

**DEVELOPMENT REVIEW APPLICATION DRAWING LIST**

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**DAVIS SQUARE LAB**  
**231 - 249 ELM STREET 6 - 8 & 12 GROVE STREET**  
**PZ #21-068**  
**DEVELOPMENT REVIEW APPLICATION**

**APRIL 12, 2022**





**A001.1**

**ILLUSTRATIVE SITE  
PLAN**

**DAVIS SQUARE LAB**

231-249 Elm Street  
6-8 & 12 Grove Street  
Somerville, MA, 02144

Owner: Scape Davis Square, LLC  
Architect: Utile Architecture & Planning  
Landscape Architect: Richard Burck Associates  
Civil & Traffic Engineers: VHB  
**PZ #21-068**

Development Review Application  
APRIL 12, 2022



**utile**  
Architecture & Planning

**REFERENCES**

MIDDLESEX SOUTH COUNTY REGISTRY OF DEEDS:  
 PLAN BOOK 44 PLAN 43  
 PLAN BOOK 352 PLAN 47  
 PLAN BOOK 5145-END  
 PLAN NO. 1310 OF 1965

MASSACHUSETTS LAND COURT:  
 LCC 11360  
 LCC 15680  
 LCC 23799

OTHER REFERENCES:  
 PLAN ENTITLED, "ALTA/NSPS LAND TITLE SURVEY, 6-8 & 12 GROVE STREET & 233, 241-243, 245 & 249 ELM STREET, SOMERVILLE MASS.," DATED APRIL 3, 2019 BY FELDMAN LAND SURVEYORS.

**LEGEND**

- BK — BACK
- LCC — LAND COURT CASE
- OV — OVER
- SB — STONE BOUND
- SQ. FT. — SQUARE FEET
- ⌌ — INDICATES COMMON OWNERSHIP



**NOTES:**

1) THE PROPOSED BUILDING FOOTPRINT WAS PROVIDED BY UTILE IN A CAD FILE NAMED, "FloorPlan-LEVEL1.dwg," RECEIVED ON 2/14/2022.



I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST RECORD PLANS, DEEDS AND CERTIFICATES OF TITLE.

*D. Raffle*  
 DAMIEN J. RAFFLE, PLS (MA# 49629) DATE 4/7/2022  
 DRAFFLE@FELDMANGE.COM

OWNER OF RECORD:  
 Now or Formerly  
**DANA FAMILY SERIES LLC**  
 BOOK 70544, PAGE 100  
 BOOK 70544, PAGE 104  
 CERTIFICATE NO. 271058

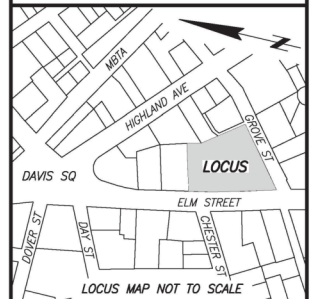
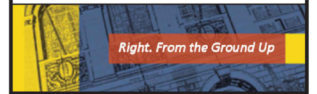
ASSESSOR'S PARCELS:  
 21-E-11, 21-E-12, 21-E-13



**BOSTON HEADQUARTERS**  
 152 HAMPDEN STREET  
 BOSTON, MA 02119

**WORCESTER OFFICE**  
 27 MECHANIC STREET  
 WORCESTER, MA 01608

(617)357-9740  
 www.feldmangeo.com



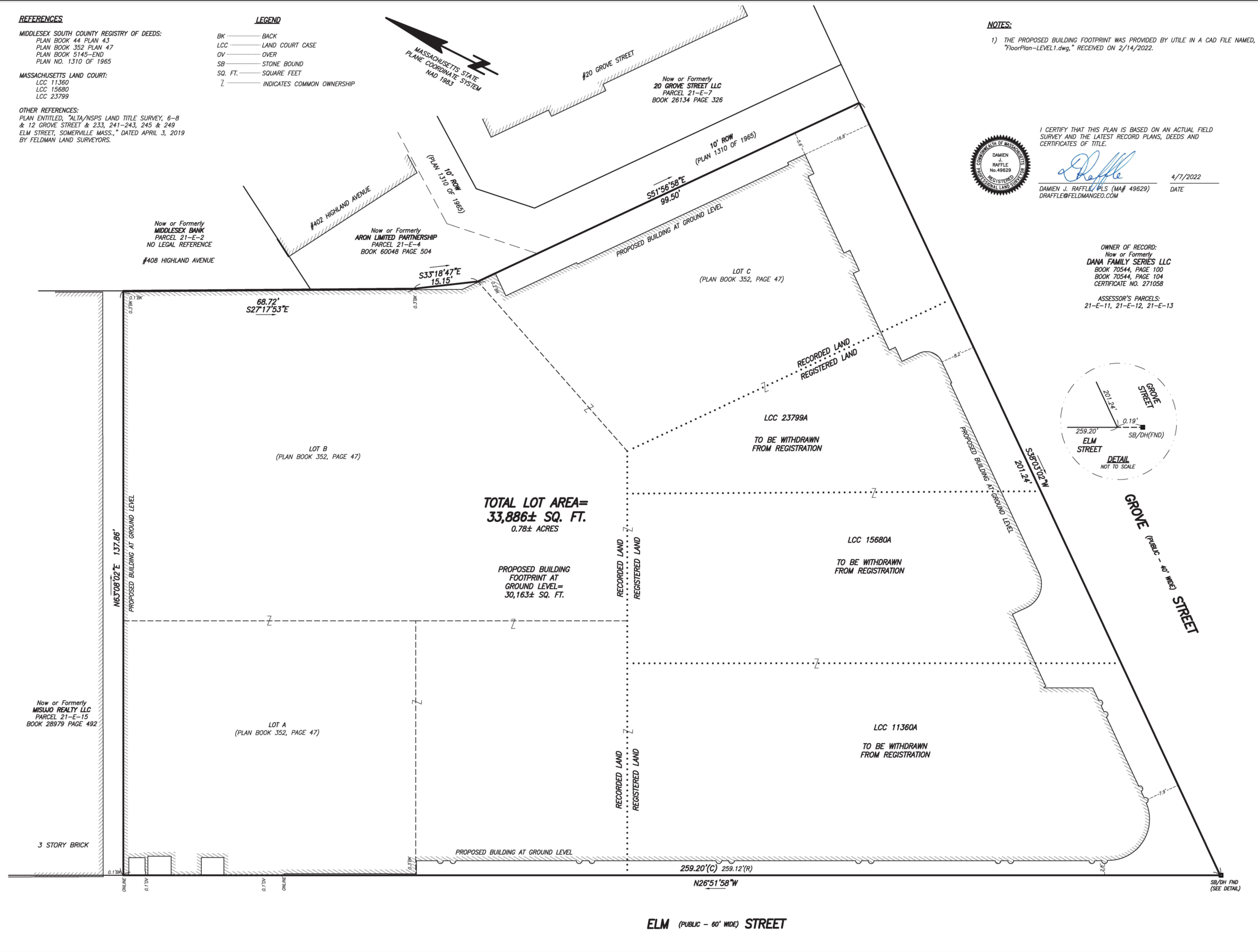
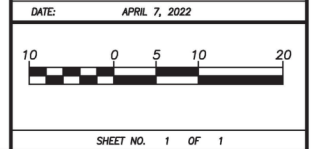
ADDRESS:  
**233, 243 & 245  
 ELM STREET  
 SOMERVILLE, MASS.**

RESEARCH: EC/DCH	FIELD CHIEF: NG
PROJ MGR: DJR	APPROVED: <i>FSP</i>
CALC: EC	CADD: EC/DCH
FIELD CHK:	CRD FILE: 16882

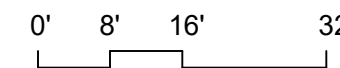
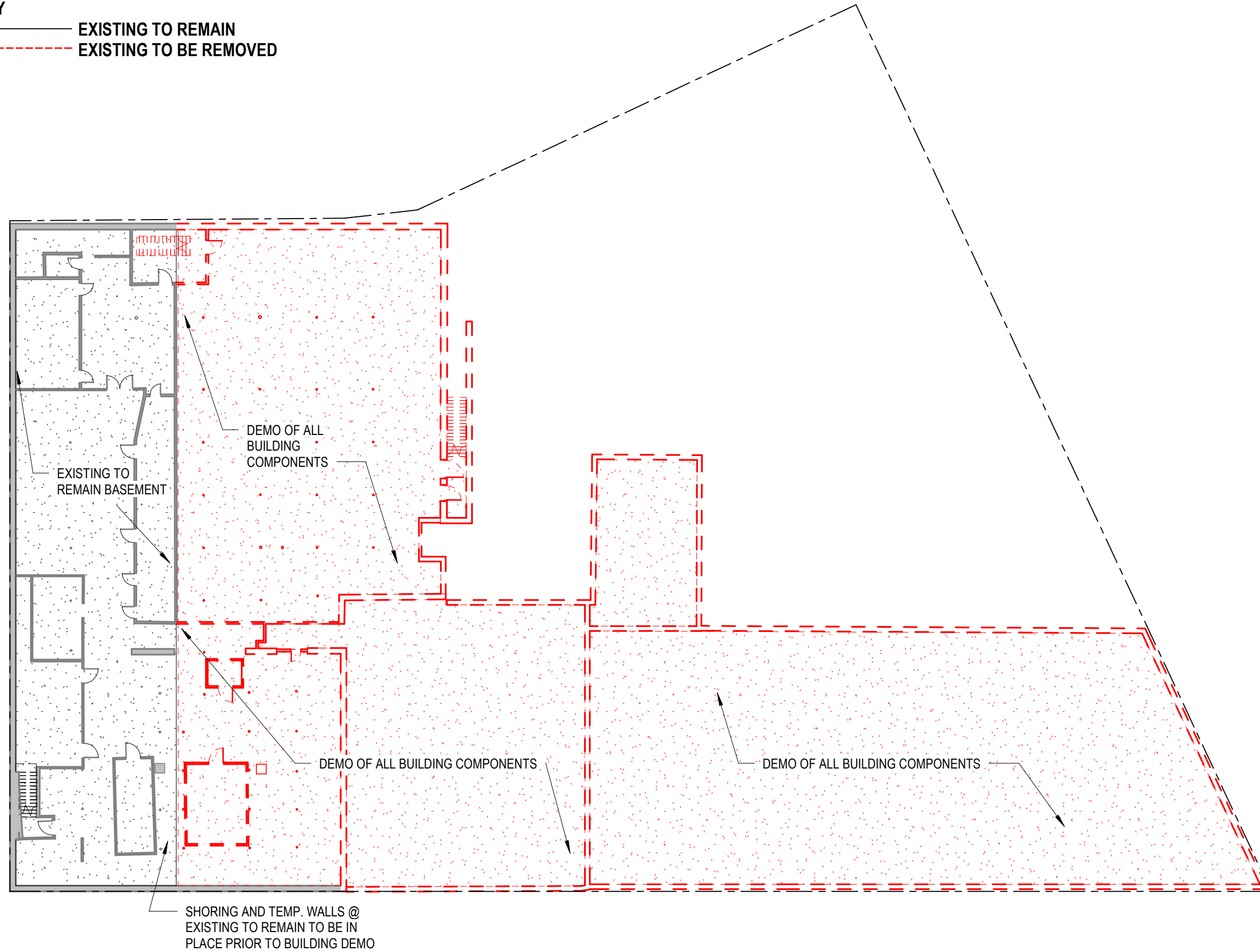
REVISIONS:


DRAWING NAME:  
**PLOT PLAN**

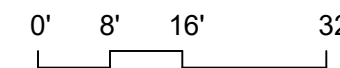
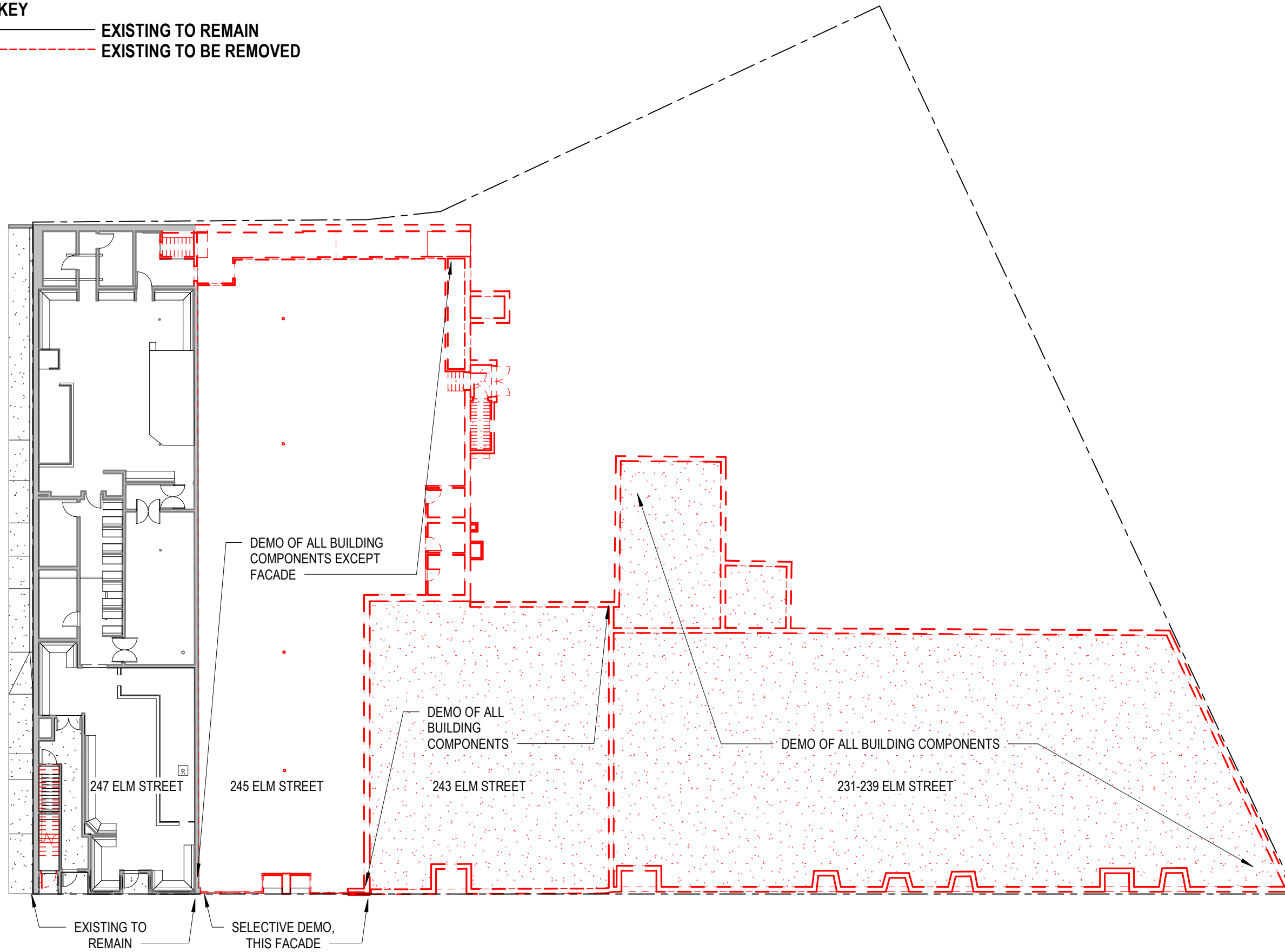
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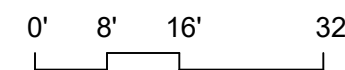
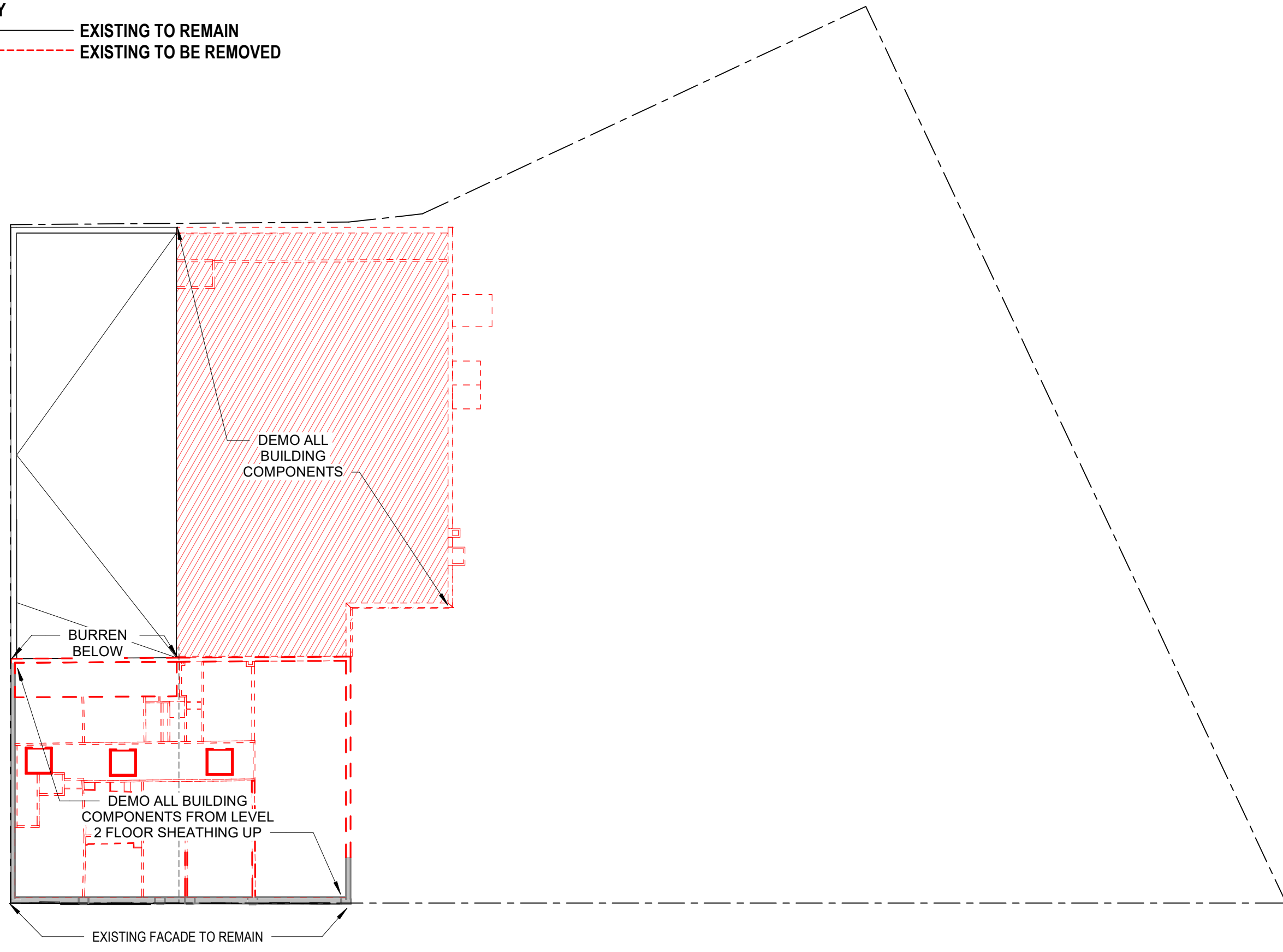
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 - - - EXISTING TO BE REMOVED



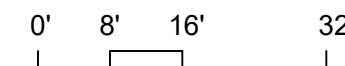
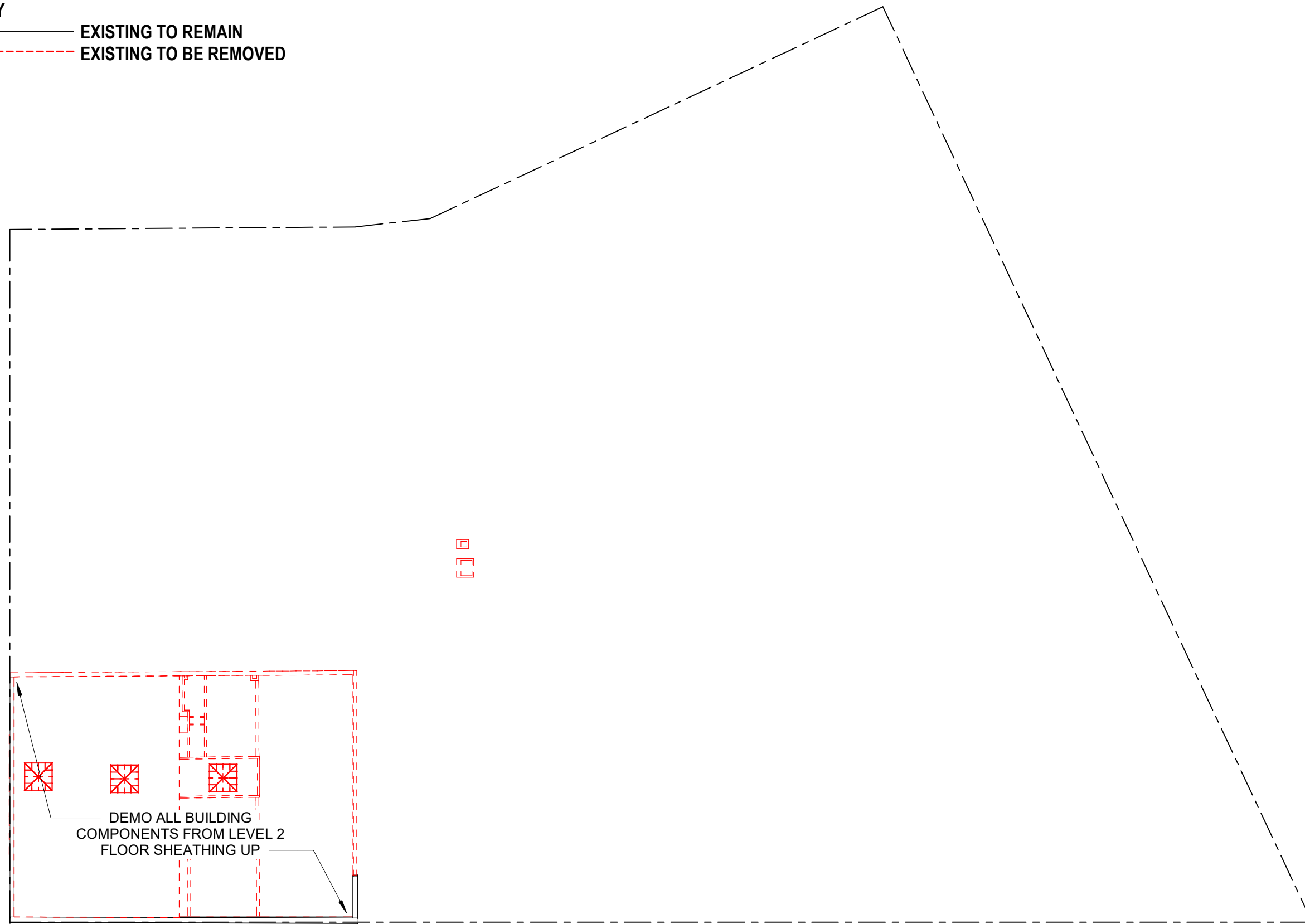
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**KEY**  
 ——— EXISTING TO REMAIN  
 - - - EXISTING TO BE REMOVED



**KEY**  
— EXISTING TO REMAIN  
- - - EXISTING TO BE REMOVED



**PARCEL ZONING SUMMARY**

ZONING DISTRICT CC4  
 TRANSIT AREA INSIDE QUARTER MILE WALKSHED  
 PEDESTRIAN STREET YES  
 PRINCIPAL BLDG TYPE LAB BUILDING

**LEASABLE SPACE (SF)**  
 RETAIL / COMMERCIAL 17,292  
 LAB / OFFICE 102,190

NOTE: 9,040 SF (5% OF GROSS FLOOR AREA) RESERVED FOR ARTS & CREATIVE ENTERPRISE INCLUDED IN AREAS LISTED ABOVE

**DEVELOPMENT SUMMARY**

**PROJECT AREA**  
 LOT AREA (SF) 33,886  
 GROSS FLOOR AREA (SF) ABOVE GRADE 127,636  
 GROSS FLOOR AREA (SF) BELOW GRADE 57,163  
 GROSS FLOOR AREA (SF) TOTAL 184,799

**ZONING TABLE**

**MAIN MASS**

BUILDING WIDTH [MAX]

OPEN SPACE

FLOOR PLATE [MAX]

Ground Floor  
 Typical Upper Floor

GROUND STORY HEIGHT [MIN]

UPPER STORY HEIGHT [MIN]

NUMBER OF STORIES

BUILDING HEIGHT [MAX]

ROOF TYPE

**FACADE COMPOSITION**

GROUND STORY FENESTRATION [MIN]

PRIMARY FACADE [MIN]

SECONDARY FACADE [MIN/MAX]

UPPER STORY FENESTRATION [MIN/MAX]

BLANK WALL [MAX]

**12/09/2022 AMENDMENT**

MECH. PH HEIGHT IN CC4 DISTRICT ABUTTING CC4 PARCEL [MAX]

	ALLOWED	PROPOSED	AS-OF-RIGHT
BUILDING WIDTH [MAX]	240'-0"	239'-11"	YES
OPEN SPACE	25% MIN. LOT AREA		
	8,472 SF	9,334 SF	YES
FLOOR PLATE [MAX]			
Ground Floor	35,000 SF	30,189SF	YES
Typical Upper Floor	35,000 SF	29,182 SF	YES
GROUND STORY HEIGHT [MIN]	18 FT	18 FT 10 IN	YES
UPPER STORY HEIGHT [MIN]	10 FT	14 FT 8 IN	YES
NUMBER OF STORIES	4	4	YES
BUILDING HEIGHT [MAX]	65 FT	61 FT	YES
ROOF TYPE	FLAT	FLAT	YES
FACADE COMPOSITION			
GROUND STORY FENESTRATION [MIN]			
PRIMARY FACADE [MIN]	70%	70%*	YES
SECONDARY FACADE [MIN/MAX]	15% / 70%	48%	YES
UPPER STORY FENESTRATION [MIN/MAX]	15% / 70%	42%	YES
BLANK WALL [MAX]	20 FT		YES
	20 FT	20 FT	YES

\* GROUND STORY PRIMARY FACADE FENESTRATION MEASURED FROM FLOOR TO UNDERSIDE OF STRUCTURE FOR NEW CONSTRUCTION FACADE ON ELM STREET.

**PARKING**

**BIKES**

	SHORT TERM		LONG TERM	
	REQUIRED	AS OF RIGHT	REQUIRED	
COMMERCIAL / RETAIL	1/1,000 SF		1/5,000 SF	
	22		4.33	YES
LAB / OFFICE	1/20,000 SF		1/5,000 SF	
	5		20.44	YES
TOTAL REQUIRED	27		24.77	YES
TOTAL PROPOSED	28	YES	33	YES

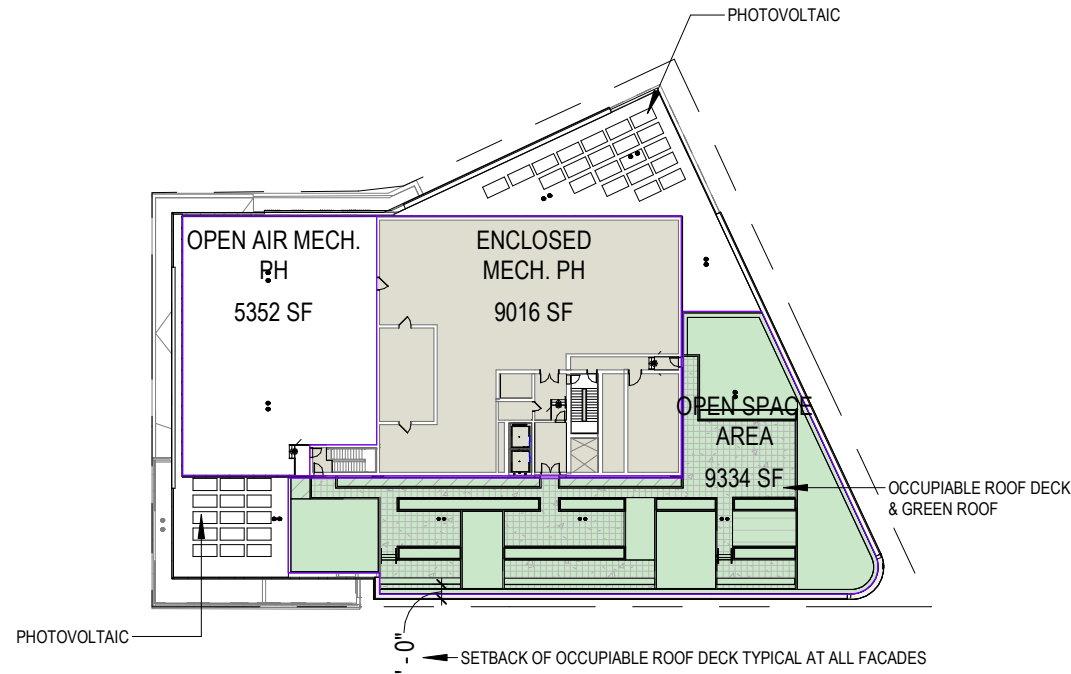
**MOTOR VEHICLE\***

	WITHIN A TRANSIT AREA (MAX)	
	REQUIRED	AS OF RIGHT
LAB / OFFICE	1/1,000 SF	
	102 FOR 102,000 SF	YES
ASSEMBLY / ENTERTAINMENT	1/6 SEATS	
	7 FOR 46 SEATS	YES
F&B	1/300	
	24	YES
RETAIL SALES	1/750	
	9	YES
MAX ALLOWED	142	
TOTAL PROPOSED	77	YES
EV READY	57	YES
EV EQUIPPED	20	YES

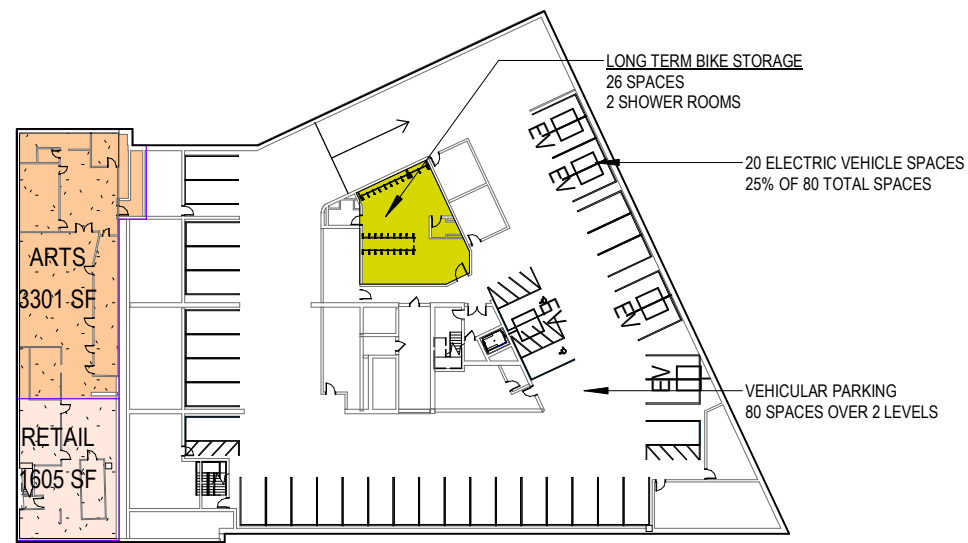
\*COVERED, BELOW GRADE



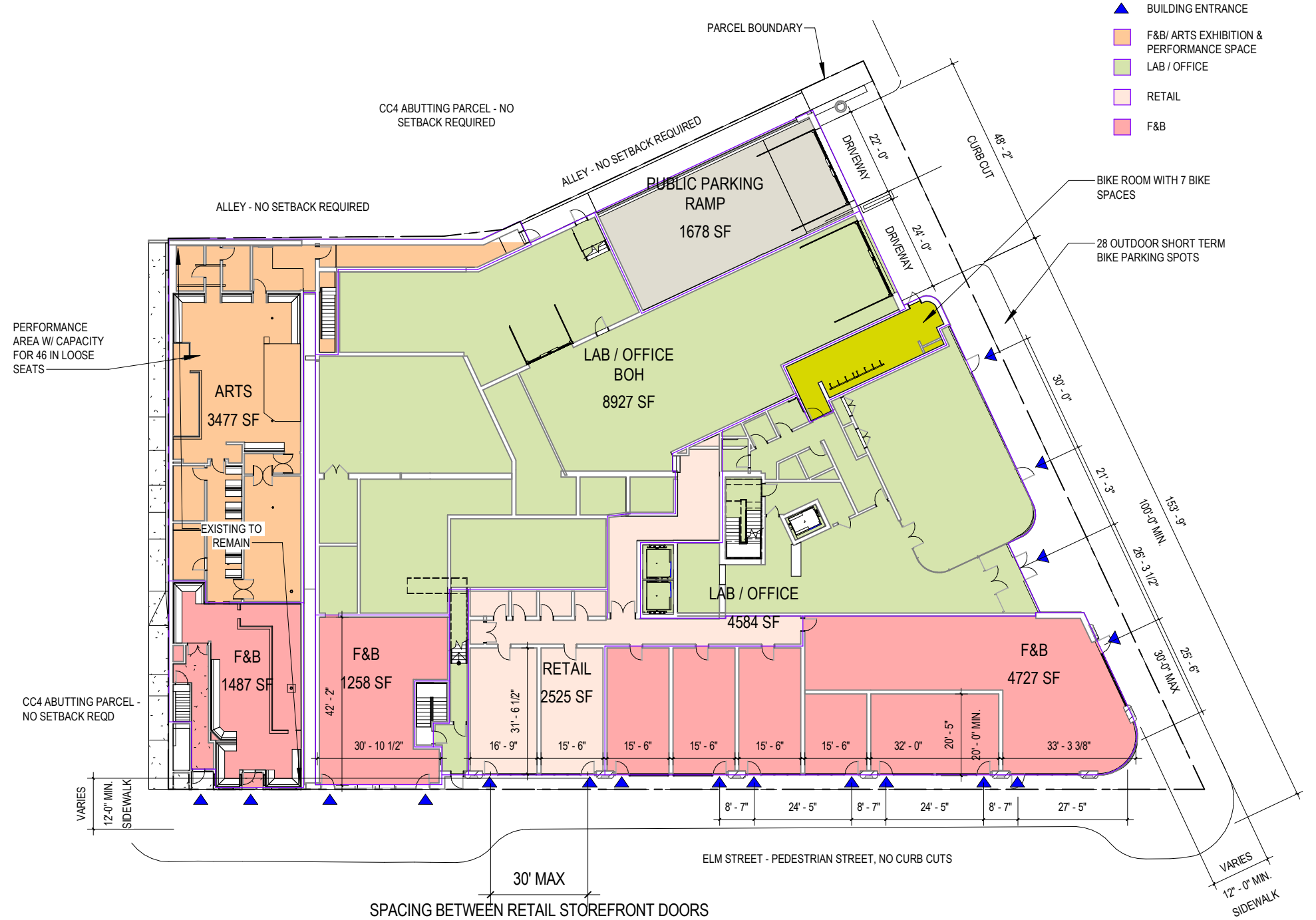




**3** ROOF  
1/64" = 1'-0"

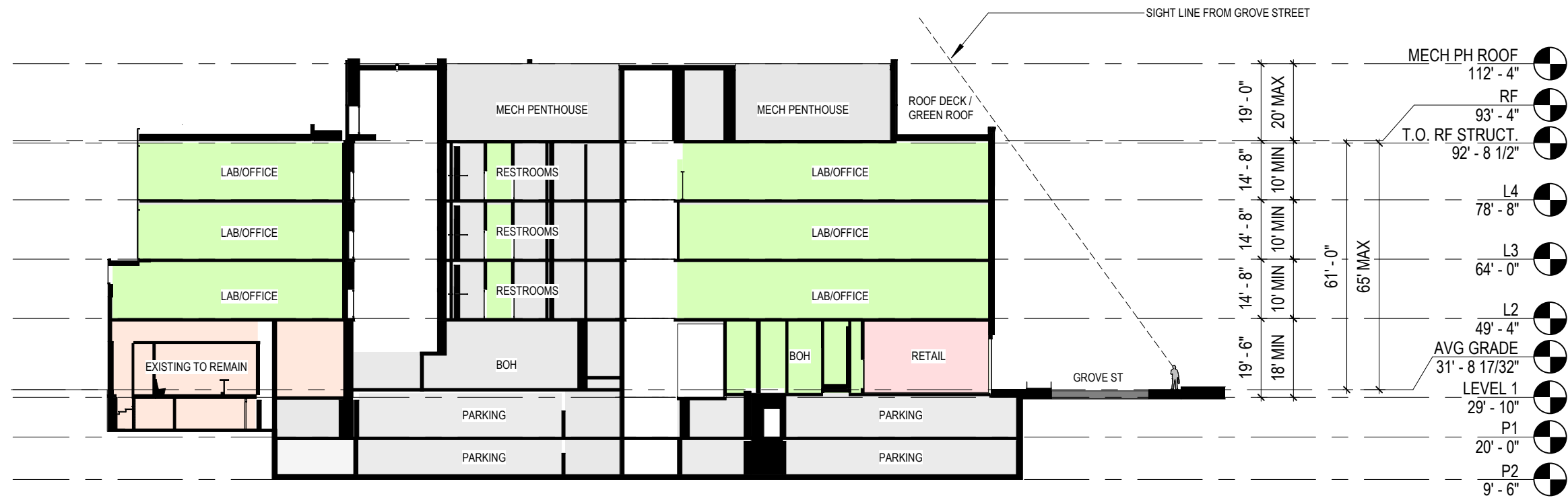


**2** DIMENSIONAL COMPLIANCE PLAN -  
LEVEL P1  
1/64" = 1'-0"

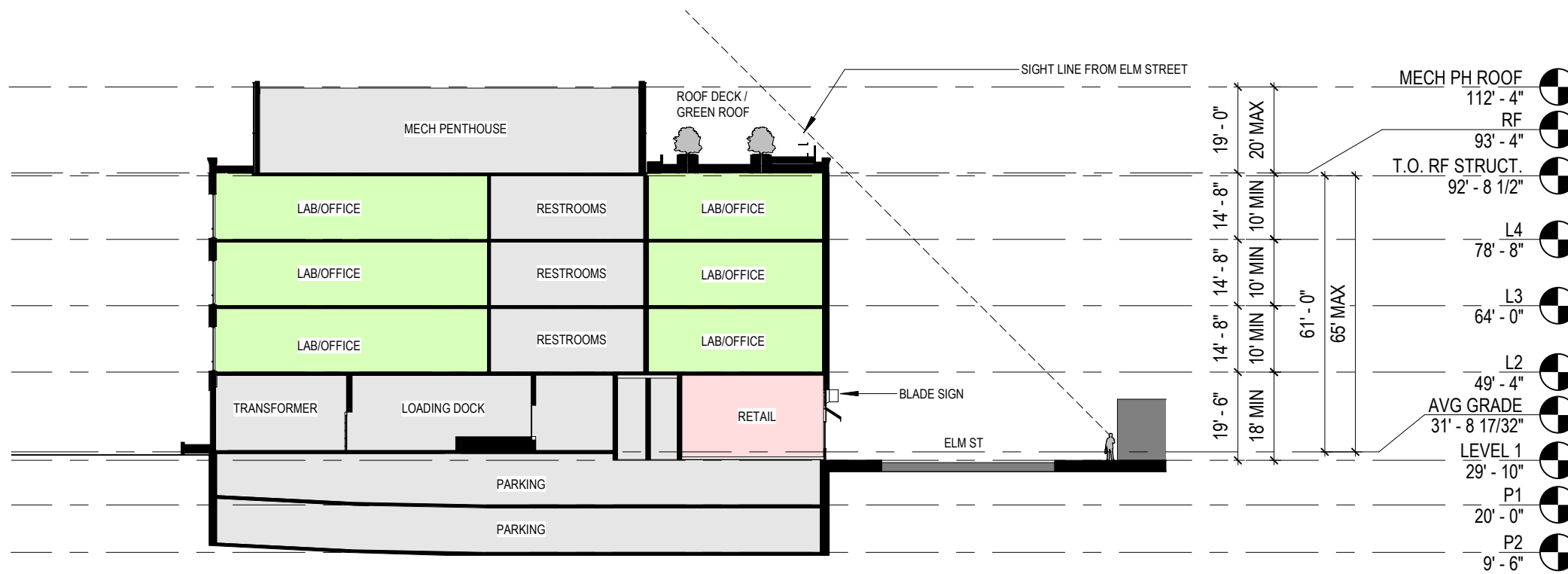


**1** DIMENSIONAL COMPLIANCE PLAN -  
LEVEL 1  
1/32" = 1'-0"





**2** BUILDING SECTION AT GROVE STREET  
 1/32" = 1'-0"



**1** BUILDING SECTION AT ELM STREET  
 1/32" = 1'-0"



**A003.0A**

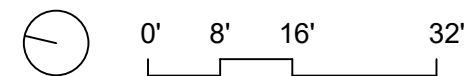
**P2 LEVEL FLOOR PLAN**

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**A003.0B**

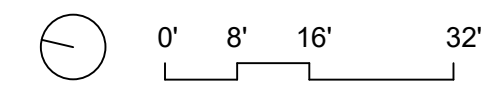
**P1 FLOOR PLAN**

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**A003.1**

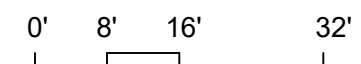
FIRST FLOOR PLAN

DAVIS SQUARE LAB

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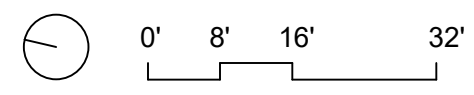
**A003.2**

**SECOND FLOOR PLAN**

**DAVIS SQUARE LAB**  
 231-249 Elm Street  
 6-8 & 12 Grove Street  
 Somerville, MA, 02144

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**A003.3**

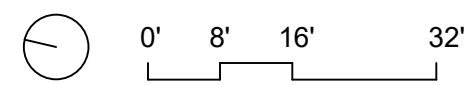
THIRD FLOOR PLAN

DAVIS SQUARE LAB

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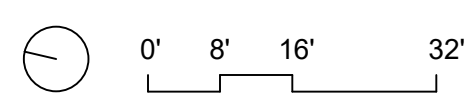
**A003.4**

**FOURTH FLOOR PLAN**

**DAVIS SQUARE LAB**  
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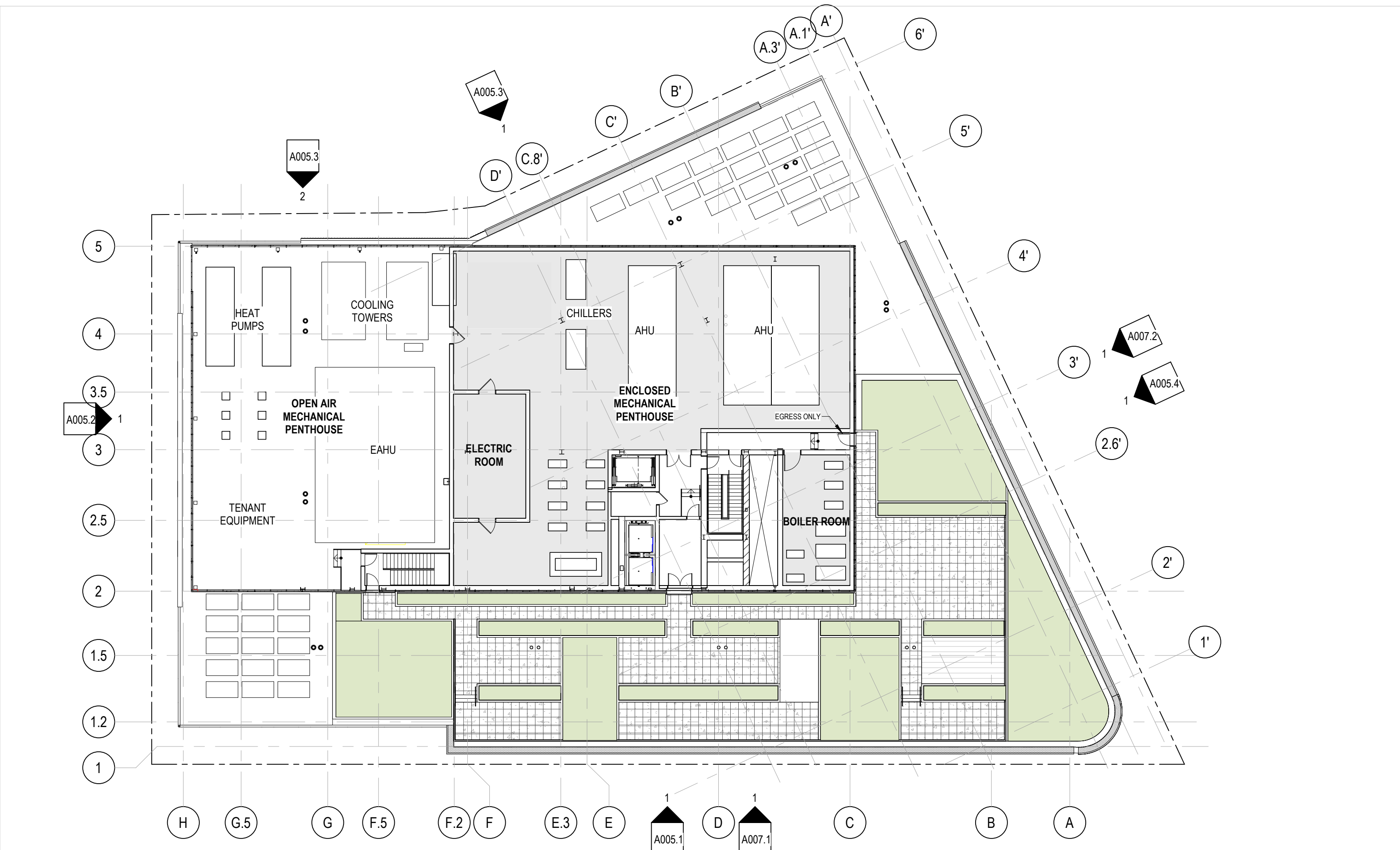
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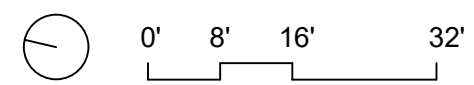
**A003.5**

**MECH. PH / ROOF  
DECK PLAN**

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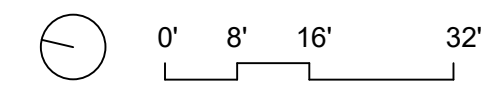
**A003.6**

**PENTHOUSE ROOF PLAN**

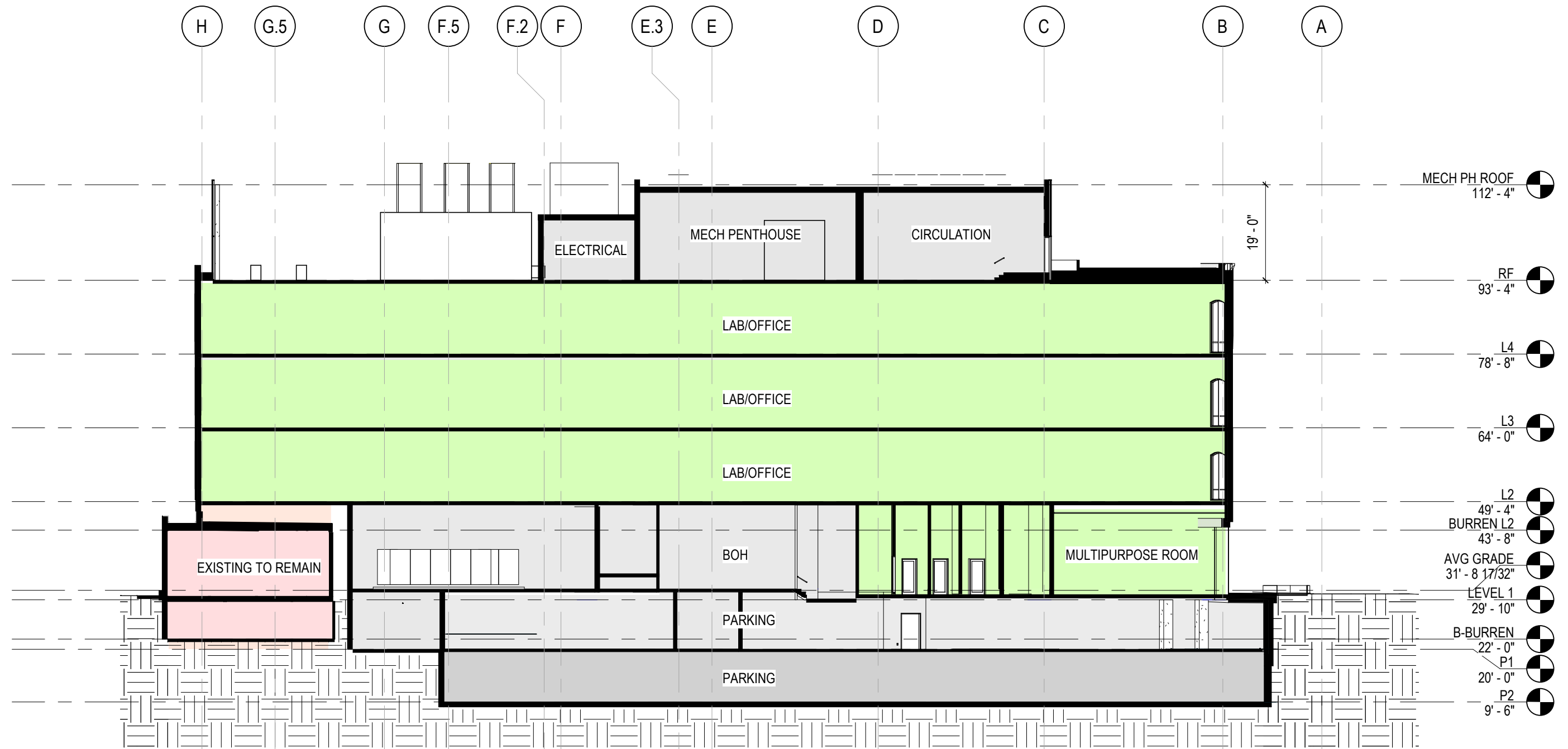
**DAVIS SQUARE LAB**  
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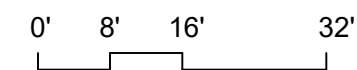
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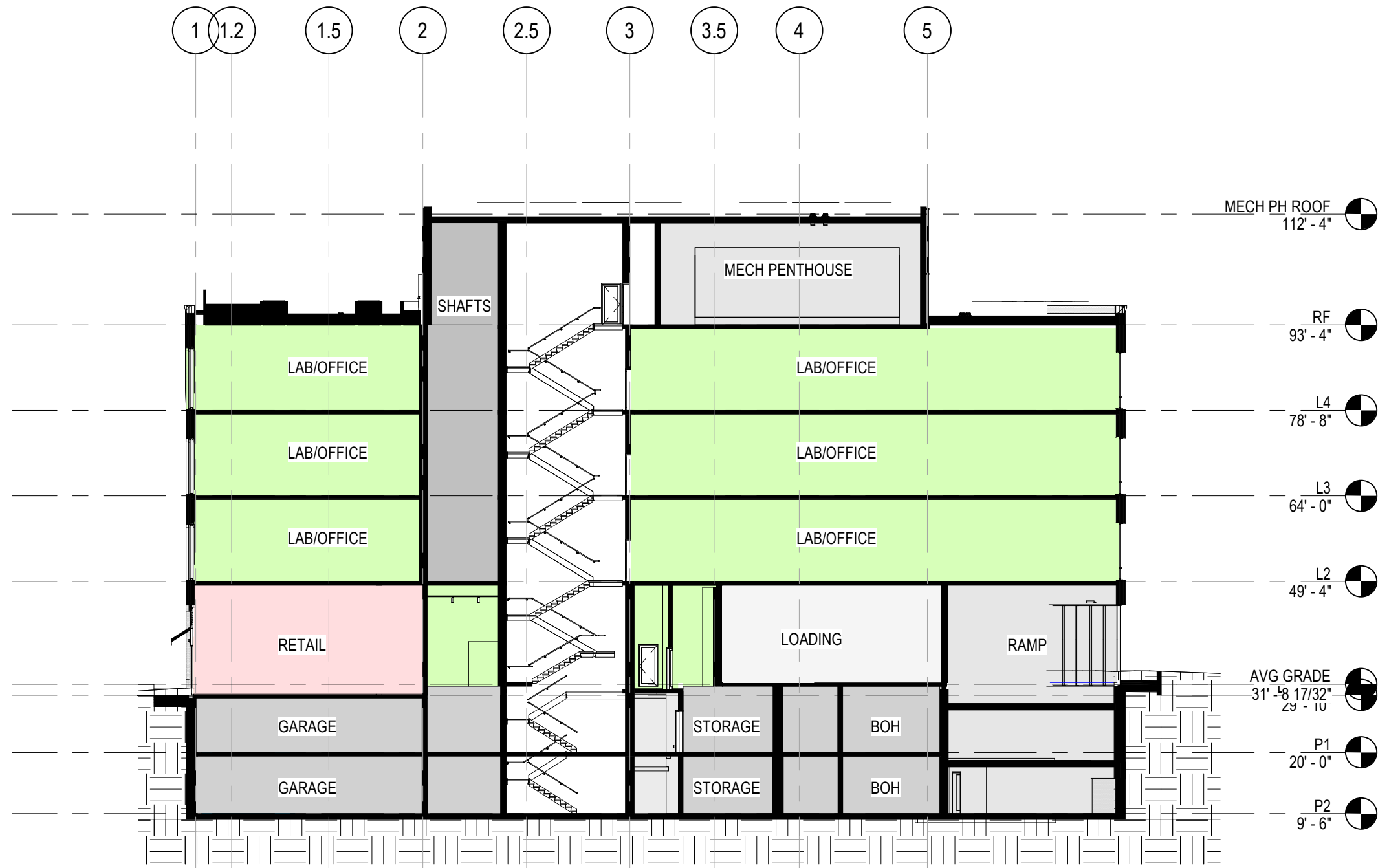


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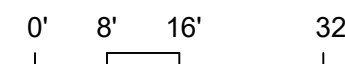


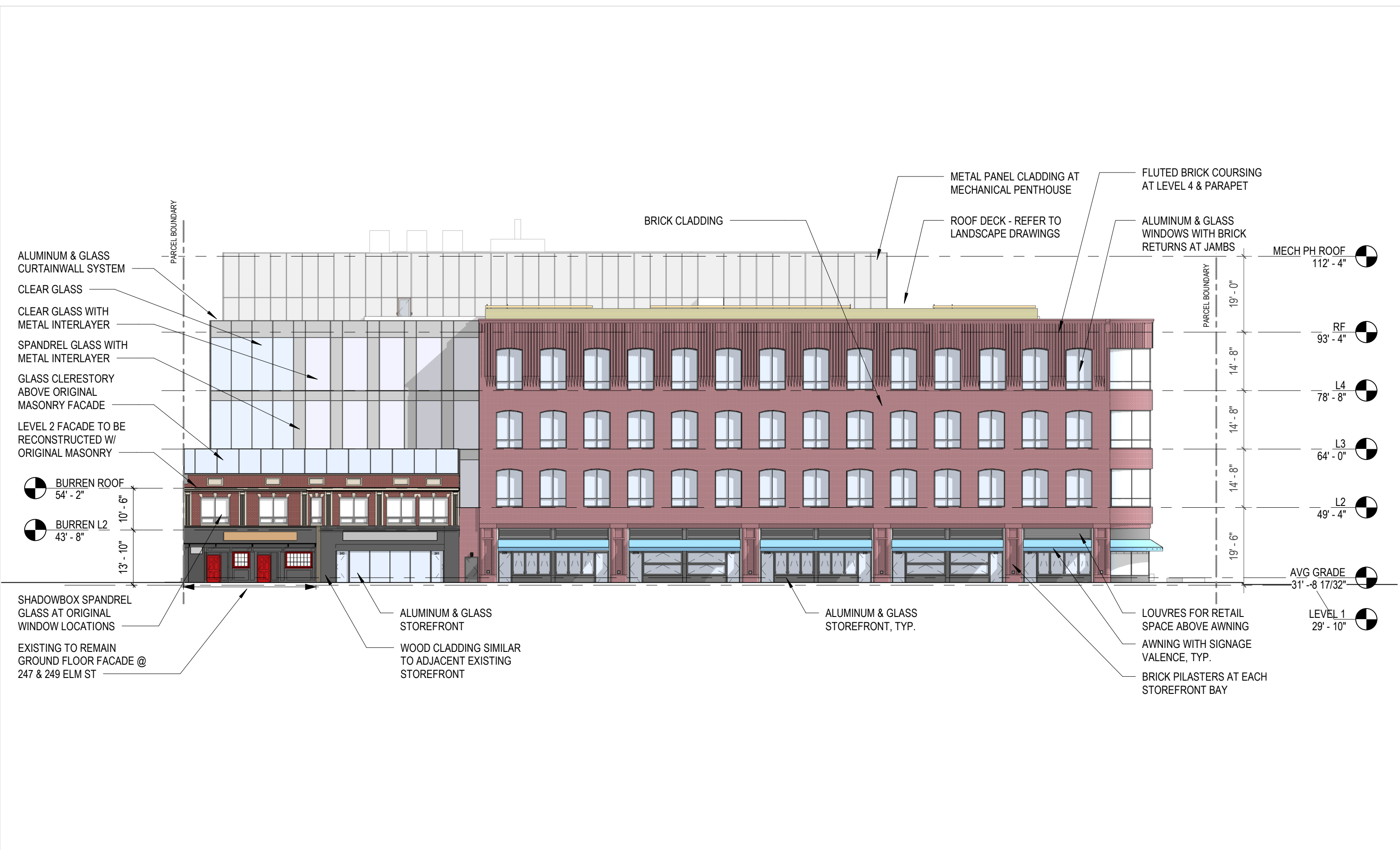
**1** EAST - WEST ILLUSTRATIVE SECTION  
 3/64" = 1'-0"





**1** NORTH - SOUTH ILLUSTRATIVE SECTION  
 3/64" = 1'-0"





**A005.1**

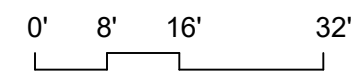
**EXTERIOR  
ELEVATION WEST**

**DAVIS SQUARE LAB**

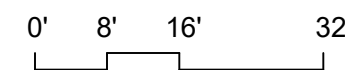
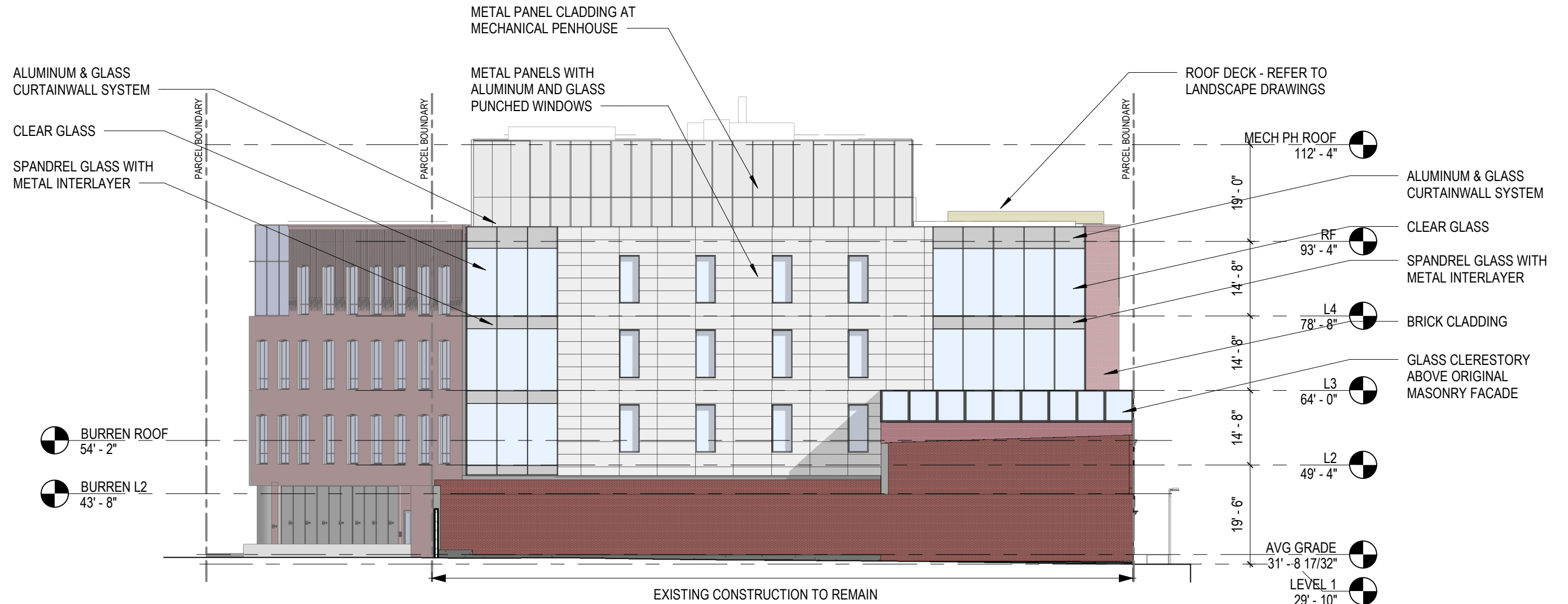
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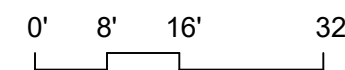
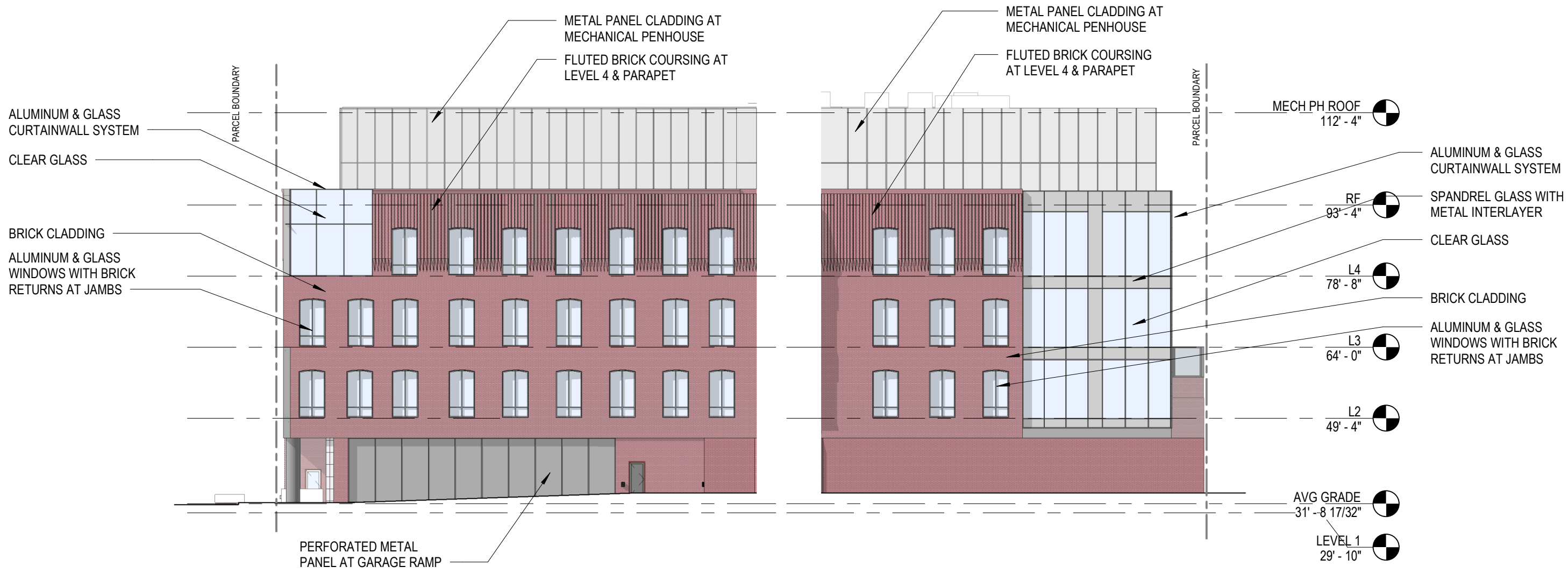
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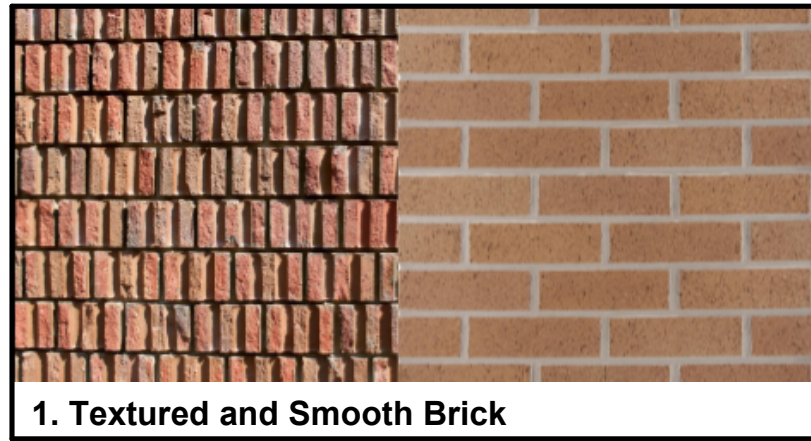
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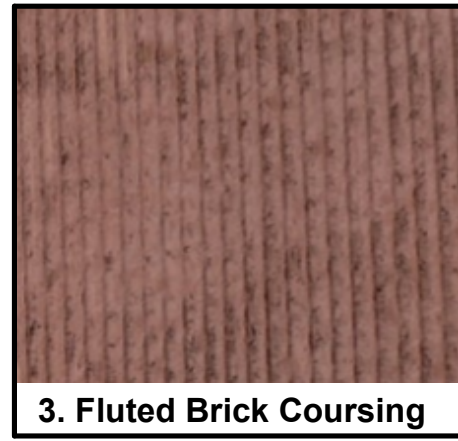




1. Textured and Smooth Brick



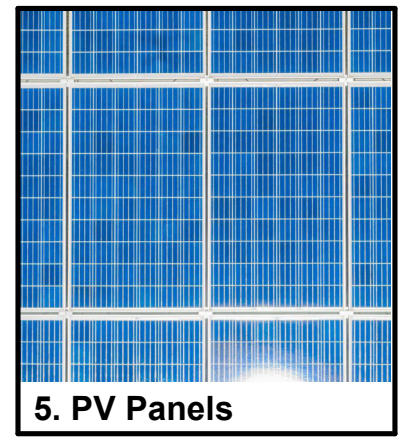
2. Metal Panel



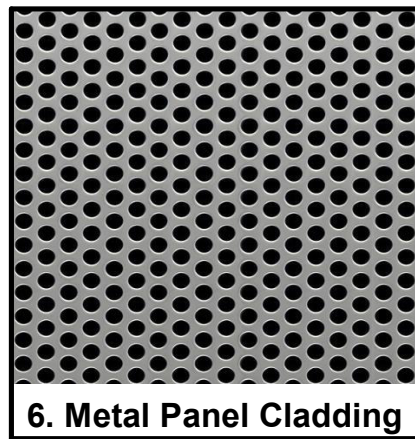
3. Fluted Brick Coursing



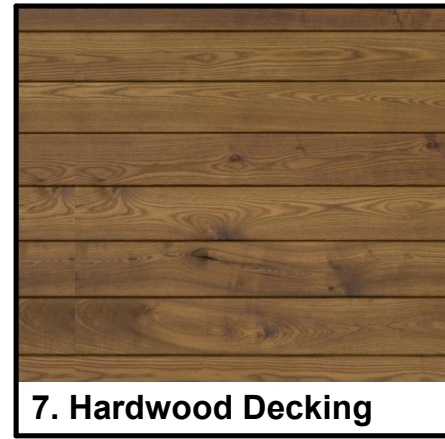
4. Curtain Wall



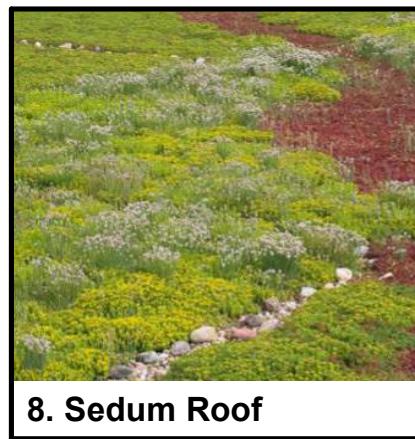
5. PV Panels



6. Metal Panel Cladding



7. Hardwood Decking



8. Sedum Roof



9. INSULATING GLASS

