

70 Broadway St

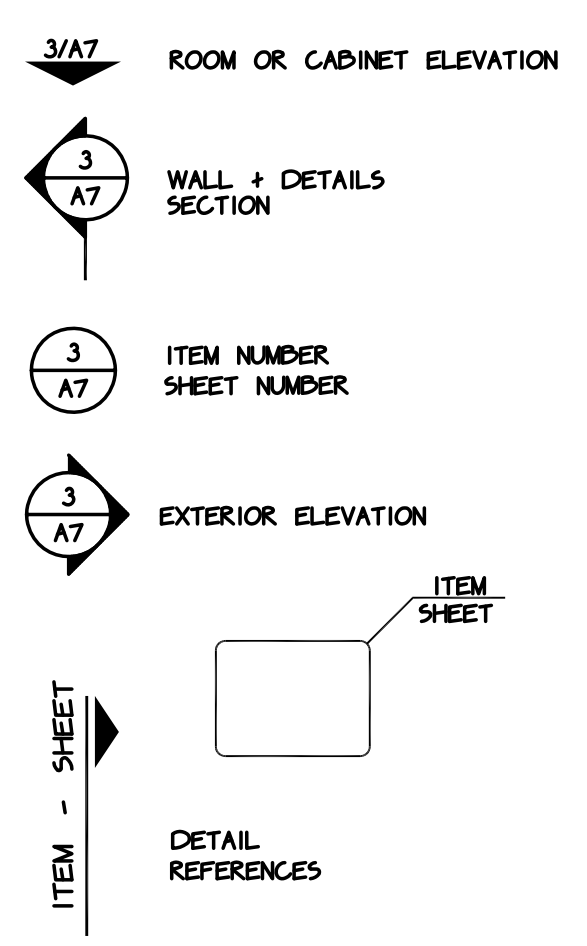
Somerville, MA

Symbol Legend

- 106 ROOM NUMBER
- I DOOR NUMBER
- X WINDOW MARK
- X COLUMN LINE

- F.E. FIRE EXTINGUISHER
- F.D. FLOOR DRAIN
- F.S. FLOOR SINK
- HD. HUB DRAIN
- LAV. LAVATORY
- M.T. METAL THRESHOLD
- SS. SERVICE SINK
- W.C. WATER CLOSET
- WH. WATER HEATER

Detail References



Drawing Index

- EXISTING SURVEY
- PROPOSED SURVEY
- ARCHITECTURAL
- T11 TITLE SHEET / CODE INFORMATION
- D11 DEMOLITION PLANS
- A11 PROPOSED PLANS
- A20 EXISTING + PROPOSED ELEVATIONS
- A21 EXISTING + PROPOSED ELEVATIONS

Building Code Information

CONSTRUCTION TYPE: 5B
 EXISTING USE: 2 FAMILY DWELLING

PROPOSED USE:
 BUSINESS USE ON THE FIRST FLOOR WITH ACCESSORY STORAGE
 S-1 STORAGE IN BASEMENT, ACCESSORY TO BUSINESS USE
 R-3 ON SECOND AND THIRD FLOORS

NFPA-13 SPRINKLERS TO BE INSTALLED IN BUSINESS AREA ON FIRST FLOOR AND BASEMENT (NO SPRINKLERS EXIST)

FIRE RESISTANCE OF BUILDING ELEMENTS:

PRIMARY STRUCTURAL FRAME 0
 BEARING WALLS, EXTERIOR 1 HR WITHIN 10 FT FIRE SEPARATION DISTANCE TO PROPERTY LINE, OTHERWISE 0 HR
 BEARING WALLS, INTERIOR 0
 NONBEARING WALLS, EXTERIOR 1 HR WITHIN 10 FT FIRE SEPARATION DISTANCE TO PROPERTY LINE, OTHERWISE 0 HR
 NONBEARING WALLS, INTERIOR 0
 FLOOR CONSTRUCTION 0
 ROOF CONSTRUCTION 0
 REQUIRED SEPARATION BETWEEN R-3 AND B OCCUPANCIES: 2 HR

OCCUPANT LOAD:

BASEMENT (ACCESSORY STORAGE) 811 SF AT 300 GSF/OCCUPANT 3 OCCUPANTS
 FIRST FLOOR (BUSINESS) 662 SF AT 100 GSF/OCCUPANT 7 OCCUPANTS
 FIRST FLOOR (ACCESSORY STORAGE) 111 SF AT 300 GSF/OCCUPANT 1 OCCUPANT
 SECOND FLOOR (RESIDENTIAL) 937 SF AT 200 GSF/OCCUPANT 5 OCCUPANTS
 THIRD FLOOR (RESIDENTIAL) 805 SF AT 200 GSF/OCCUPANT 5 OCCUPANTS

CODE REFERENCES:
 MASSACHUSETTS STATE BUILDING CODE, 8TH EDITION
 MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR

General Notes

1. G.C. IS RESPONSIBLE FOR THE COORDINATION OF ALL PARTS OF THE WORK SO THAT NO WORK SHALL BE LEFT IN AN UNFINISHED OR INCOMPLETE CONDITION. G.C. SHALL COORDINATE ALL SUBTRADES SUPPLIED BY OWNER. ALL TRADES INVOLVED WITH THE PROJECT SHALL COOPERATE WITH ONE ANOTHER, SHALL CONSCIOUSLY SAVE AND PROTECT WORK BEING PERFORMED BY OTHER TRADES.
2. G.C. SHALL SECURE ALL PROPER PERMITS AND NECESSARY INSPECTIONS FOR AND FROM REGULATORY AGENCIES AFFECTING THIS PROJECT.
3. ALL WORK SHALL CONFORM TO ALL INDUSTRY AND MANUFACTURER'S PUBLISHED STANDARDS AS WELL AS ALL REQUIREMENTS IN THESE DRAWINGS AND SPECIFICATIONS. ANY CONFLICTING REQUIREMENTS OF THE SOURCES LISTED ABOVE SHALL BE BROUGHT TO ARCHITECT'S ATTENTION PRIOR TO PROCEEDING WITH WORK.
4. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND GOVERNING AUTHORITIES, INCLUDING LOCAL REQUIREMENTS.
5. NO SUBSTITUTIONS FOR ITEMS SPECIFIED WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT, ENGINEER OR OWNER.
6. G.C. SHALL PROTECT WORK BY OTHER CONTRACTORS. G.C. SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ALL WORK BY OTHER INCURRED WHILE FULFILLING THE OBLIGATIONS OF THIS CONTRACT.
7. ALL WORK NOTED "BY OTHERS" OR "N.I.C." IS TO BE THE RESPONSIBILITY OF THE OWNER AND IS NOT TO BE PART OF THE CONSTRUCTION AGREEMENT. G.C. SHALL COOPERATE WITH THE OWNER AND OWNER'S OUTSIDE CONTRACTORS AS REQUIRED.
8. G.C. IS RESPONSIBLE FOR ALL SHORING AND BRACING OF EXISTING SOILS DURING DEMOLITION AND CONSTRUCTION.
9. G.C. IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL DEMOLITION AND CONSTRUCTION MATERIALS.
10. G.C. SHALL MAINTAIN A CLEAN AND ORDERLY WORKSITE AT ALL TIMES.
11. G.C. SHALL CLEAN SITE AT COMPLETION OF CONSTRUCTION.
12. ALL WORK SHALL BE GUARANTEED BY THE G.C. AGAINST DEFECTS AND POOR WORKMANSHIP FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM SUBSTANTIAL COMPLETION.
13. G.C. SHALL BE RESPONSIBLE FOR BLOCKING AND ELECTRICAL CONNECTIONS FOR ALL MILLWORK. PROVIDE ADEQUATE CONCEALED BLOCKING FOR ALL MILLWORK HUNG FROM PARTITIONS. ALL WOODWORK, BLOCKING, GROUNDS, ETC. SHALL BE FIRE TREATED IN ACCORDANCE WITH ALL APPLICABLE CODES.

Abbreviations

- | | | | |
|-------|---------------------------|--------|------------------------|
| ACT | ACOUSTICAL CEILING | LAV | LAVATORY |
| AFF | ABOVE FINISH FLOOR | MAX | MAXIMUM |
| ALUM | ALUMINUM | MECH | MECHANICAL |
| BOT | BOTTOM | MEZZ | MEZZANINE |
| C-J | CONTROL JOINT | MFR | MANUFACTURER |
| CLG | CEILING | MIN | MINIMUM |
| CMU | CONCRETE MASONRY UNIT | MO | MASONRY OPENING |
| COL | COLUMN | MTL | METAL |
| CONC | CONCRETE | NO(S) | NUMBER(S) |
| CONT | CONTINUOUS | NTS | NOT TO SCALE |
| CPT | CARPET | OC | ON CENTER |
| CT | CERAMIC TILE | OD | OUTSIDE DIAMETER |
| DIA | DIAMETER | OPP | OPPOSITE |
| DIM | DIMENSION | P LAM | PLASTIC LAMINATE |
| DTL | DETAIL | PLWD | PLYWOOD |
| EA | EACH | QT | QUARRY TILE |
| EJ | EXPANSION JOINT | R | RISER |
| ELEV | ELEVATION | RM | ROOM |
| ELECT | ELECTRICAL | RO | ROUGH OPENING |
| EQ | EQUAL | SD | SMOKE DETECTOR |
| EQPT | EQUIPMENT | SIM | SIMILAR |
| EWG | ELECTRIC WATER COOLER | SPEC | SPECIFICATIONS |
| EXIST | EXISTING | SQ | SQUARE |
| EXT | EXTERIOR | STL | STEEL |
| FA | FIRE ALARM | STRUCT | STRUCTURAL |
| FD | FLOOR DRAIN | T | TREAD |
| FE | FIRE EXTINGUISHER | TPD | TOILET PAPER DISPENSER |
| FEC | FIRE EXTINGUISHER CABINET | TYP | TYPICAL |
| FRT | FIRE RETARDANT TREATED | VCT | VINYL COMPOSITION TILE |
| GA | GAGE, GAUGE | VERT | VERTICAL |
| GALV | GALVANIZED | VEST | VESTIBULE |
| GC | GENERAL CONTRACTOR | W | WITH |
| GL | GLASS | W/O | WITHOUT |
| GPDW | GIPSUM BOARD | WC | WATER CLOSET |
| HC | HANDICAPPED | WD | WOOD |
| HM | HOLLOW METAL | WNF | WELDED WIRE FABRIC |
| HORIZ | HORIZONTAL | SYMBOL | ABBREVIATIONS: |
| HT | HEIGHT | ∠ | ANGLE |
| ID | INSIDE DIAMETER | CL | CENTERLINE |
| INSUL | INSULATION | PL | PLATE |
| INT | INTERIOR | ∅ | DIAMETER |
| JT | JOINT | ∅ | DIAMETER |

Zoning Information

Story	Existing Gross	Existing Net	Proposed Gross	Proposed Net
B	0	0	0	0
1	811	674	876	661
2	894	797	937	807
3	762	695	805	684
TOTAL SF		2467	2166	2618
Lot Area		1968		1968
FAR		1.25		1.33

Category	Zoning Code Requirements	Existing Structure	Proposed Structure
District	District CCD 45, abuts District RB at Rear	District CCD 45, abuts District RB at Rear	District CCD 45, abuts District RB at Rear
Uses	Allowed uses include Small Retail and Service and Residential	2 Family Residence	Mixed Use: 1 residential dwelling unit and Small Retail and Service (661 net SF)
Lot Size	Minimum N/A	1968 sf	existing
Min. lot area per dwelling unit	750 sf per unit	984 sf per dwelling unit	1968 sf per dwelling unit
Ground Coverage	80% max.	51%, 1005 sf	57%, 1115 sf
Landscaped area, % of lot	10% minimum	0%	Existing
FAR	2.5 FAR Allowed	1.25 FAR existing	1.33 FAR proposed
Height in Stories	Maximum N/A	3 stories	Existing
Height in feet	45' 15' Upper Level Setback at Tapering Height of 35' from property line abutting residential district	34'-0" +/- from average grade to deck line	Existing
Front Yard Setback	N/A	2'-11" +/-	3"
Side Yard Setback	N/A	10" +/- West side, 4'-1" +/- East side	Existing
Rear Yard Setback	20' setback where abutting residential district. Projections allowed up to 1/4 of setback. 10 ft vegetative setback at rear where abutting residential district	19'-2" +/- to house. 14'-2" +/- to enclosed second story porch. No vegetative setback exists.	16'-0" +/- to proposed stair. Building setbacks are existing to remain.
Minimum frontage	30 ft	30 ft	existing
Parking	1 space required per dwelling unit 1 space required per 1500 net SF for Small Retail and Service	2 existing spaces	2 existing spaces, 2 spaces required: 1 space for retail & service (661 net SF) 1 space for one dwelling unit (1483 net sf)

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Permit

No.	ISSUE	DATE
01	Preliminary Design	03.13.17
02	Permit	03.17.17
03	Revision	05.04.17
04	Revision	06.12.17
05	Revision	07.17.17

PROJECT #:

10417

DRAWING TITLE:

Title Sheet, Zoning, Code

T1

70
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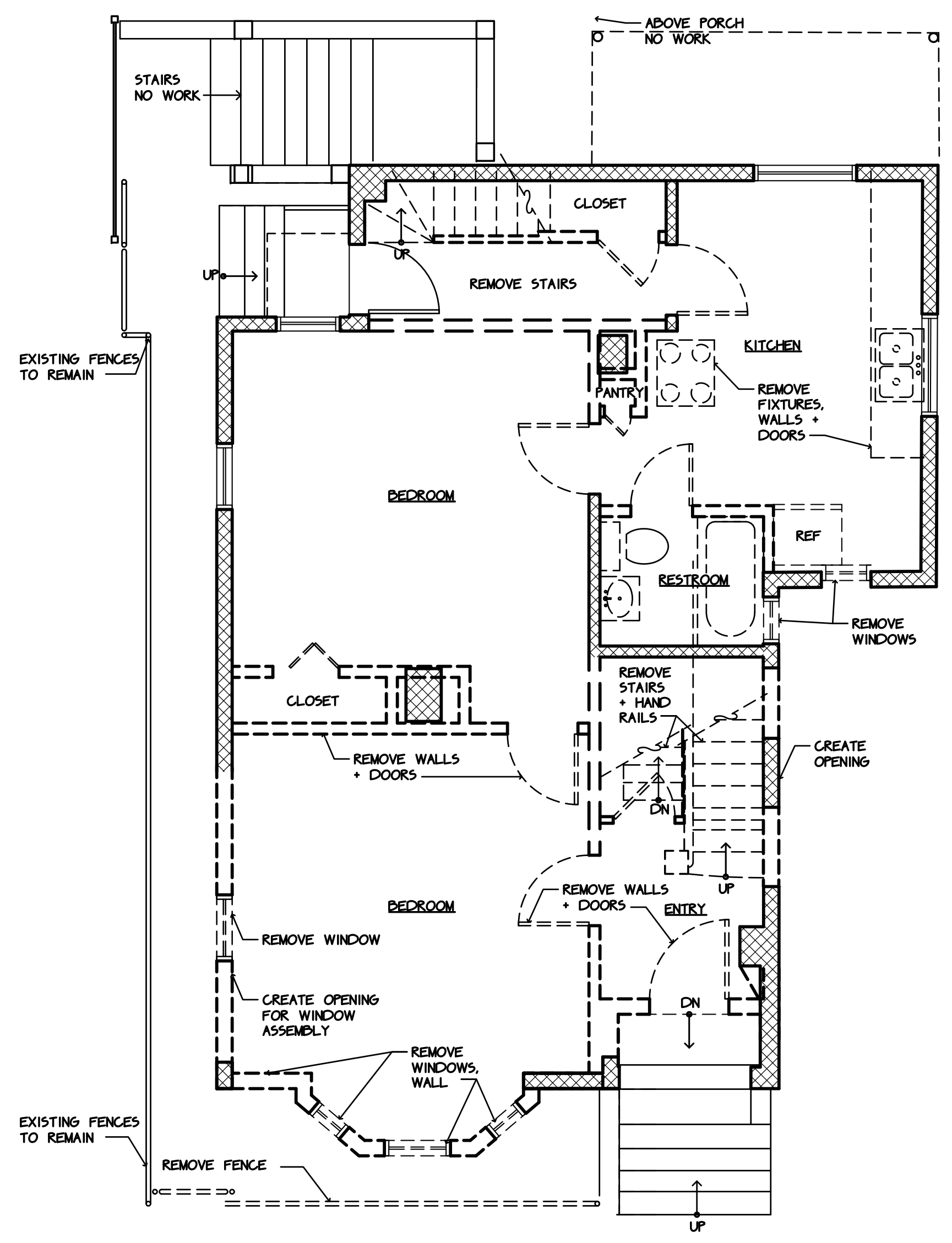
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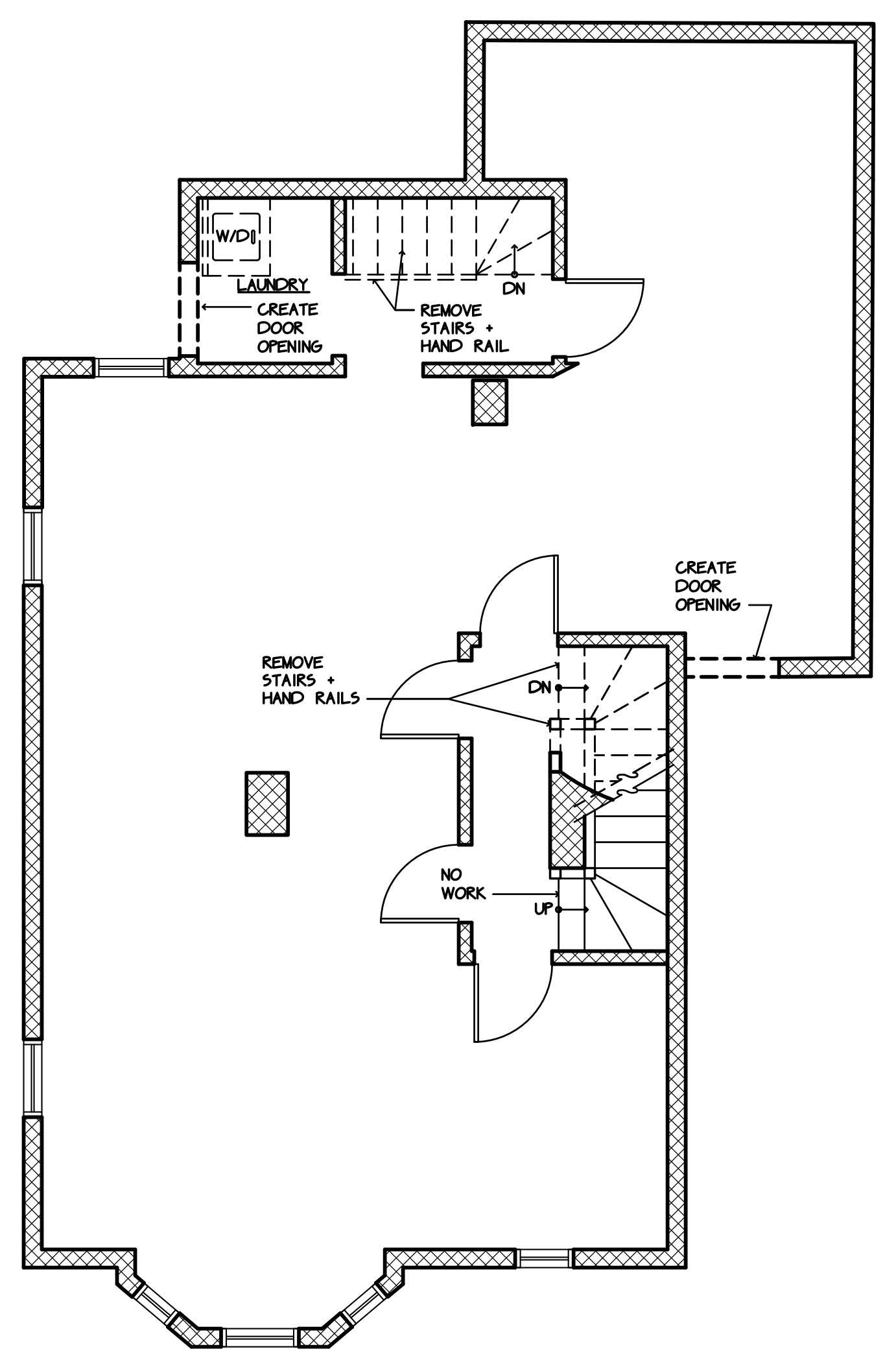
PROJECT #: 10417

DRAWING TITLE:
Demolition Plans

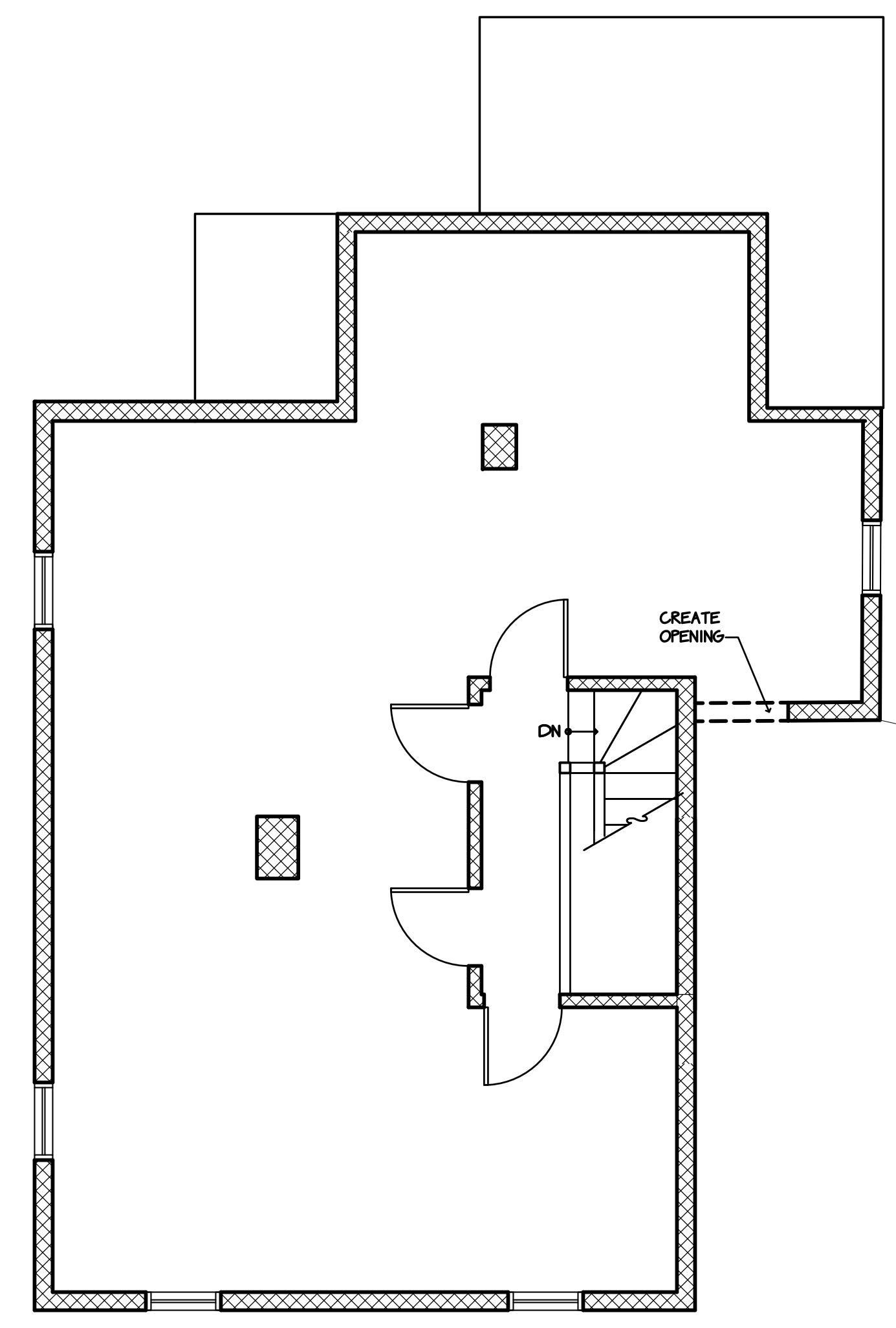
D1.0



① First Floor Demolition Plan
 Scale: 1/4" = 1'-0"



② Second Floor Demolition Plan
 Scale: 1/4" = 1'-0"



③ Third Floor Demolition Plan
 Scale: 1/4" = 1'-0"

LEGEND

	NEW WALLS AND PARTITIONS
	EXISTING WALL TO REMAIN
	EXISTING PARTITIONS TO BE REMOVED

ARCHITECT:

CENTREPOINT ARCHITECTS

561 windsor street, A404
somerville, ma 02143 t:617.718.9707

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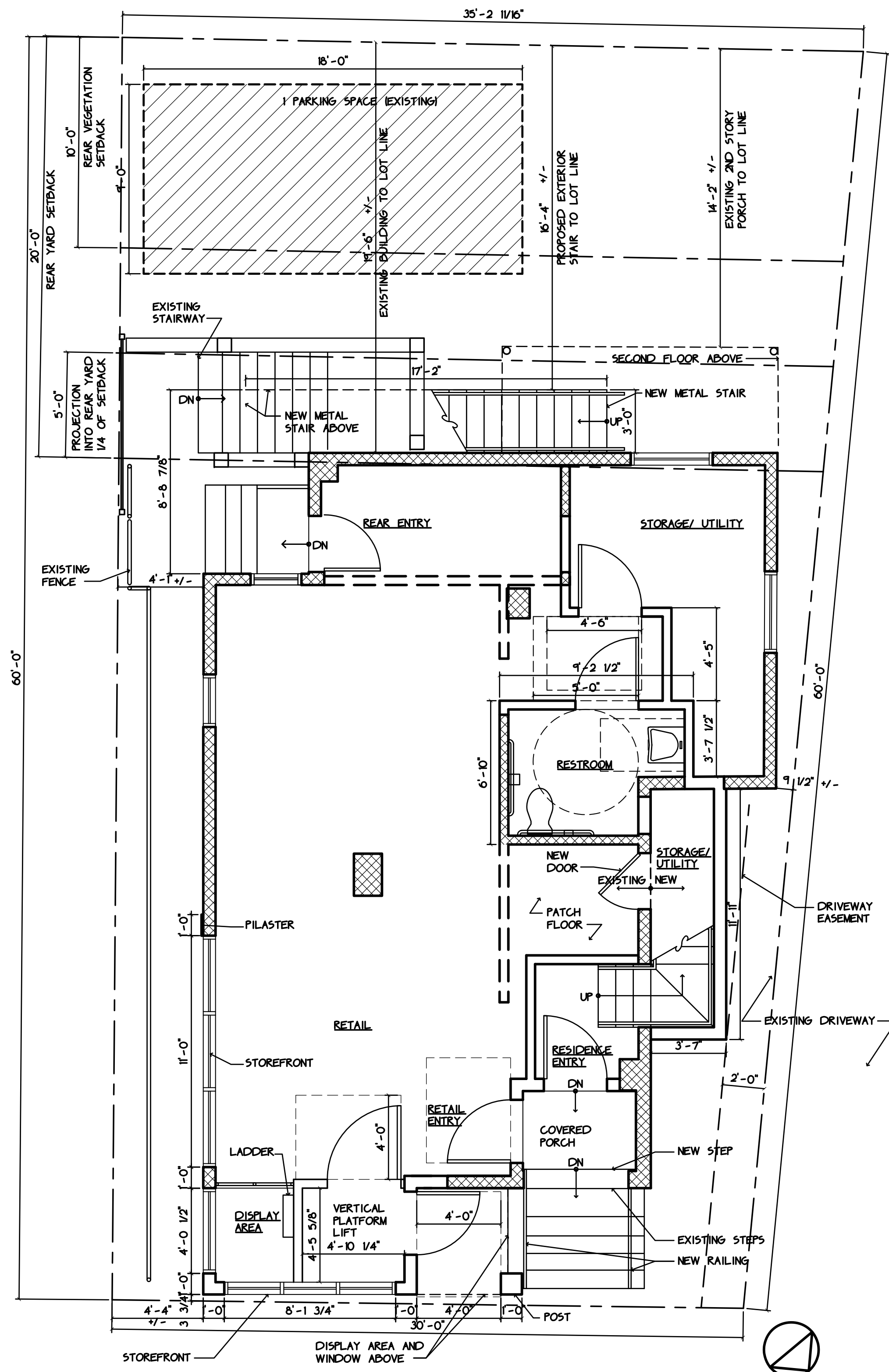
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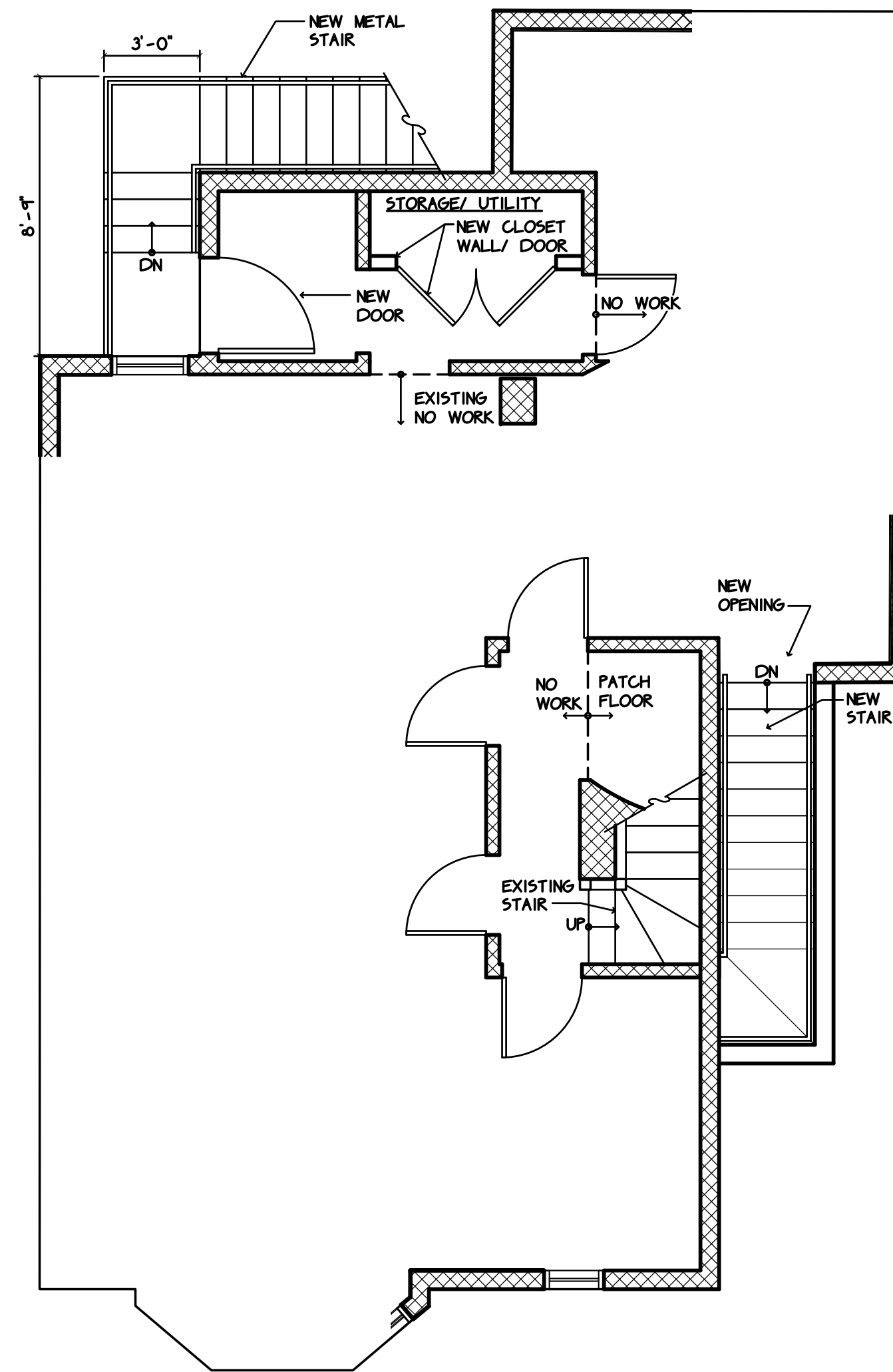
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DRAWING TITLE:
Proposed Plans

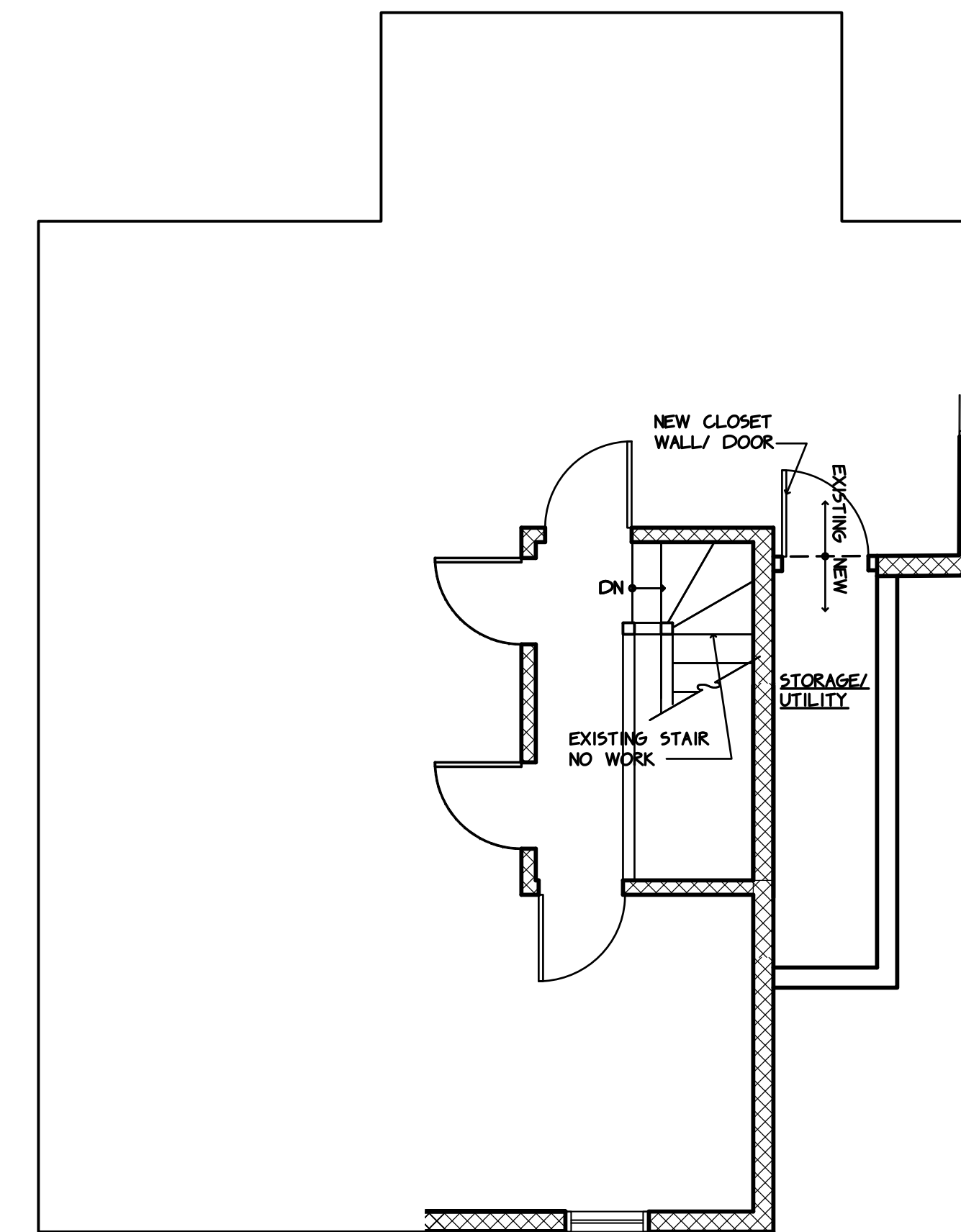
A1.0



1 Proposed First Floor Plan
Scale: 1/4" = 1'-0"



2 Proposed Second Floor Plan
Scale: 1/4" = 1'-0"



3 Proposed Third Floor Plan
Scale: 1/4" = 1'-0"

- LEGEND**
- NEW WALLS AND PARTITIONS
 - ▨ EXISTING WALL TO REMAIN
 - - - EXISTING PARTITIONS TO BE REMOVED

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DRAWING TITLE:
Existing + Proposed Elevations

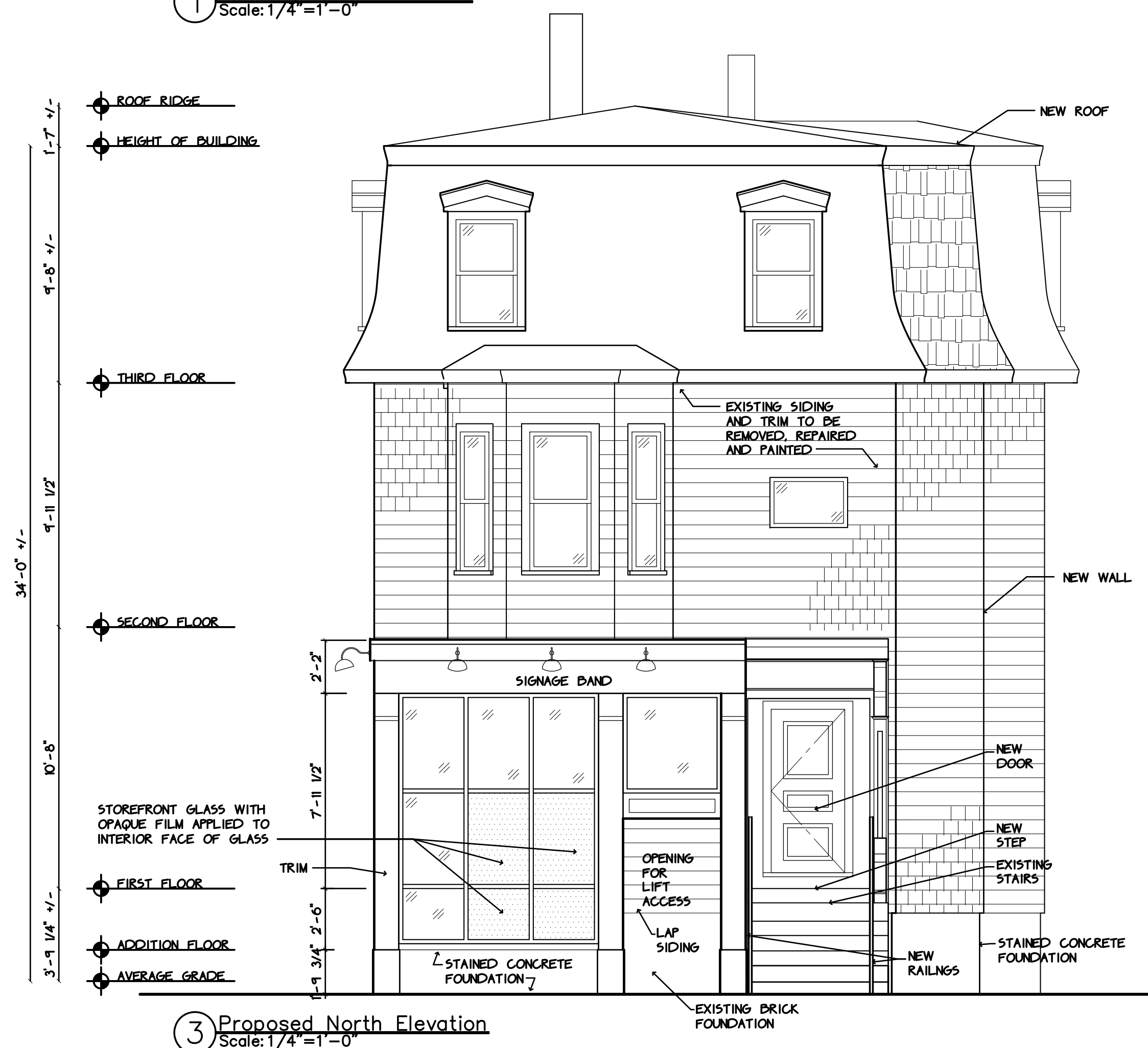
A2.0



① Existing North Elevation
Scale: 1/4" = 1'-0"



② Existing West Elevation
Scale: 1/4" = 1'-0"



③ Proposed North Elevation
Scale: 1/4" = 1'-0"



④ Proposed West Elevation
Scale: 1/4" = 1'-0"



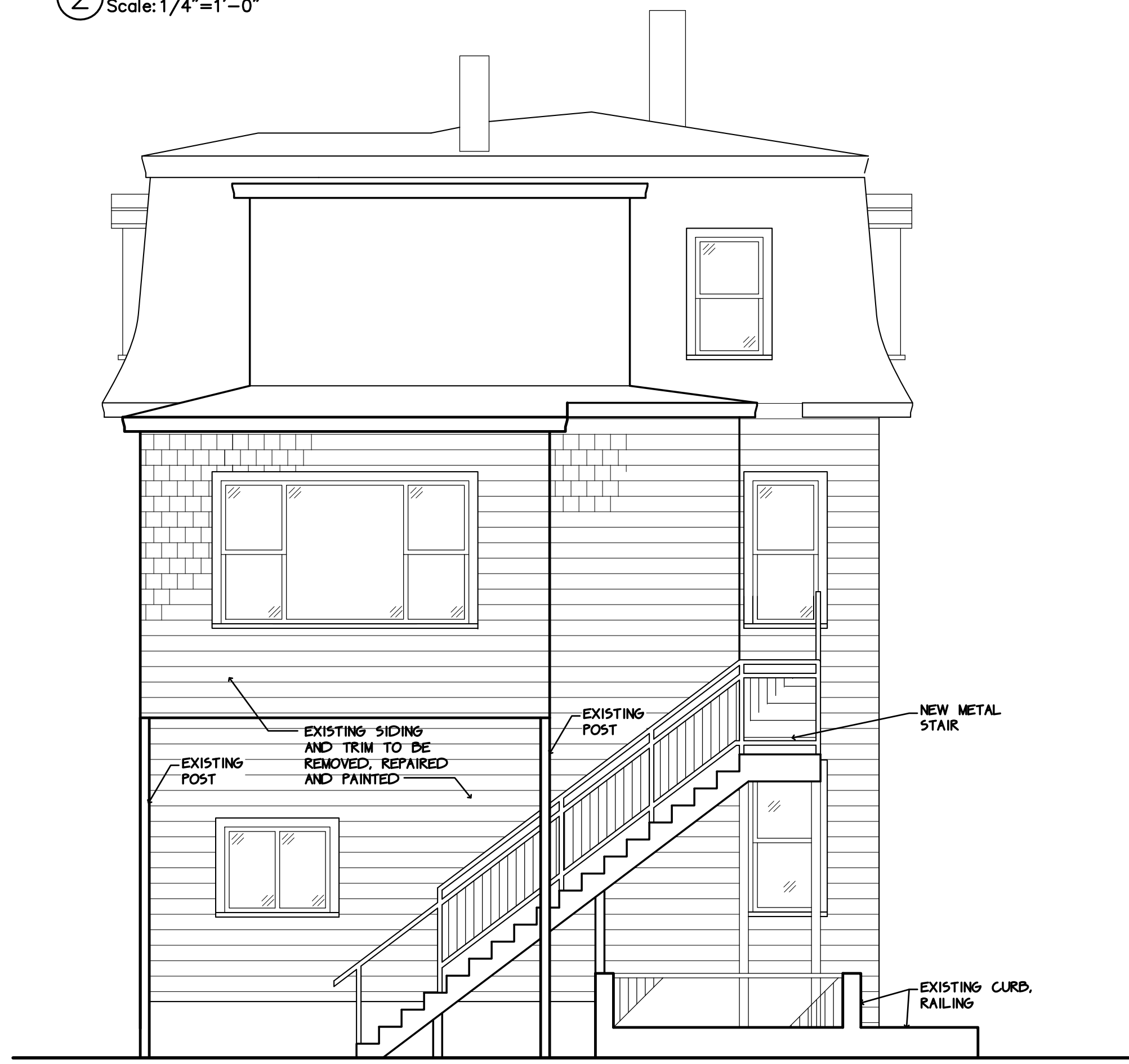
① Existing East Elevation
Scale: 1/4" = 1'-0"



② Existing South Elevation
Scale: 1/4" = 1'-0"



③ Proposed East Elevation
Scale: 1/4" = 1'-0"



④ Proposed South Elevation
Scale: 1/4" = 1'-0"

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DRAWING TITLE:
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A2.1