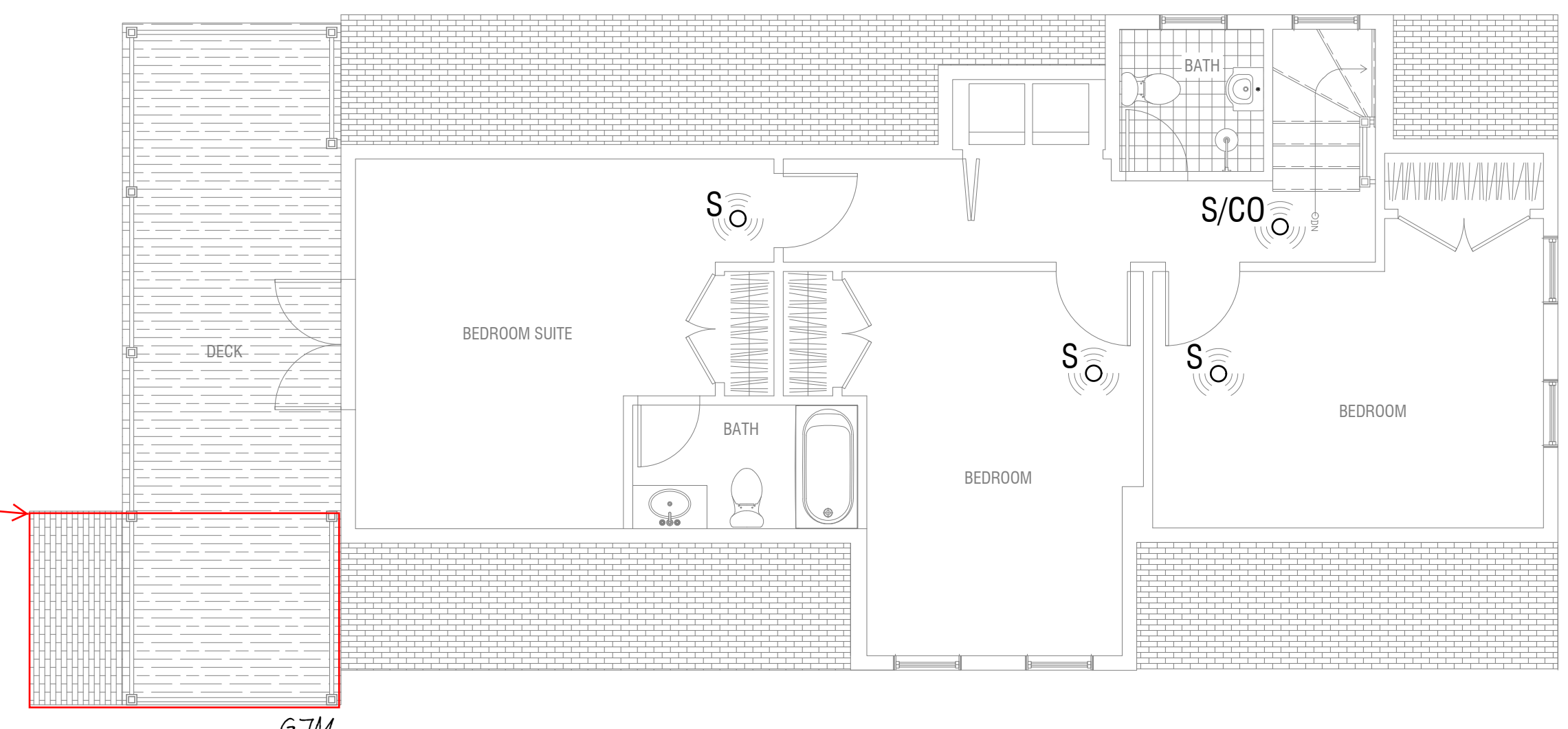
3 Second Floor Life Safety Plan  
3/16" = 1'-0"

**NOTE:**  
-Confirm locations on site with Architect.  
-All detectors should be hard-wired and photoelectric.



2 First Floor Life Safety Plan  
3/16" = 1'-0"

Edit: Deck will not extend beyond the current porch boundaries. The area highlighted within the red box will not be constructed.



4 Attic Life Safety Plan  
3/16" = 1'-0"

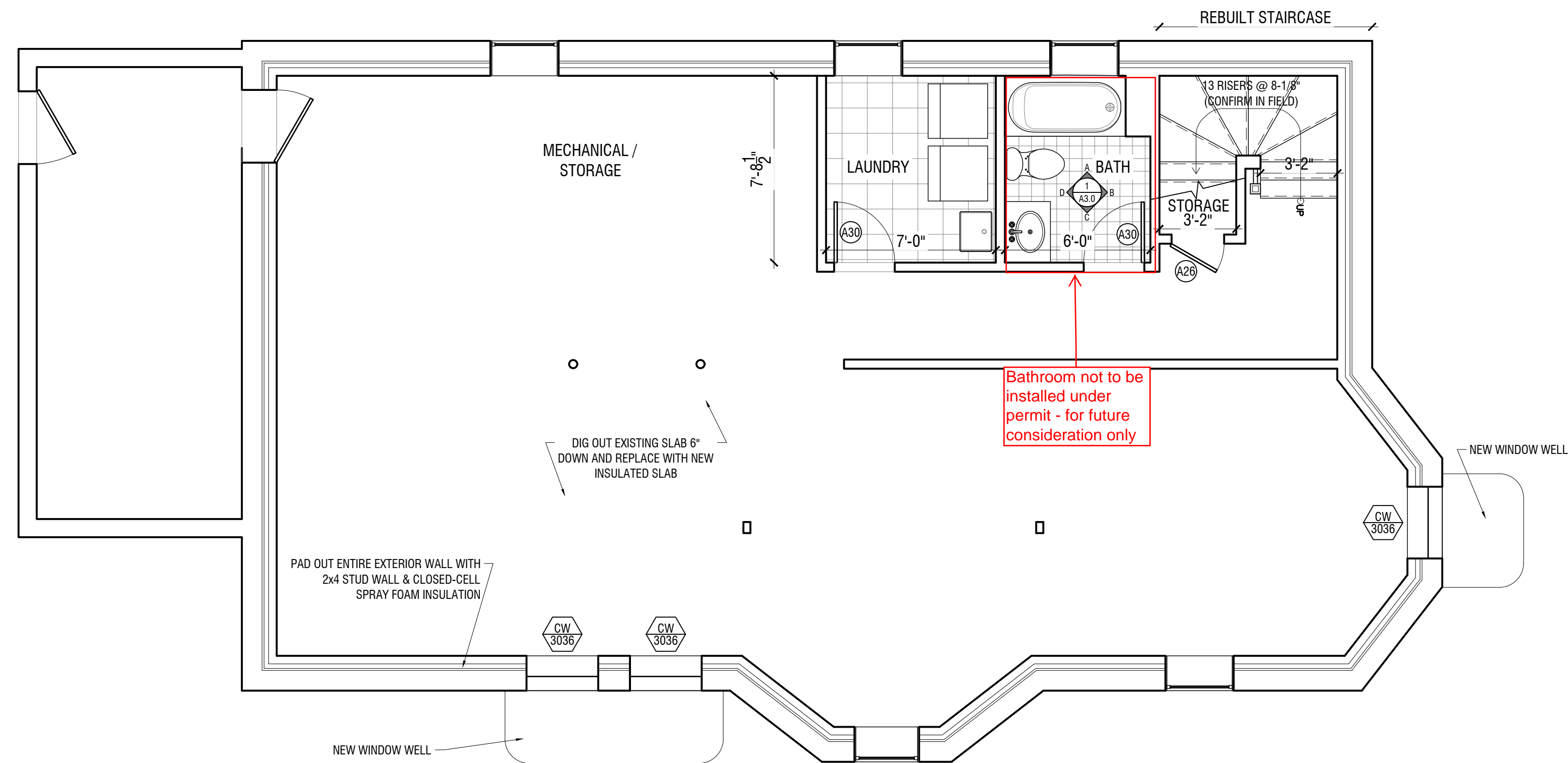
#	DATE	DESCRIPTION



3"=1'  
SCALE  
2 0 1 1/2"=1'  
SCALE  
6' 0 1/2"=1'  
SCALE  
4' 1/4"=1'  
SCALE  
12 0 1/4"=1'  
SCALE  
8 1/4"=1'  
SCALE  
20 1/8"=1'  
SCALE  
10 1/4"=1'  
SCALE  
7-10"

**PLAN KEY:**

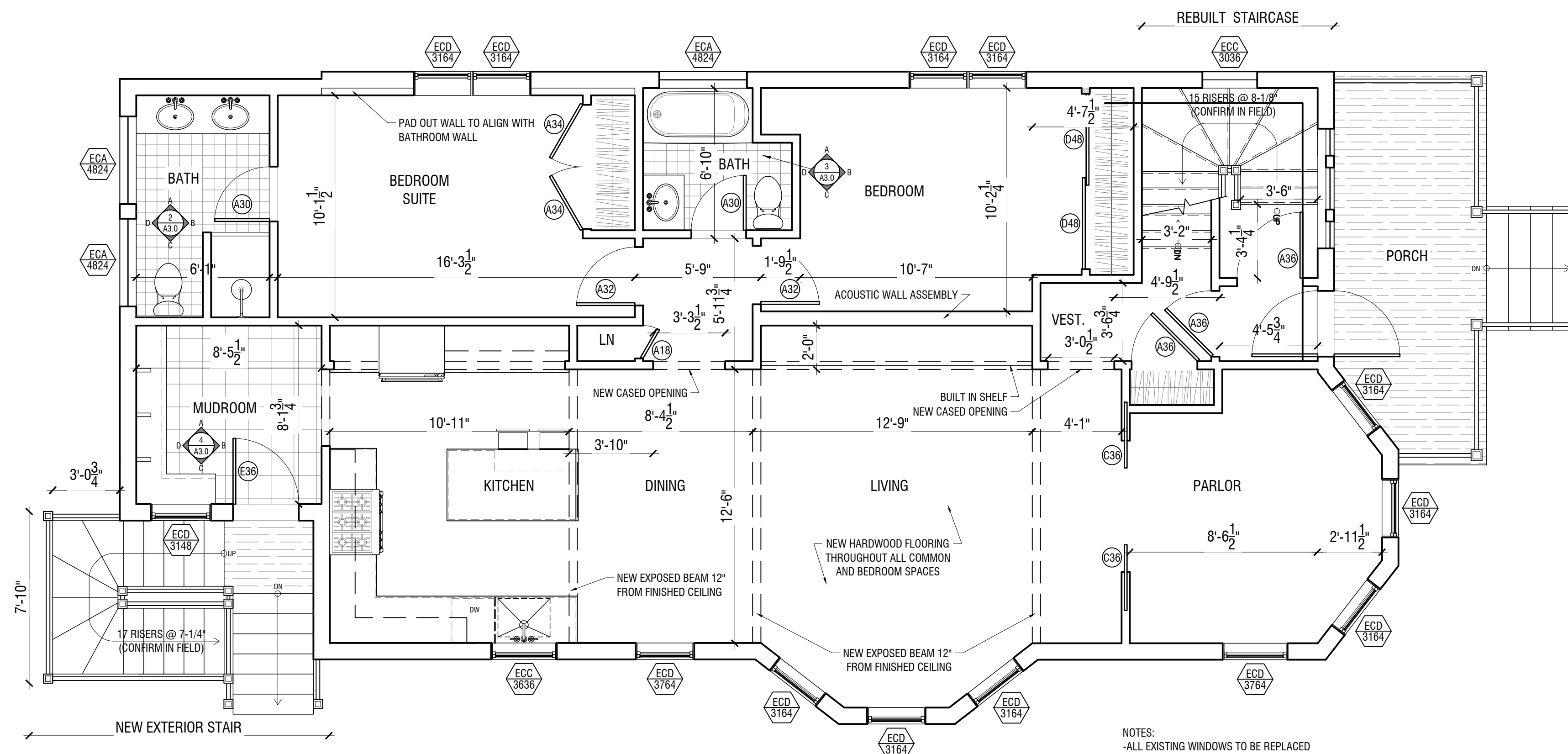
- DOOR TYPE/SIZE
- WINDOW TYPE/SIZE



**NOTES:**

- PAD OUT BASEMENT EXTERIOR WALL WITH 2x4 STUD WALL AND SPRAY FOAM INSULATION
- DIG OUT EXISTING FOUNDATION 6" DOWN AND REPLACE WITH NEW INSULATED SLAB
- ALL NEW / REPLACEMENT WINDOWS TO BE JELD-WEN 2500-SERIES
- NEW CASINGS/TRIM AROUND ALL DOORS, OPENINGS, AND WINDOWS
- WALLS: SMOOTH GWB, PAINTED. ALL INTERIOR WALLS INSULATED
- CEILING: SMOOTH GWB

**1 Proposed Basement Plan**  
1/4" = 1'-0"



**NOTES:**

- ALL EXISTING WINDOWS TO BE REPLACED
- NEW EXTERIOR DECK/STAIR TO BE AZEK
- ALL NEW / REPLACEMENT WINDOWS TO BE JELD-WEN 1000-SERIES
- ALL NEW INTERIOR DOORS SINGLE PANEL JELD-WEN PRO-CORE
- HARDWOOD FLOORING THROUGHOUT, UNLESS OTHERWISE INDICATED
- NEW CASINGS/TRIM AROUND ALL DOORS, OPENINGS, AND WINDOWS
- WALLS: SMOOTH GWB, PAINTED. ALL INTERIOR WALLS INSULATED
- CEILING: SMOOTH GWB
- ALL BEDROOM CLOSETS 2FT DEEP

**2 Proposed First Floor Plan**  
1/4" = 1'-0"

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Date Issued: June 28, 2017

Drawing Scale: 1/4" = 1'-0"

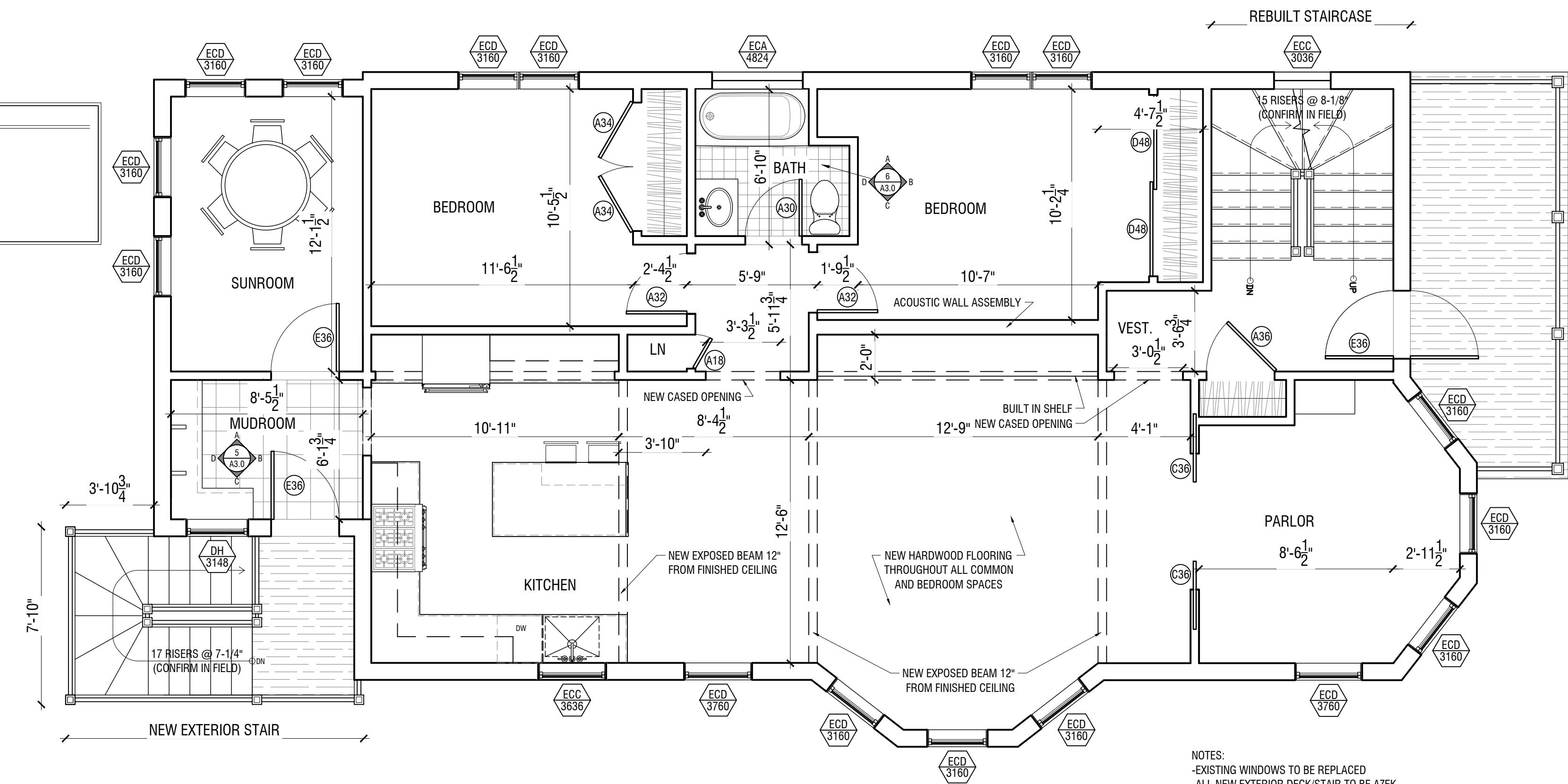
**PROPOSED PLANS**

**A1.0**

3"=1'  
SCALE  
2 0 1 1/2"=1'  
SCALE  
6' 0 1/2"=1'  
SCALE  
4' 1 1/4"=1'  
SCALE  
12 0 1/8"=1'  
SCALE  
8 2 1/4"=1'  
SCALE  
20 1/8"=1'  
SCALE  
10 1/4"=1'  
SCALE

**PLAN KEY:**

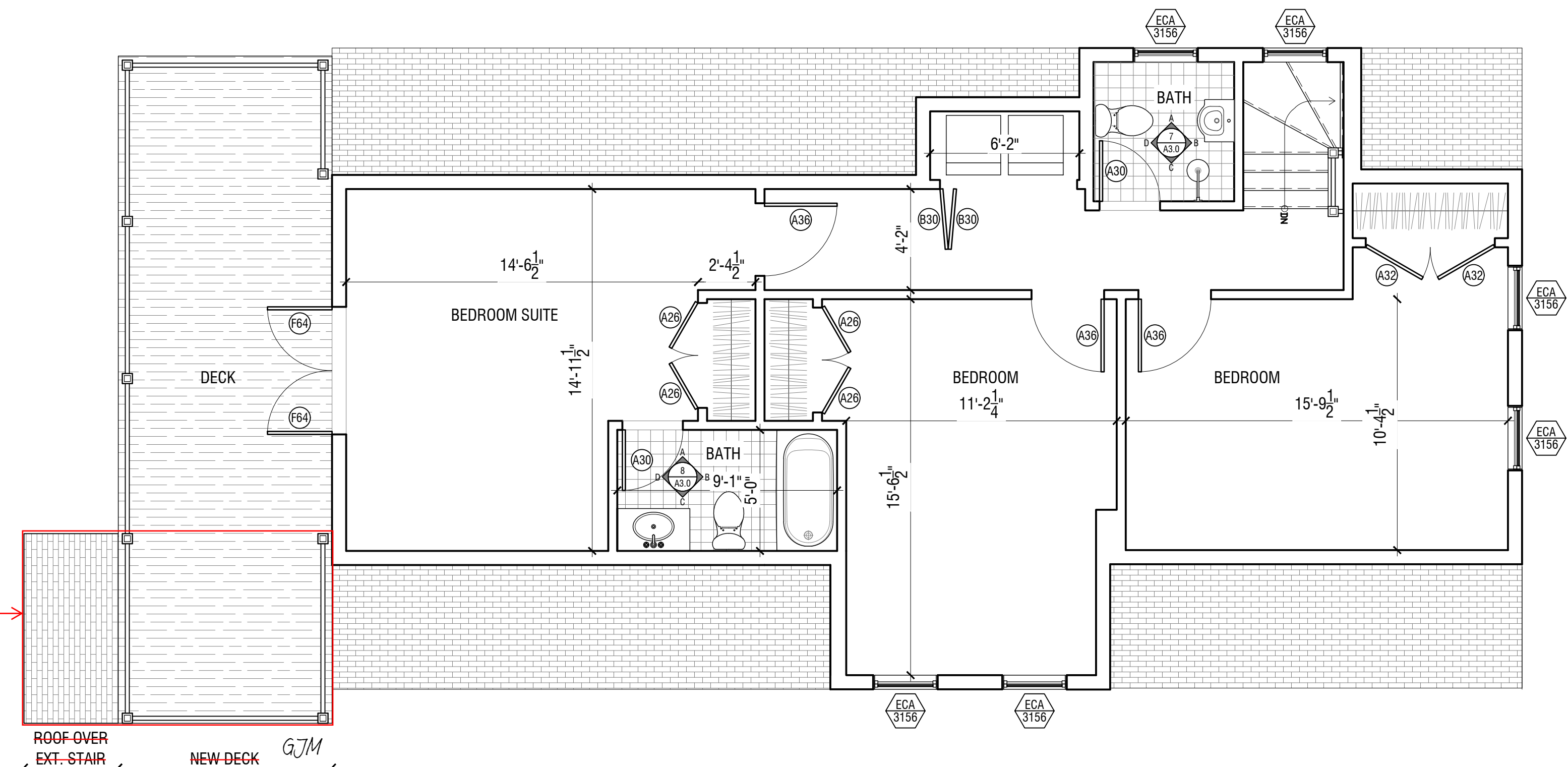
- (X) DOOR TYPE/SIZE
- (DH) WINDOW TYPE/SIZE



**1 Proposed Second Floor Plan**  
1/4" = 1'-0"

- NOTES:**
- EXISTING WINDOWS TO BE REPLACED
  - ALL NEW EXTERIOR DECK/STAIR TO BE AZEK
  - ALL NEW / REPLACEMENT WINDOWS TO BE JELD-WEN 2500-SERIES
  - HARDWOOD FLOORING THROUGHOUT, UNLESS OTHERWISE INDICATED
  - NEW CASINGS/TRIM AROUND ALL DOORS, OPENINGS, AND WINDOWS
  - WALLS: SMOOTH GWB, PAINTED. ALL INTERIOR WALLS INSULATED
  - CEILING: SMOOTH GWB
  - ALL BEDROOM CLOSETS 2FT DEEP

Edit: Deck will not extend beyond the current porch boundaries. The area highlighted within the red box will not be constructed.



**2 Proposed Attic Plan**  
1/4" = 1'-0"

- NOTES:**
- EXISTING WINDOWS TO BE REPLACED
  - ALL NEW EXTERIOR DECK/STAIR TO BE AZEK
  - ALL NEW / REPLACEMENT WINDOWS TO BE JELD-WEN 2500-SERIES
  - HARDWOOD FLOORING THROUGHOUT, UNLESS OTHERWISE INDICATED
  - NEW CASINGS/TRIM AROUND ALL DOORS, OPENINGS, AND WINDOWS
  - WALLS: SMOOTH GWB, PAINTED. ALL INTERIOR WALLS INSULATED
  - CEILING: SMOOTH GWB
  - ALL BEDROOM CLOSETS 2FT DEEP

#	DATE	DESCRIPTION
REVISIONS		

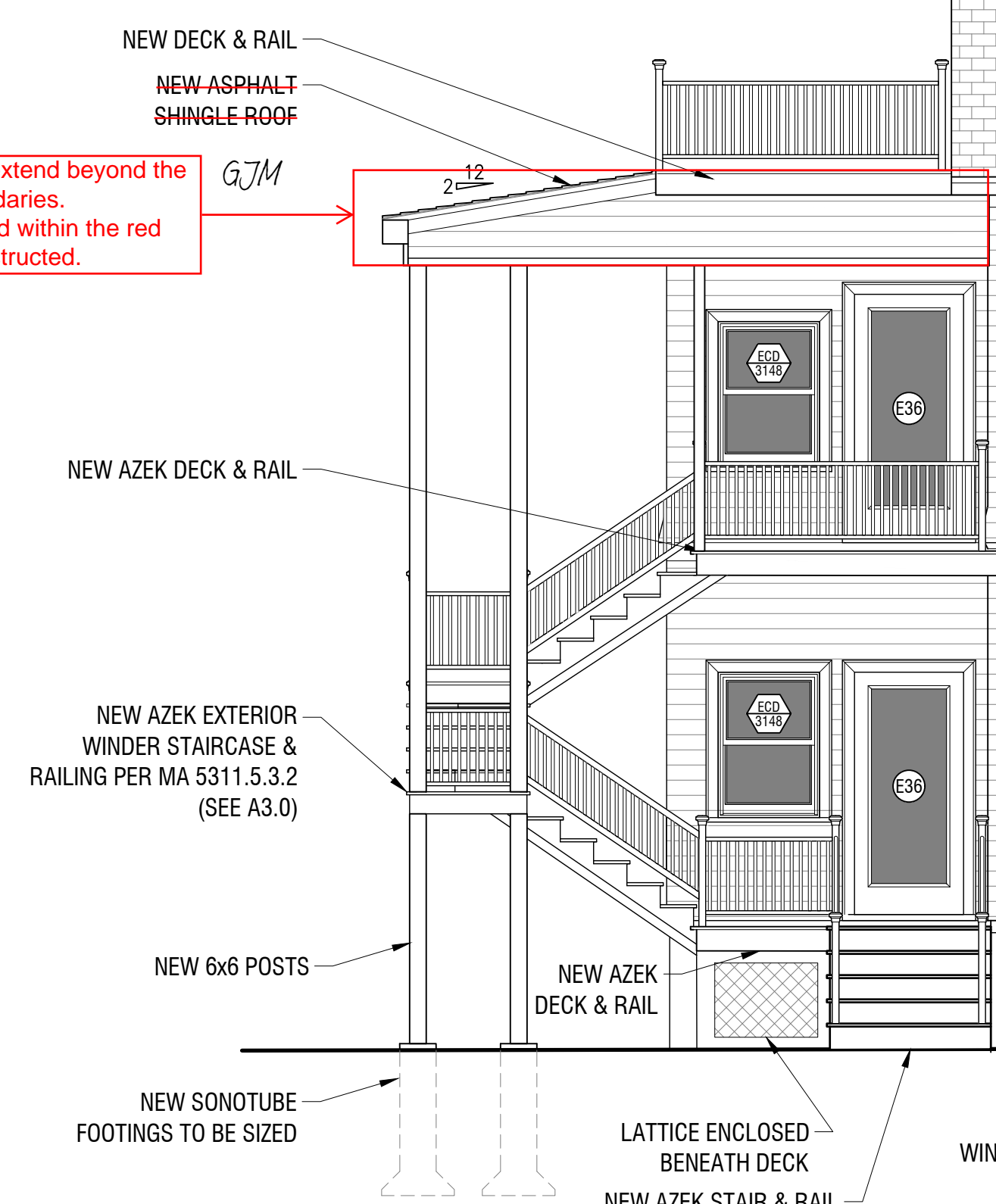
1  
3"=1'  
2  
1-1/2"=1'  
1  
6'  
1/2"=1'  
4  
2'  
1  
12'  
1/4"=1'  
8  
4  
2  
0  
1/8"=1'  
20  
10  
5  
0  
SCALE



1 Front Elevation  
1/4" = 1'-0"

NOTES:  
-ALL DEMOLISHED AREAS TO BE PATCHED.  
-ALL NEW CONSTRUCTION TO MATCH EXIST  
-ALL EXTERIOR WALLS INSULATED WITH CI

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2 Left Elevation  
1/4" = 1'-0"

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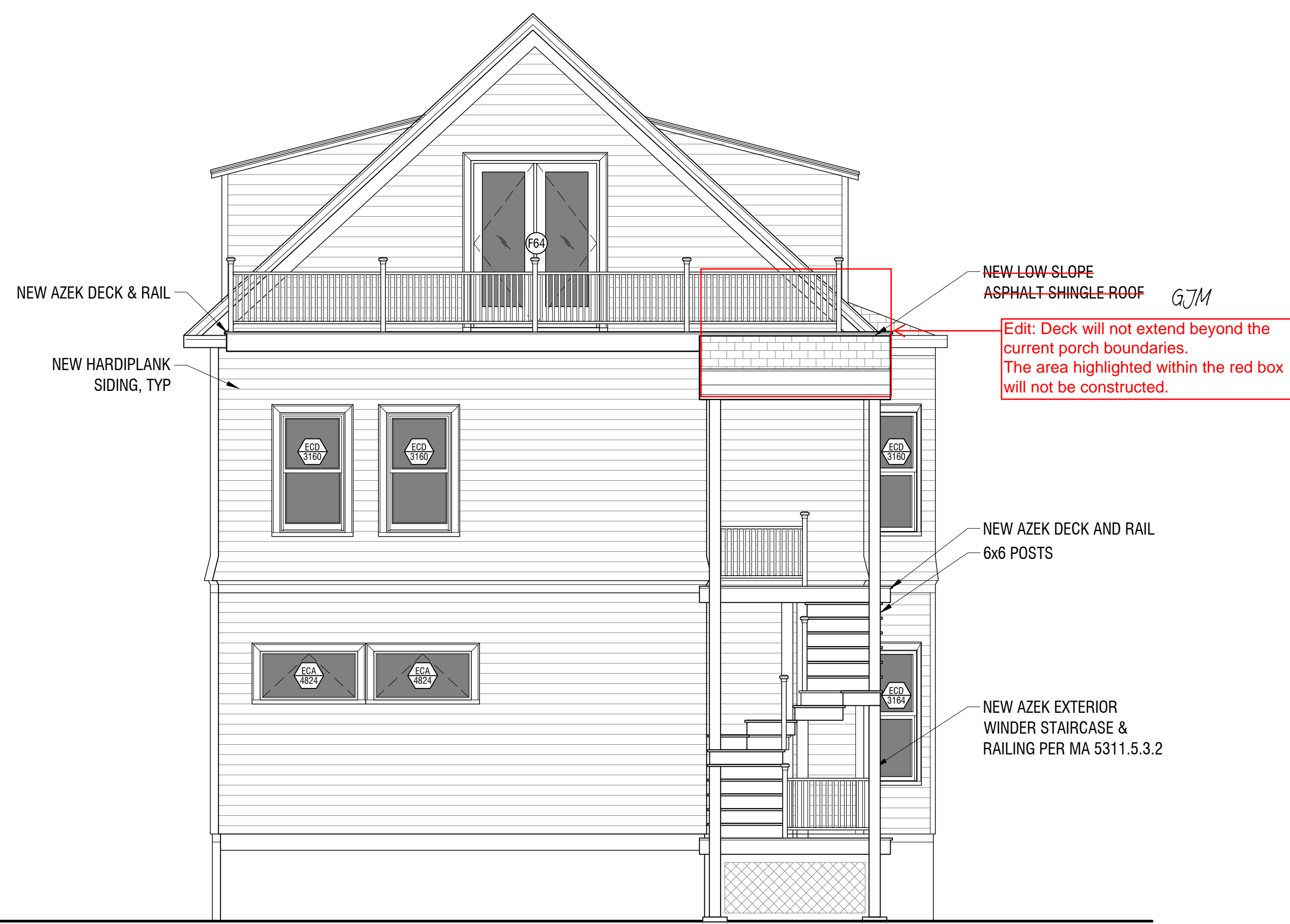
#	DATE	DESCRIPTION

Date Issued: May 3, 2017  
Drawing Scale: 1/4" = 1'-0"  
**PROPOSED ELEVATIONS**

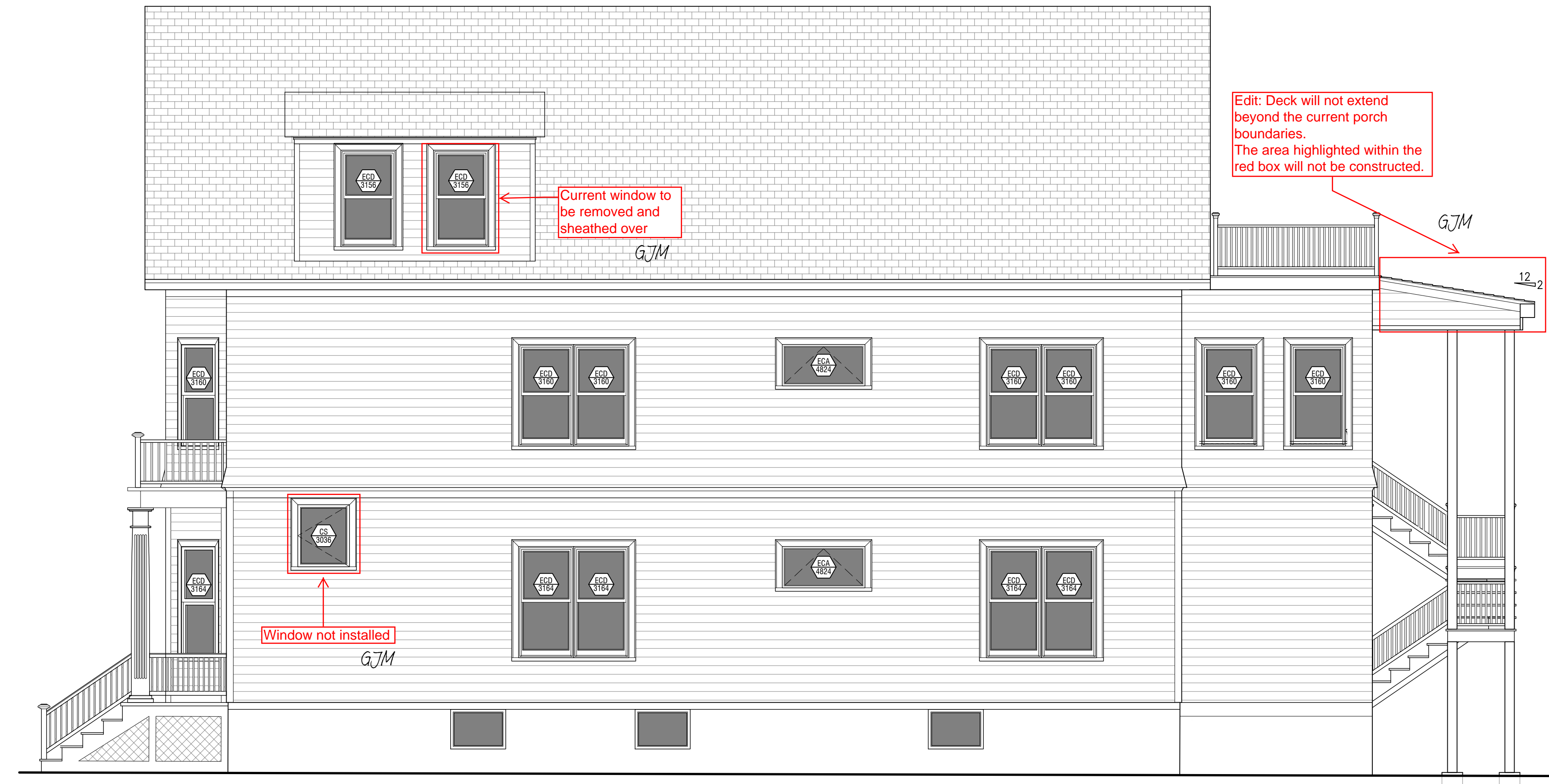
A2.0



SCALE  
 1" = 3'-0"  
 2" = 1'-0"  
 1" = 1/2'-0"  
 1" = 1'-0"  
 1/2" = 1'-0"  
 1" = 1'-0"  
 1/4" = 1'-0"  
 1/8" = 1'-0"



1 Rear Elevation  
 1/4" = 1'-0"



2 Right Elevation  
 1/4" = 1'-0"

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**PROPOSED ELEVATIONS**




A2.1

N/F  
**JORDAN & NICOLE  
SIEGEL**

N/F  
**MARTIN J.  
GOSHGARIAN**

**LOT 5**  
**AREA=4,126±S.F.**

**LEGEND**

-  GAS VALVE
-  HYDRANT
-  WATER VALVE



MERIDIAN BASED ON PLAN 724 OF 2014

**ADRIANA SALDANA**

#88  
2-1/2 STORY  
WOOD-FRAME  
DWELLING

#90  
2-1/2 STORY  
WOOD-FRAME  
DWELLING

#94  
2-1/2 STORY  
WOOD-FRAME  
DWELLING

**ALLSTON VILLAGE LLC**

WOOD FENCE

CHAIN LINK FENCE

CONCRETE

STEPS

1 STORY

DECK

BITUMINOUS CONCRETE DRIVEWAY ENCROACHING IN THIS AREA

102.12'

104.20'

BITUMINOUS CONCRETE DRIVEWAY

BITUMINOUS CONCRETE DRIVEWAY

N/F

N/F

PORCH

PORCH  
WITH SECOND STORY  
DECK

PORCH

CONCRETE  
WALKWAY

STEPS

10.8

10.8

40.00'

10.8

CONCRETE WALK

gv

wv

VERTICAL GRANITE CURB

# BARTLETT STREET

**RECORD OWNER:**  
GORDON J. MURRAY & HYERYUN KIM  
90 BARTLETT STREET, SOMERVILLE, MA

(PUBLIC - 40 FT. WIDE)

## PLOT PLAN

OF LAND IN

**SOMERVILLE, MASSACHUSETTS**

AT 90 BARTLETT STREET

PREPARED FOR

**GORDON MURRAY**

BY

**SUMMIT SURVEYING, INC.**

4 SOUTH POND STREET, NEWBURYPORT, MA 01950

TEL. 978-692-7109

CBRENNAN@SUMMITSURVEYINGINC.COM

**REFERENCES:**

- DEED BOOK 66178 PAGE 57
- PLAN BOOK 121 PLAN 26

**NOTES:**

- 1.) THIS PLAN WAS PREPARED TO SHOW PROPOSED DWELLING RELATIVE TO PROPERTY LINES.
- 2.) THE PLAN WAS PREPARED BY PERFORMING AN INSTRUMENT SURVEY IN NOVEMBER OF 2016.
- 3.) NO SUBSURFACE UTILITY LOCATION, RESEARCH OR PLOTTING PERFORMED.
- 4.) NO TITLE EXAMINATION PROVIDED, THEREFORE OTHER EASEMENTS NOT SHOWN HEREON COULD EXIST.

0 5 10 20 40

12-1-2016

1" = 10 FT.

16-0177