

27 HOUGHTON STREET

PERMIT DRAWINGS - 08-12-21

Outline Specifications

Division 1 - General Requirements

- All work shall conform to the requirements of the latest edition of the Commonwealth of Massachusetts Building Code (780CMR) and the contract documents. In case of a conflict, the most stringent requirement shall govern.
- Contractor to coordinate and verify in field all dimensions and details prior to commencement of work and report all errors and/or discrepancies to architect prior to the start of construction.
- Contractor to complete all work indicated in the drawings and specifications, details not shown to be completed in accordance with accepted practices.
- Contractor to obtain building permit, contractor is responsible for plumbing, electrical and all other necessary permits and obtaining all required certificates and signoffs.
- Contractor to insure that all work be performed by licensed tradesmen where required and that all contractors and subcontractors carry worker's compensation and liability insurance
- Contractor is responsible for verifying compatibility of all materials including moisture protection and waterproofing membranes at new roof scope
- All work to be guaranteed to be free of substantial defects for a period of at least one year after completion
- Any changes, modifications, substitutes, other than called for in these drawings, and carried out by the contractor and/or the owner, shall be the full responsibility of the contractor and owner, expressed or implied

Division 3 - Concrete

See structural plans

Division 6 - Wood and Plastics

Framing - See structural plans

Composite decking - Timbertech Vintage, Trex Transcend, or equal. Coordinate color selection with owner.

Division 7 - Thermal and Moisture Protection

Architectural Asphalt Shingles on synthetic roofing underlayment and ice and water membrane per manufacturer guidelines. Coordinate final color selection with owner

Elastomeric Membrane Roofing at low slope roof areas, Firestone EPDM or similar. Contractor to verify compatibility of all roofing and sealant products

Insulation - See wall sections - R21 insulation at all new exterior walls. R49 insulation at new roof areas. All exposed spray foam insul. within occupiable spaces to be covered with thermal fire barrier, Rockwool mineral fiber batts at new work at shared party wall

Exterior Air / Weather Barrier - Continuous water resistive air barrier, Henry Blueskin Self Adhered or equal
Interior Air Barrier / Vapor Retarder - Certainteed Membrain or equal, tape all seams and seal to electrical boxes and other interior wall penetrations

Exterior siding - Painted Fibercement lap siding with smooth finish and 4" exposure, James Hardie or equal. Coordinate final color and paint selection with owner

Exterior siding, trim - Painted composite (LP Smart Side) or Painted PVC: 5/4x6 & 5/4x4 corner boards, 5/4x4 1/2" window casing with 2" sills

Exterior flashings - prefinished metal head flashing at all window and door casings, metal flashing at exterior deck and porch connection, full metal pan flashing at exterior sliding door sill, coordinate flashing colors with owner

Gutters and downspouts: 4" prefinished metal gutters, 2"x3" rectangular prefinished metal downspouts, coordinate color with owner

Sealants - Paint grade silicone 25 yr guarantee

Damproofing at foundation - Dorken Delta MS with dimple mat or equal

Division 8 - Doors and Windows

Exterior Windows - See schedule and coordinate final selection with owner - Andersen 400 Series, provide tempered glazing in hazardous locations and opening control devices per code, coordinate final selection and color with owner

Skylights - See schedule, Velux or equal

Exterior Doors - See plans and elevations, Simpson or ThermaTru insulated steel with insulated glass or equal, coordinate final selection with owner

Interior doors - Solid core, see plans and coordinate final selection with owner

Exterior Door hardware - Coordinate selection with owner

Interior Door hardware - Coordinate selection with owner

Division 9 - Finishes

Walls and ceilings - 1/2" blue board with smooth plaster finish, 5/8" Type X drywall at new areas of shared party wall

Wood flooring - Install on sound isolation mat, Coordinate final floor selection with owner including areas of existing floor to remain

Ceramic tile at bathrooms, all tile to be on tile backer board - Tiled 2 level shelf inside shower. Coordinate final selections with owner

Paint and stain - Coordinate selections with owner.

Interior trim - Painted wood 1x4 baseboard. 1x4 painted wood flat interior window casings

Division 10 - Specialties

Bathroom accessories - by owner, contractor installed. Provide blocking as required

Closet rods and shelves - by owner, contractor installed. Provide blocking as required

Division 11 - Equipment

Kitchen appliances furnished by owner, installed by contractor

Division 12 - Furnishings

Bathroom - Solid wood vanity fronts and plywood boxes. Coordinate final selection including vanity tops with owner.

Kitchen casework - Solid wood cabinet fronts and plywood boxes. Particle board cabinet bodies and components not accepted.

Coordinate final selections and cabinetry design including countertops with owner.

Division 22 - Plumbing

Coordinate plumbing fixture selections with owner

Division 23 - HVAC

Coordinate mechanical unit indoor unit locations with owner

Locate ERV for each unit above hall closet. Coordinate with owner

Bath / Toilet Fan: Panasonic FV08 fan (without light) or equal, min 50 cfm with moisture and occ. sensor

Division 26 - Electrical

All electrical work shall conform to the latest edition of the National Electrical Code and local ordinances

Install all circuits as required

Lighting - Coordinate selections with owner - see floor plans for lighting counts

Outlets and switches - For all fixtures and as per code. Coordinate final switch locations and dimmers with owner. White switches and wall plates,

coordinate with owner. Provide dimmer switches in kitchen, living room, dining room, and bedroom

Cable and wifi - Coordinate locations with owner

Division 28 - Electronic Safety and Security

Interconnected hardwired smoke and CO detectors with battery backup as required by code



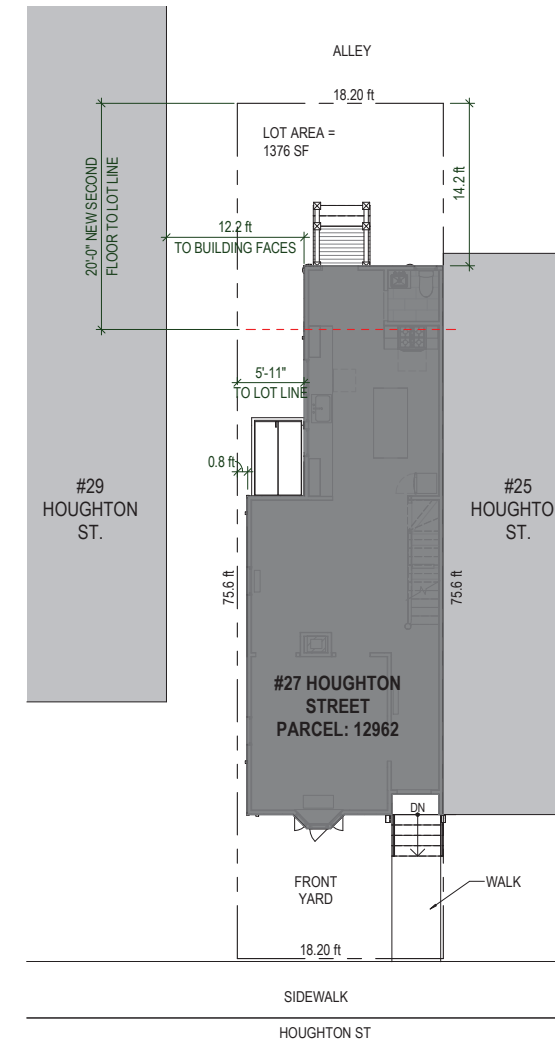
SCOPE OF WORK: SELECTIVE INTERIOR RENOVATION OF EXISTING SINGLE FAMILY DWELLING, BASEMENT STRUCTURAL REPAIRS, REBUILD EXISTING REAR ENTRY MUD ROOM AREA, ADD SECOND FLOOR REAR ADDITION ABOVE EXISTING KITCHEN WING. NO CHANGE TO BUILDING FOOTPRINT.

ZONING DIMENSIONAL ANALYSIS					
Zoning District : NR - SEMI DETACHED HOUSE	Parcel ID: 12962		PROJECT AREAS		
	NR 3.1.9	Actual	EXISTING		
Min. Lot Size	2160 sf	1,376 sf	BASEMENT GFA= 678 sf		
Min. Lot Width	27 ft	18.20 ft	FIRST FLOOR GFA= 735 sf		
			SECOND FLR GFA= 489 sf		
	Existing	Allowable	Proposed	Ordinance Reference	TOTAL GFA= 1902 sf
Front Yard Setback	12.7 ft	10 ft	No Change	NR 3.1.9	PROPOSED
Party Line Setback-East	0	0 ft	No Change	NR 3.1.9	
Side Yard Setback-West	0.8 ft	5 ft	No Change	NR 3.1.9	
Rear Yard Setback	14.2 ft	20 ft	No Change	NR 3.1.9	
Maximum Height	27.58 ft	45 ft	No Change	NR 3.1.9	
					TOTAL GFA= 2083 sf

STRETCH CODE COMPLIANCE

- Above grade walls R21 insulation
- Foundation Walls R15 insulation - NOT APPLICABLE
- Slab R-Value R10 - NOT APPLICABLE
- Window U-factor .30 or less, skylights .50 or less.
- Roof/Ceiling R49 closed cell spray foam insulation
- Infiltration 4 ACH50
- Existing heating system to remain
- Central Air Conditioner 3 ton 15 SEER
- Domestic Hot Water .62 natural gas tank
- Programmable thermostat
- 80% High efficiency lighting

SHEET LIST	
G000	COVER SHEET, GEN NOTES AND SPECS
0000	SURVEY
AD01	EXISTING & DEMO FLOOR PLANS
A101	BASEMENT AND FIRST FLOOR PLANS
A102	SECOND FLOOR AND ROOF PLAN
A201	EXTERIOR ELEVATIONS
A301	PARTIAL SECTIONS
A401	ENLARGED KITCHEN + 1/2 BATH PLAN AND ELEVATIONS
A402	ENLARGED UPSTAIRS BATH PLAN AND ELEVATIONS
S101	BASEMENT AND FIRST FLOOR FRAMING PLAN
S102	SECOND FLOOR AND ROOF FRAMING PLAN



ARCH SITE DRAWING
1" = 10'-0"

BOND WORTHINGTON
ARCHITECT
110A INMAN ST
CAMBRIDGE MA 02139



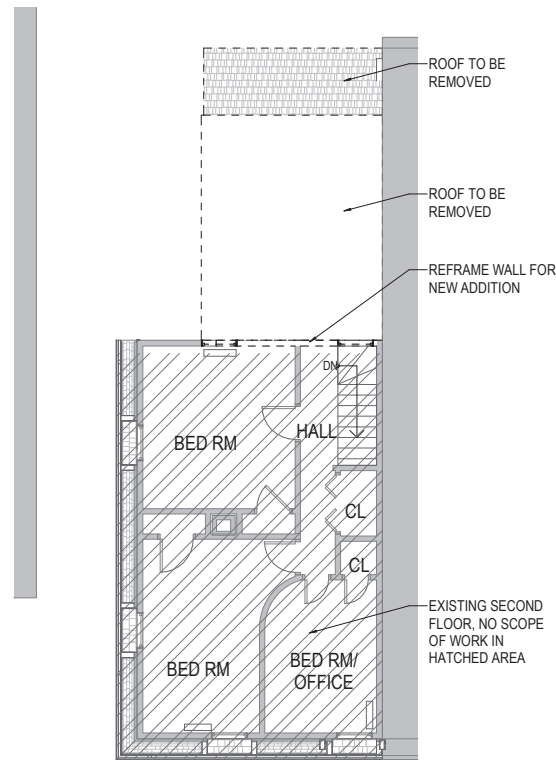
Project
27 HOUGHTON STREET
SOMERVILLE, MA 02143

PERMIT DRAWINGS 8-12-21

REVISIONS

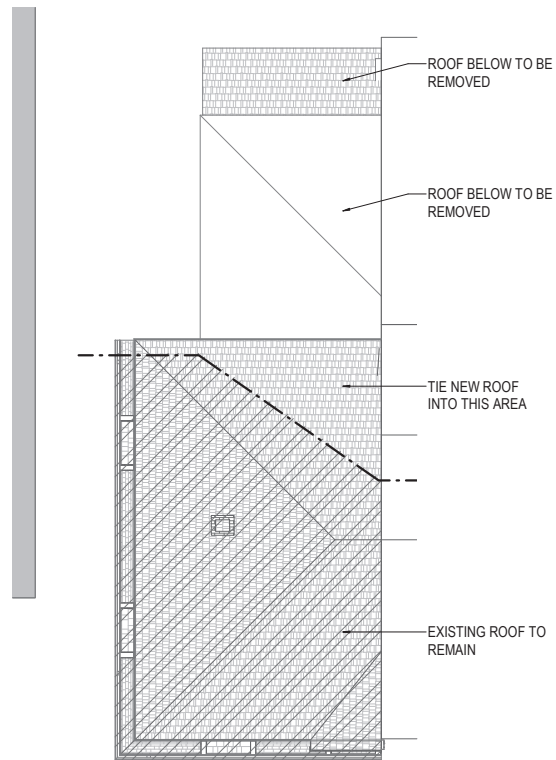
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**COVER SHEET,
GEN NOTES
AND SPECS**

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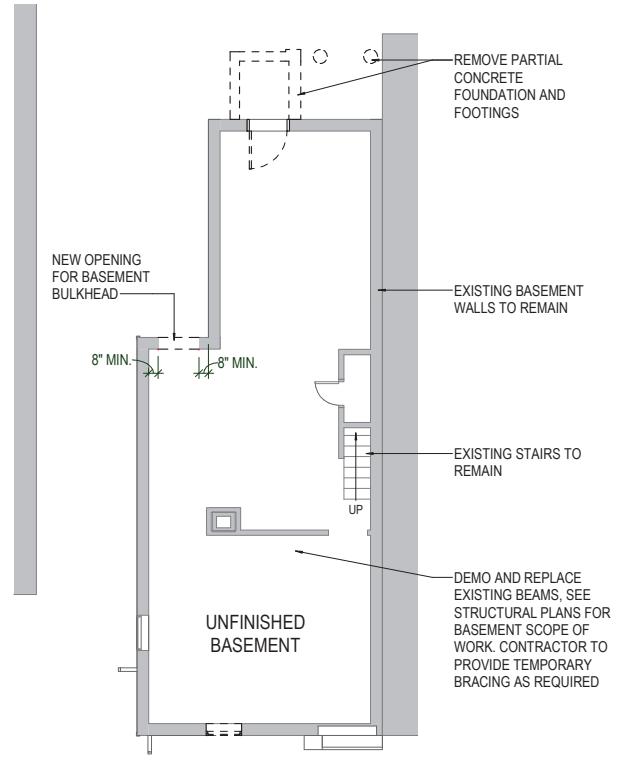
E2 SECOND FLOOR PLAN EXISTING
1/8" = 1'-0"

— EXISTING WALL OR ELEMENT TO REMAIN
- - - ELEMENT TO BE DEMOLISHED



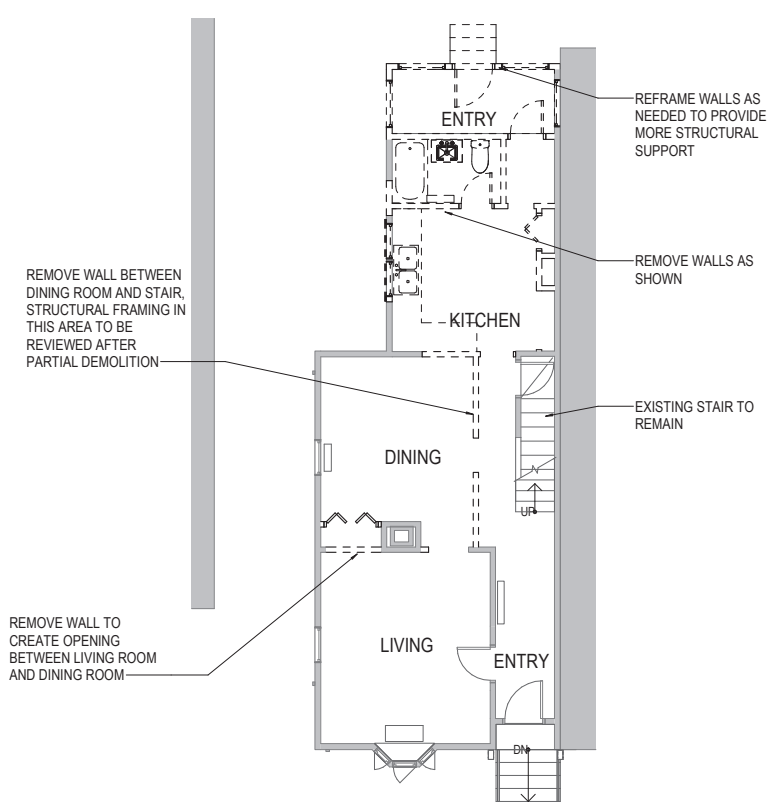
E3 ROOF PLAN EXISTING
1/8" = 1'-0"

— EXISTING WALL OR ELEMENT TO REMAIN
- - - ELEMENT TO BE DEMOLISHED



E0 BASEMENT FLOOR PLAN EXISTING
1/8" = 1'-0"

— EXISTING WALL OR ELEMENT TO REMAIN
- - - ELEMENT TO BE DEMOLISHED



E1 FIRST FLOOR PLAN EXISTING
1/8" = 1'-0"

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- - - ELEMENT TO BE DEMOLISHED

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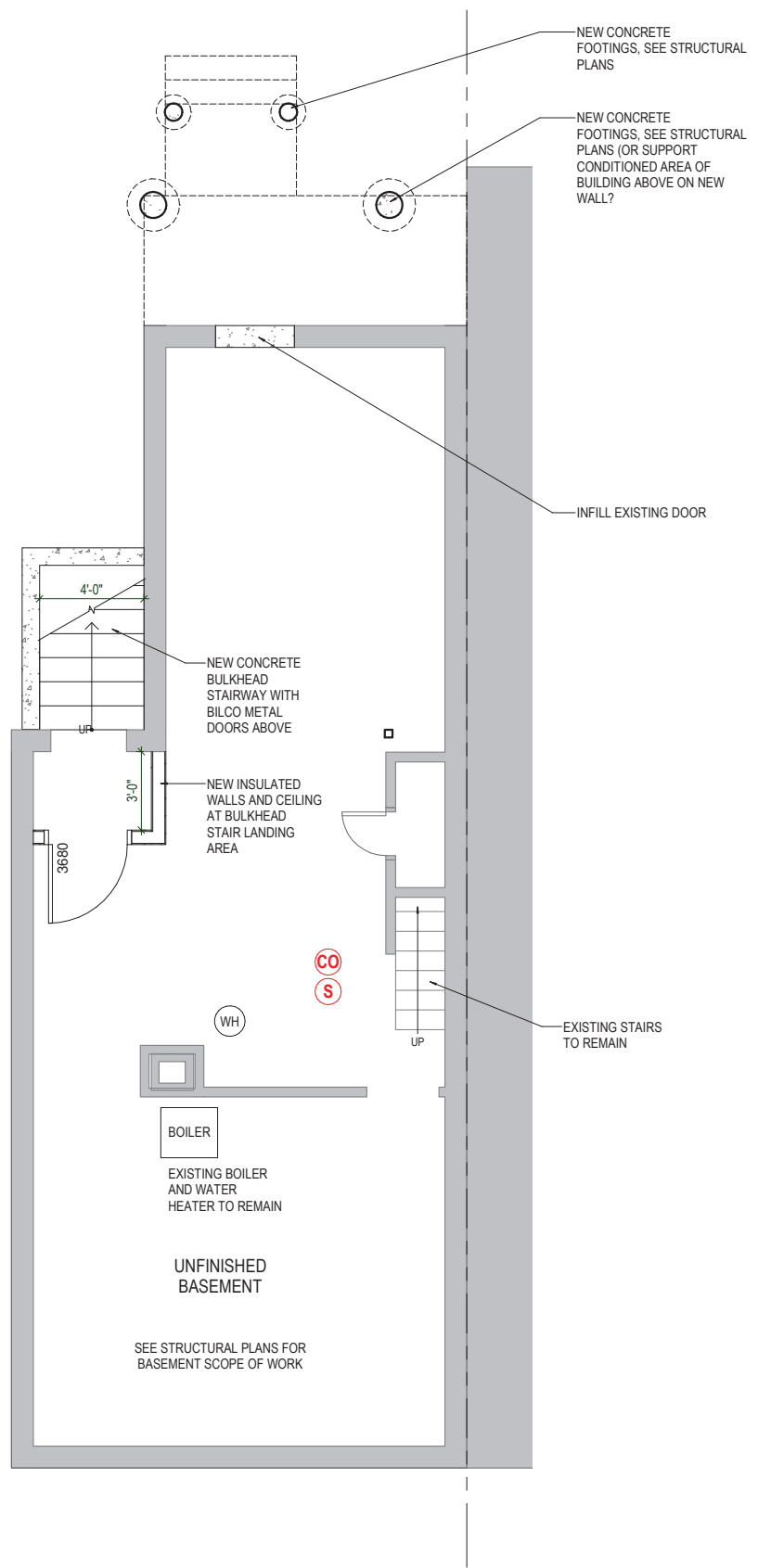
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Scale 1/8" = 1'-0"
EXISTING & DEMO FLOOR PLANS

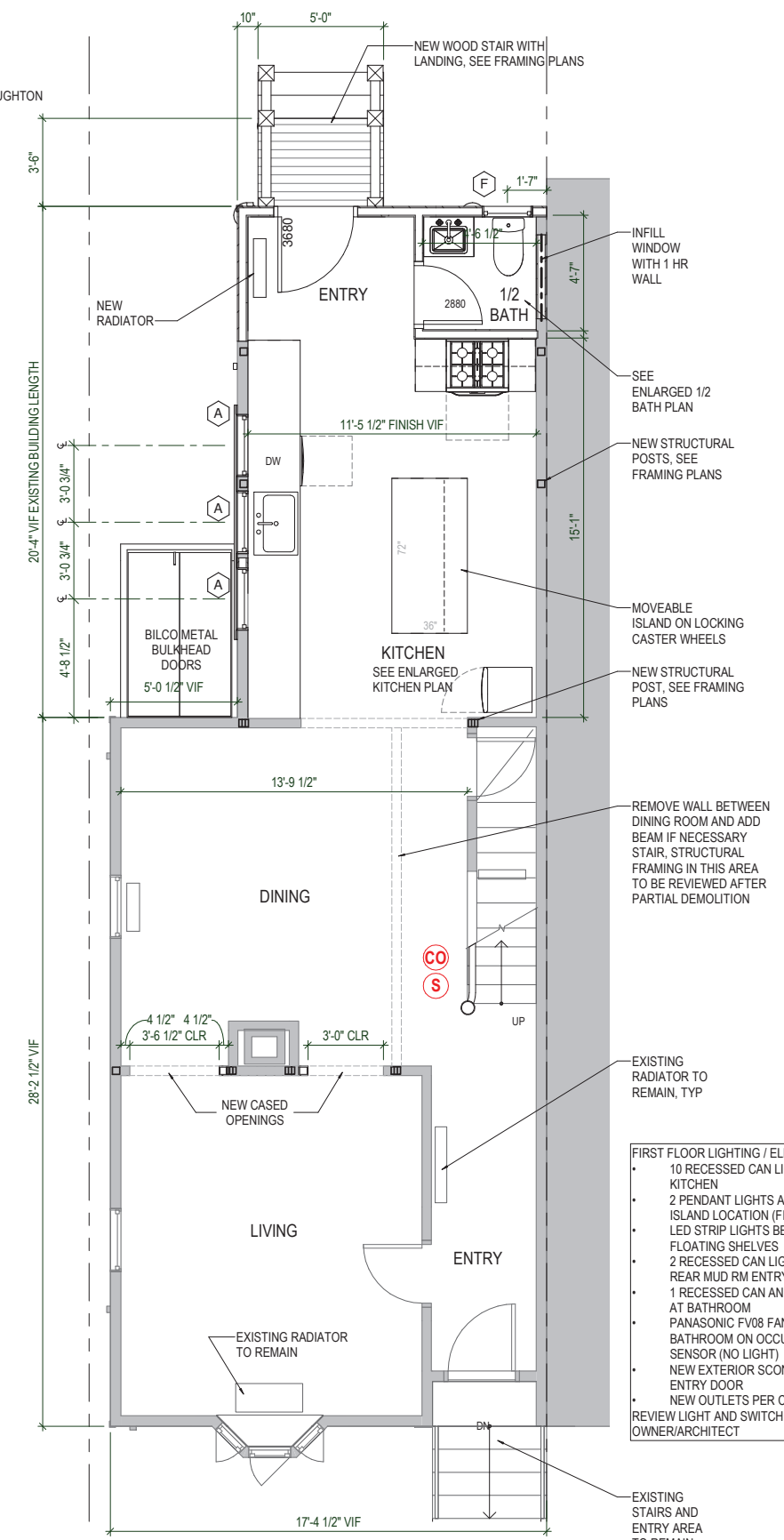


AD01



A0 BASEMENT FLOOR PLAN PROPOSED
1/4" = 1'-0"

[Hatched Box] NO MODIFICATIONS / NO SCOPE
 [Solid Grey Box] EXISTING WALL OR ELEMENT TO REMAIN
 [Dashed Grey Box] PROPOSED WALL OR ELEMENT
 [S in Circle] SMOKE DETECTOR - INTERCONNECTED AND HARDWIRED WITH BATTERY BACKUP PER CODE
 [CO in Circle] CARBON MONOXIDE ALARM - INTERCONNECTED AND HARDWIRED WITH BATTERY BACKUP PER CODE
 [Dashed Line] INTERIOR DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED

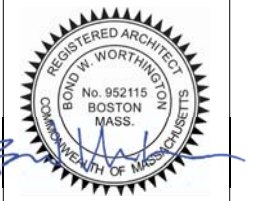


A1 FIRST FLOOR PLAN PROPOSED
1/4" = 1'-0"

[Hatched Box] NO MODIFICATIONS / NO SCOPE
 [Solid Grey Box] EXISTING WALL OR ELEMENT TO REMAIN
 [Dashed Grey Box] PROPOSED WALL OR ELEMENT
 [S in Circle] SMOKE DETECTOR - INTERCONNECTED AND HARDWIRED WITH BATTERY BACKUP PER CODE
 [CO in Circle] CARBON MONOXIDE ALARM - INTERCONNECTED AND HARDWIRED WITH BATTERY BACKUP PER CODE
 [Dashed Line] INTERIOR DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED

- FIRST FLOOR LIGHTING / ELEC SCOPE:**
- 10 RECESSED CAN LIGHTS IN KITCHEN
 - 2 PENDANT LIGHTS ABOVE ISLAND LOCATION (FIXTURE TBD)
 - LED STRIP LIGHTS BELOW FLOATING SHELVES
 - 2 RECESSED CAN LIGHTS AT REAR MUD RM ENTRY AREA
 - 1 RECESSED CAN AND 1 SCONCE AT BATHROOM
 - PANASONIC FV08 FAN AT BATHROOM ON OCCUPANCY SENSOR (NO LIGHT)
 - NEW EXTERIOR SCONCE AT REAR ENTRY DOOR
 - NEW OUTLETS PER CODE
 - REVIEW LIGHT AND SWITCH LOC'S WITH OWNER/ARCHITECT

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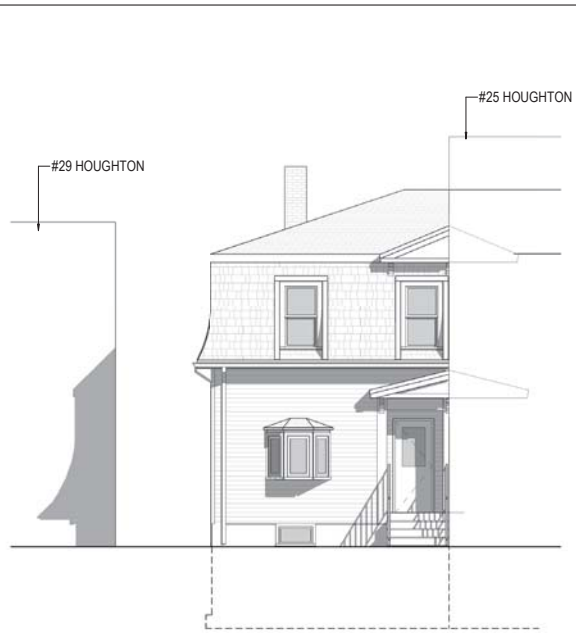


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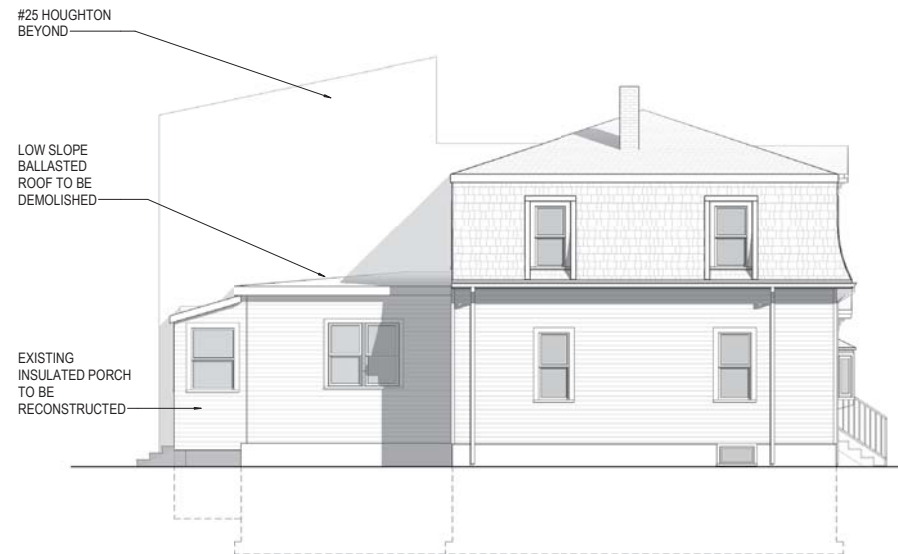
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Scale 1/4" = 1'-0"
BASEMENT AND FIRST FLOOR PLANS

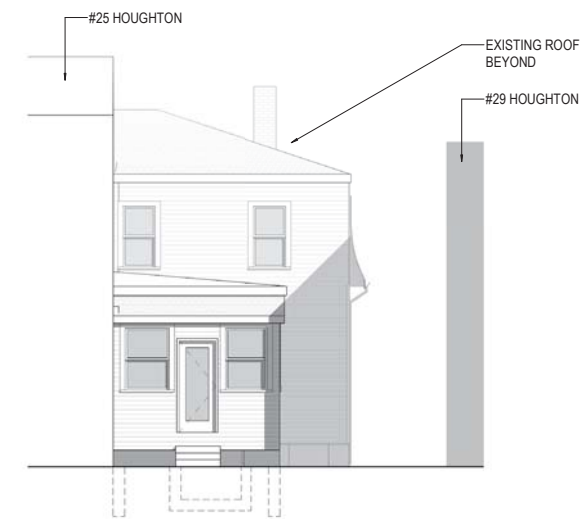
A101



E1 STREET ELEVATION EXISTING
1/8" = 1'-0"

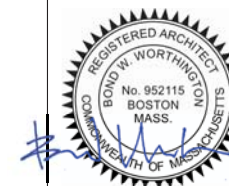


E2 SIDE ELEVATION EXISTING
1/8" = 1'-0"



E3 REAR ELEVATION EXISTING
1/8" = 1'-0"

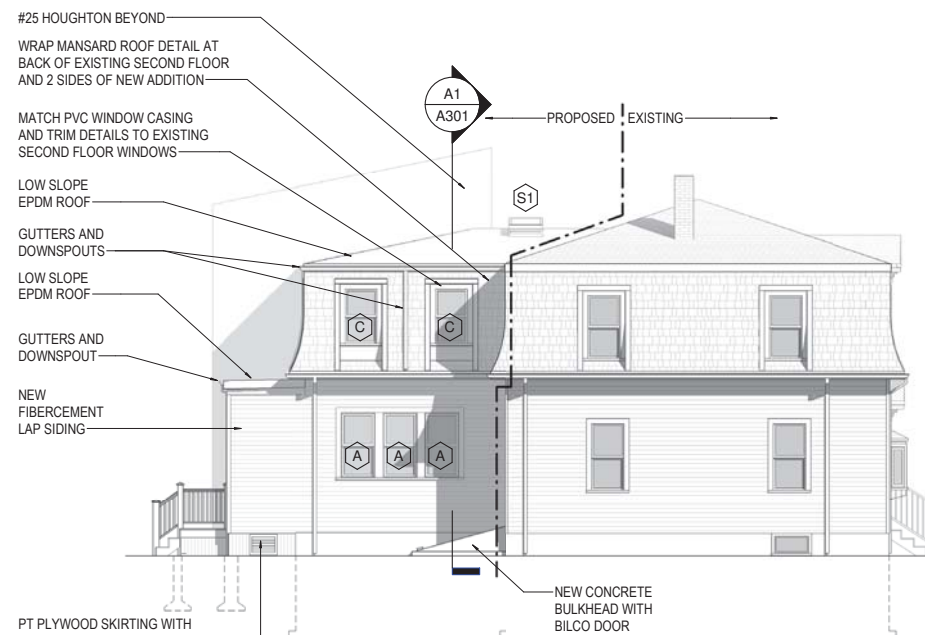
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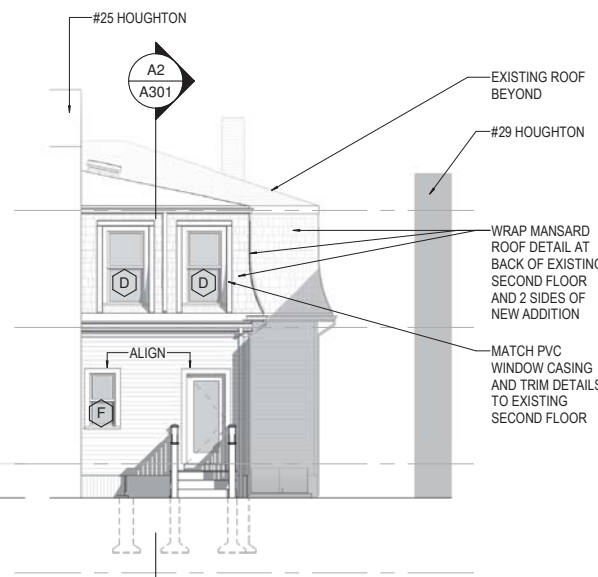
WINDOW SCHEDULE									
KEY	LEVEL	MANUF.	Model	WIDTH	HEIGHT	RO WIDTH	RO HEIGHT	COMMENTS	
A	L1	ANDERSEN	TW2446	2'-5 5/8"	4'-8 7/8"	2'-6 1/8"	4'-9 3/8"		
A	L1	ANDERSEN	TW2446	2'-5 5/8"	4'-8 7/8"	2'-6 1/8"	4'-9 3/8"		
A	L1	ANDERSEN	TW2446	2'-5 5/8"	4'-8 7/8"	2'-6 1/8"	4'-9 3/8"		
C	L2	ANDERSEN	TW24310	2'-5 5/8"	4'-0 7/8"	2'-6 1/8"	4'-1 3/8"		
C	L2	ANDERSEN	TW24310	2'-5 5/8"	4'-0 7/8"	2'-6 1/8"	4'-1 3/8"		
D	L2	ANDERSEN	TW2852	2'-9 5/8"	5'-4 7/8"	2'-10 1/8"	5'-5 3/8"		
D	L2	ANDERSEN	TW2852	2'-9 5/8"	5'-4 7/8"	2'-10 1/8"	5'-5 3/8"		
F	L1	HARVEY - DH	24410	2'-0"	4'-0"	2'-0 1/2"	4'-0 1/2"		
S1	ROOF	VELUX A/S	Flat Roof Window - CFP	2'-6 23/32"	2'-6 23/32"				



A1 STREET ELEVATION PROPOSED
1/8" = 1'-0"



A2 SIDE ELEVATION PROPOSED
1/8" = 1'-0"



A3 REAR ELEVATION PROPOSED
1/8" = 1'-0"

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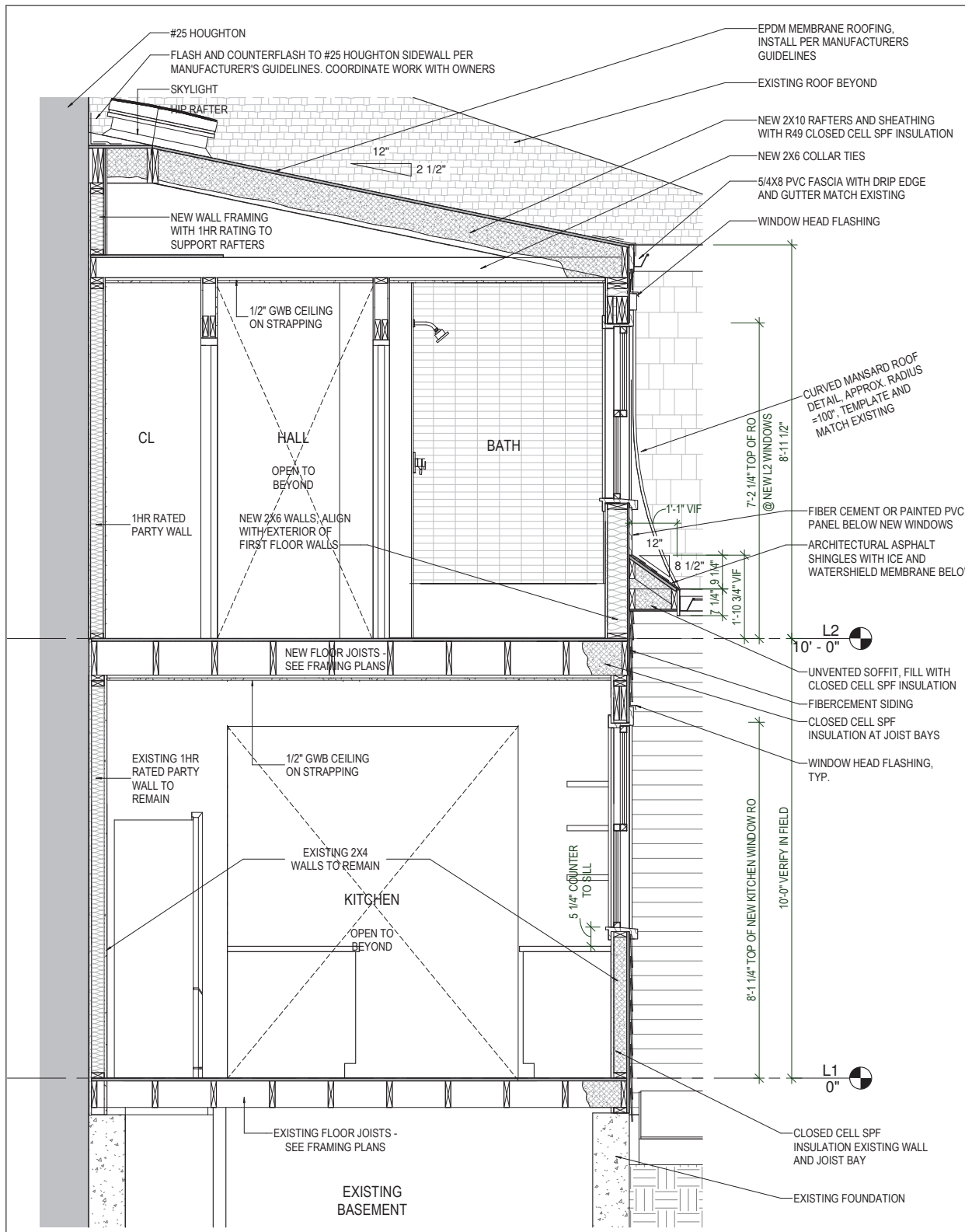
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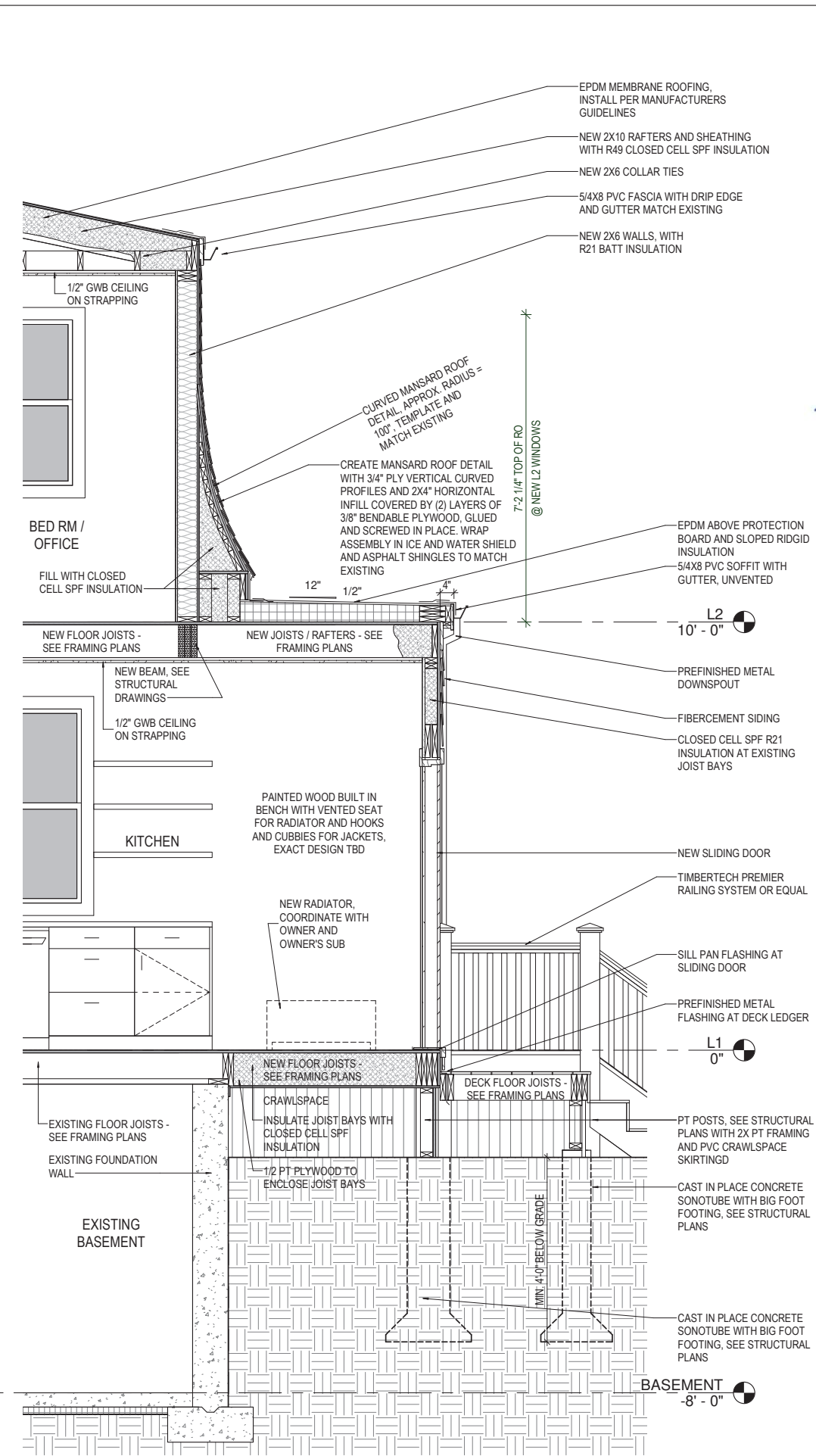
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EXTERIOR ELEVATIONS

A201

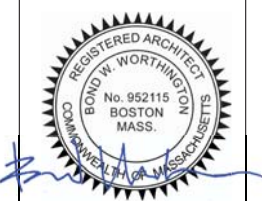


A1 WALL SECTION WEST - KITCHEN
1/2" = 1'-0"



A2 WALL SECTION NORTH - KITCHEN
1/2" = 1'-0"

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Scale 1/2" = 1'-0"

PARTIAL SECTIONS

A301