



# PROJECT: PROSPECT STREET RESIDENCES

PROJECT ADDRESS:  
109 PROSPECT STREET  
SOMERVILLE, MASSACHUSETTS

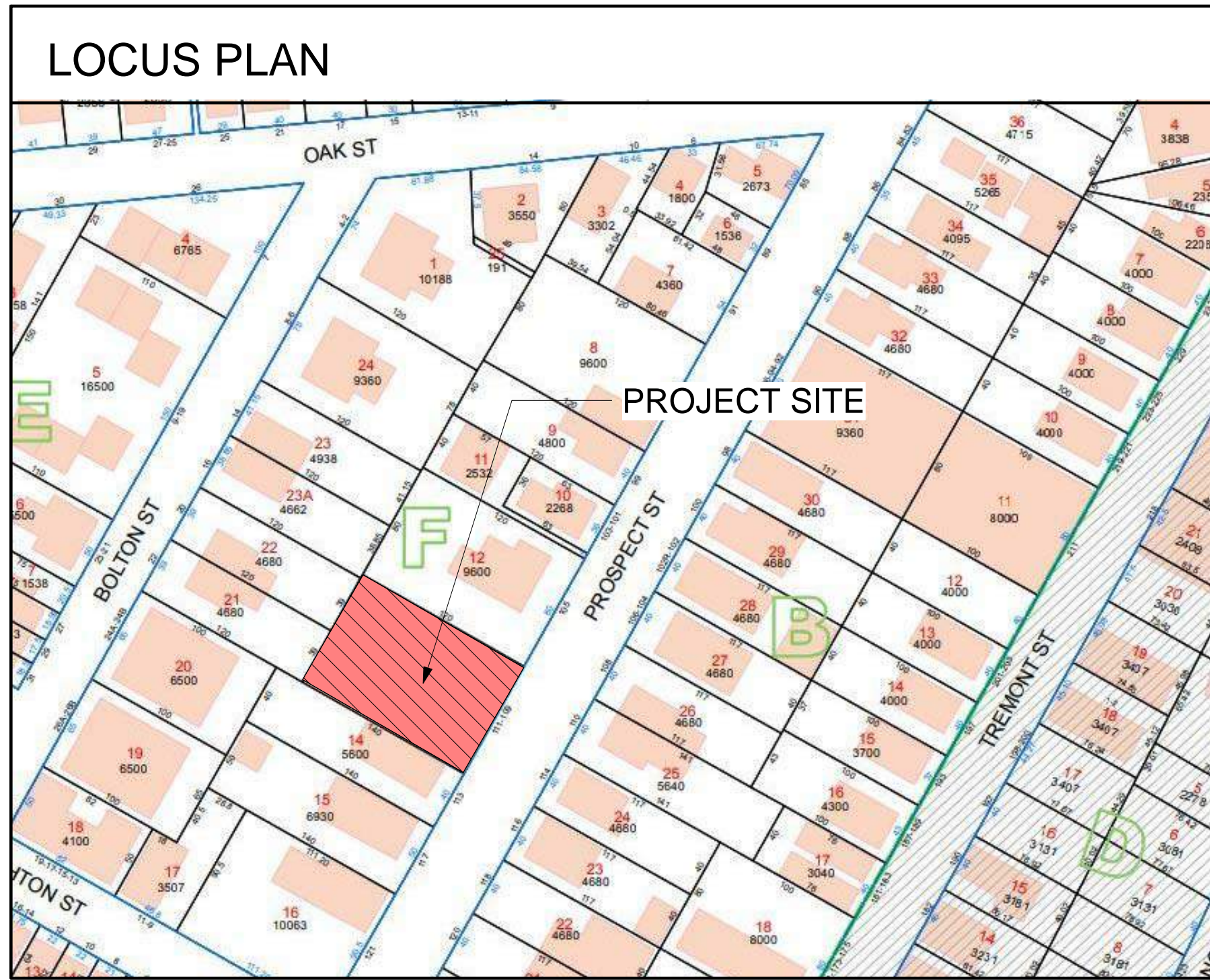
**CLIENT**  
**109 PROSPECT STREET, LLC**  
ADDRESS:  
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**LANDSCAPE**  
**DE-SIGN2**  
SASHA PILYAVSKIY, MALD  
T: 617-913-4395

## ZBA SUBMISSION 01/17/2019



| Architectural Drawing List |   |         |                  |
|----------------------------|---|---------|------------------|
| Sheet Number               | Sheet Name                              | Rev No. | Sheet Issue Date |
| A-000                      | Cover Sheet                             |         | 09/11/18         |
| C-1                        | Cover Sheet                             |         | 07/23/18         |
| C-2                        | Existing Conditions Plan                |         | 07/23/18         |
| C-3                        | Demolition/ Erosion Control Plan        |         | 07/23/18         |
| C-4                        | Site Layout Plan                        |         | 07/23/18         |
| C-5                        | Grading Drainage & Utility Plan         |         | 07/23/18         |
| C-6                        | Details                                 |         | 07/23/18         |
| C-7                        | Details                                 |         | 07/23/18         |
| C-8                        | Watershed Maps                          |         | 07/23/18         |
| L-1                        | Ground Level and Rooftop Landscape Plan |         | 05/06/18         |
| L-2                        | Proposed Landscape Plan                 |         | 01/17/19         |
| A-020                      | Architectural Site Plan                 |         | 01/17/19         |
| A-021                      | Area Plans                              |         | 01/17/19         |
| A-101                      | Garage Floor Plan                       |         | 01/17/19         |
| A-102                      | Ground & 1st Floor Plans                |         | 01/17/19         |
| A-103                      | 2nd & 3rd Floor Plans                   |         | 01/17/19         |
| A-104                      | Roof Plans                              |         | 01/17/19         |
| A-300                      | Elevations                              |         | 01/17/19         |
| A-301                      | Elevations                              |         | 01/17/19         |
| A-302                      | Elevations                              |         | 01/17/19         |
| A-303                      | Elevations                              |         | 01/17/19         |
| AV-1                       | 3-D Perspectives                        |         | 01/17/19         |
| AV-2                       | Shadow Study Summer/Fall                |         | 01/17/19         |
| AV-3                       | Shadow Study Winter/Spring              |         | 01/17/19         |
| R-1                        | Rendering                               |         | 01/17/19         |
| R-2                        | Rendering                               |         | 01/17/19         |

PROJECT NAME  
**PROSPECT ST  
RESIDENCES**

PROJECT ADDRESS  
109 Prospect St,  
Somerville, MA

CLIENT  
**109 Prospect St LLC**



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

CONSULTANTS:

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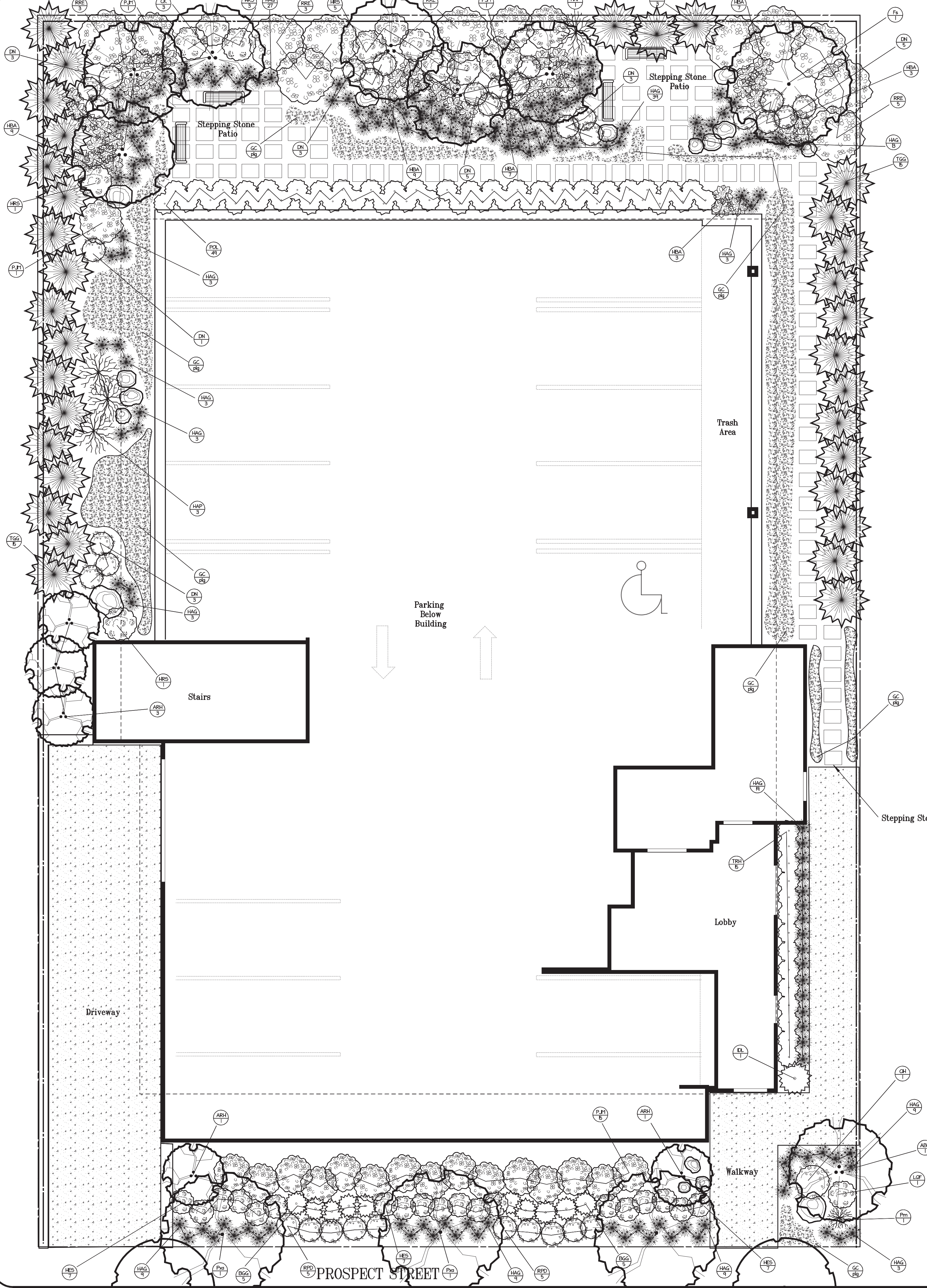


REGISTRATION  
Project number 18019  
Date 01/17/2019  
Drawn by WC  
Checked by JSK  
Scale 1" = 1'-0"

**REVISIONS**

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

Cover Sheet  
**A-000**  
PROSPECT ST RESIDENCES



HBS - Hydrangea 'Endless Summer'



HAG - Hakonechloa 'All Gold'



ARH - Amelanchier 'Robin Hill'



Pxa - Platanus x acerifolia



BGG - Buxus 'Green Gem'



RPD - Rosa 'Peach Drift'



PJM - Rhododendron 'PJM'



POL - Prunus 'Otto Lyuken'



GC - Pachysandra



Pm - Pinus mugo



Hydrangea 'Little Quickfire'



ABG - Acer 'Bloodgood'



CIH - Cornus 'Ivory Halo'



IDL - Ilex 'Dragon Lady'



TRH - Taxus Hedge



TGG - Thuja 'Green Giant'



Rhododendron 'Roseum Elegans'



DN - Deutzia 'Nikko'



Fs - Fagus sylvatica



HAP - Hamamelis 'Arnold's Promise'



HRS - Hydrangea 'Ruby Slippers'



Cornus Kousa

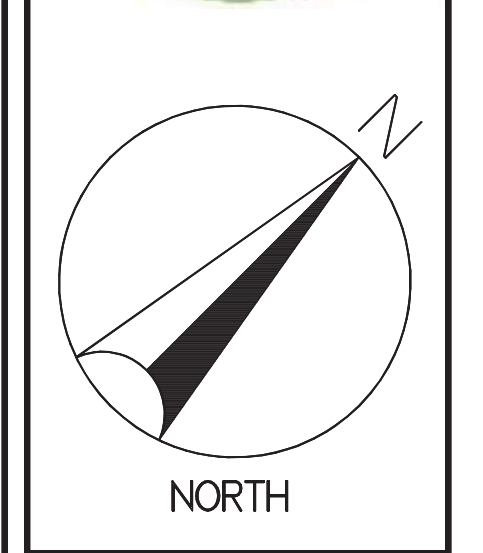


Landscape Boulders



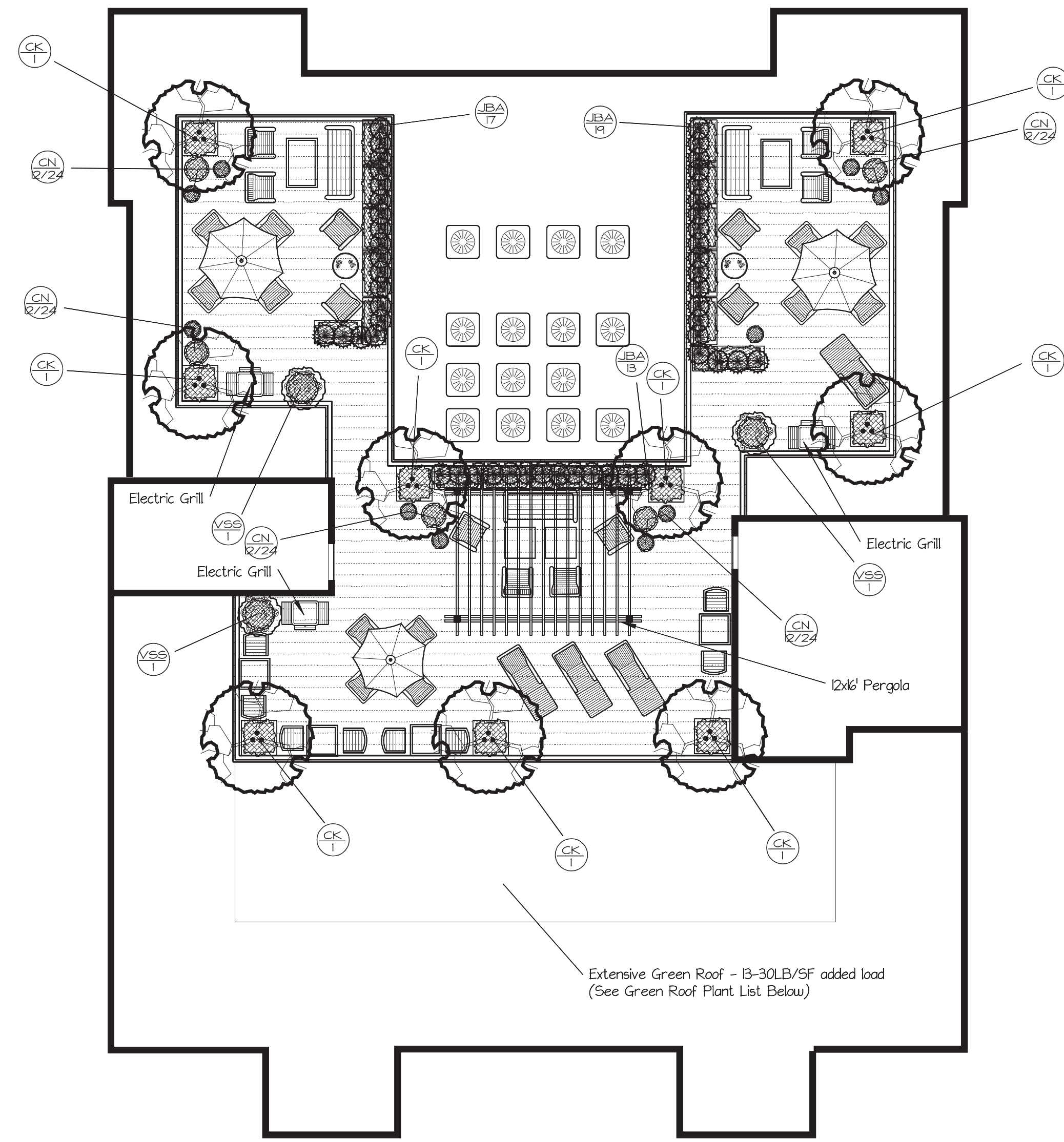
Fence - to match Screening Structure at parking level

De-sign2  
 Drawn by:  
 Sasha Pilyavskiy M.A.D.  
 617-913-4395  
 sashap.design2@gmail.com



**Proposed Landscape Plan**  
 109 Prospect Street, Somerville, MA  
 SCALE: 1" = 8'-0"  
 DATE: 01/16/2019  
 DRAWING #: LP - 10





Extensive Green Roof - 3-30LB/SF added load  
(See Green Roof Plant List Below)



Cornus Kousa



Hakonechloa 'All Gold'



Cube Container



Juniper 'Blue Arrow'



Trough Planter



Round Containers



Green Roof



Viburnum Summer Snowflake

### Green Roof Plant List

- Alium stellatum
- Anemone patens
- Aquilegia canadensis
- Asclepias verticillata
- Aster ericoides
- Aster nove-angliae
- Boteloua gracilis
- Campanula rotundifolia
- Coreopsis palmata
- Geranium maculatum
- Heuchera richardsonii
- Koeleria pyramida
- Rosa Drift



SCALE IN FEET

## Ground Level and Rooftop Landscape

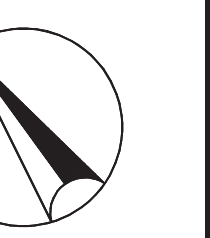
109 Prospect Street, Somerville MA

SCALE 1/8" = 1'-0"

DATE 01/17/2019

DRAWING # LP - 10

De-sign2  
Drawn by:  
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NORTH

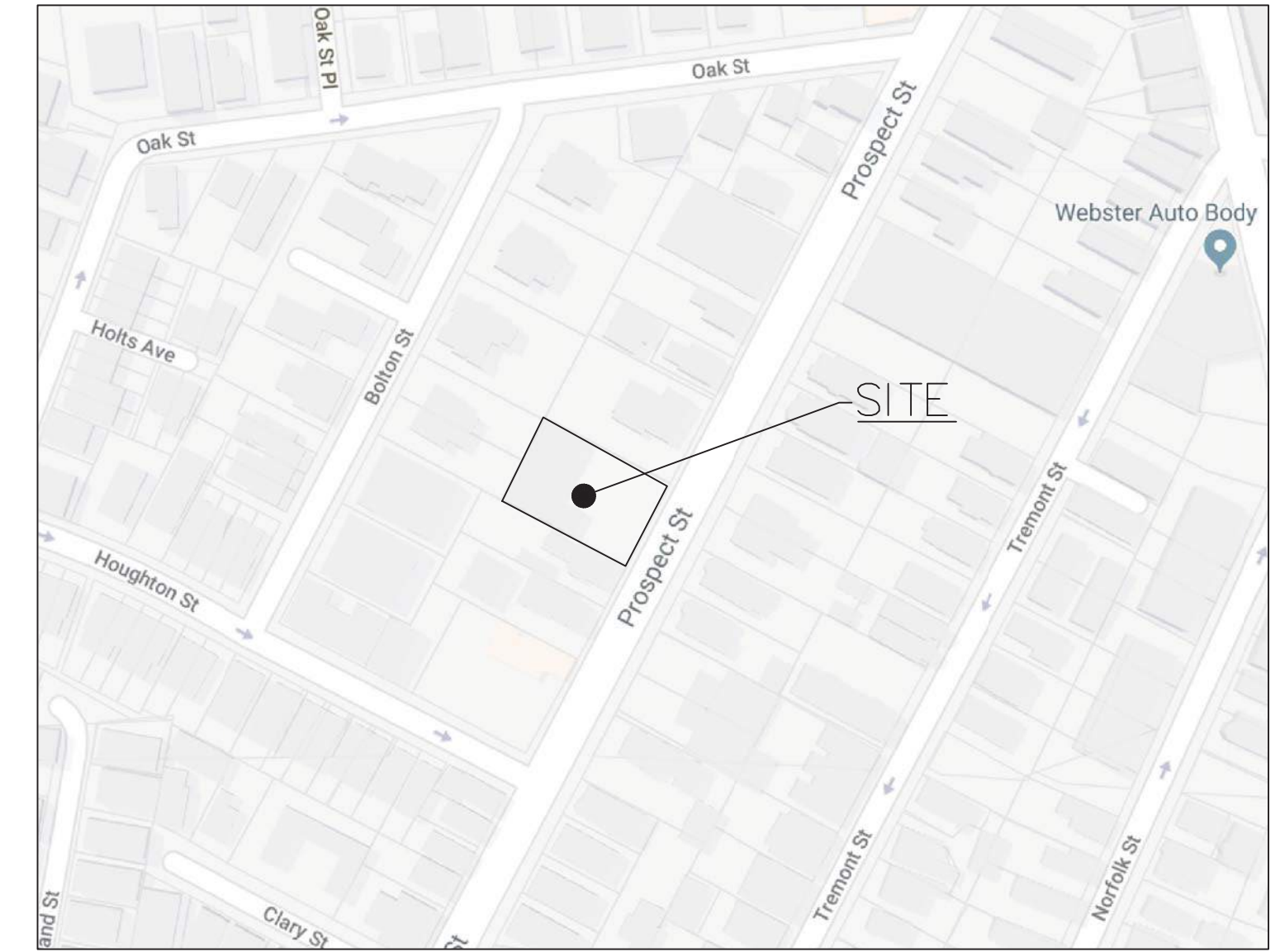
ABBREVIATIONS

|      |                            |      |                              |
|------|----------------------------|------|------------------------------|
| AB   | AGGREGATE BASE             | JB   | JUNCTION BOX                 |
| AC   | ASPHALT CONCRETE           | JT   | JOINT TRENCH                 |
| ARV  | AIR-RELEASE VALVE          | LF   | LINEAR FOOT                  |
| BFP  | BACKFLOW PREVENTER         | LIP  | LIP OF GUTTER                |
| BO   | BLOW-OFF VALVE             | LOG  | LIMIT OF GRADING             |
| BRW  | BOTTOM OF RETAINING WALL   | LP   | LOW POINT                    |
| BSW  | BACK OF SIDEWALK           | LT   | LEFT                         |
| BVC  | BEGIN VERTICAL CURVE       | MFS  | MECHANICAL FILTRATION SYSTEM |
| BW   | BOTTOM OF WALL             | MH   | MANHOLE                      |
| CATV | CABLE TELEVISION           | N    | NORTH                        |
| CB   | CATCH BASIN                | NE   | NORTHEAST                    |
| CG&S | CURB, GUTTER AND SIDEWALK  | N-S  | NORTH-SOUTH DIRECTION        |
| CI   | CURB INLET                 | NW   | NORTHWEST                    |
| CIP  | CAST IRON PIPE             | OH   | OVERHEAD                     |
| CL   | CENTERLINE                 | PCC  | PORTLAND CEMENT CONCRETE     |
| CMP  | CORRUGATED METAL PIPE      | PP   | POWER POLE                   |
| CMU  | CONCRETE MASONRY UNIT      | PL   | PROPERTY LINE                |
| CO   | CLEANOUT                   | PRC  | POINT OF REVERSE CURVE       |
| CONC | CONCRETE                   | PIV  | POST-INDICATOR VALVE         |
| COTG | CLEANOUT TO GRADE          | PV   | PAVEMENT                     |
| DIP  | DUCTILE IRON PIPE          | PVC  | POLYVINYL CHLORIDE PIPE      |
| DTL  | DETAIL                     | R    | RADIUS                       |
| DWG  | DRAWING                    | RCP  | REINFORCED CONCRETE PIPE     |
| DWY  | DRIVEWAY                   | ROW  | RIGHT-OF-WAY                 |
| E    | EAST, ELECTRICAL           | RT   | RIGHT                        |
| EG   | EXISTING GROUND            | RW   | RECYCLED WATER               |
| EP   | EDGE OF PAVEMENT           | S    | SOUTH, SLOPE                 |
| (E)  | EXISTING                   | SCWD | SANTA CRUZ WATER DEPARTMENT  |
| EQ   | EQUAL                      | SD   | STORM DRAIN                  |
| E-W  | EAST-WEST DIRECTION        | SE   | SOUTHEAST                    |
| FC   | FACE OF CURB               | SDMH | STORM DRAIN MANHOLE          |
| FDC  | FIRE DEPARTMENT CONNECTION | SS   | SANITARY SEWER               |
| FG   | FINISH GRADE               | SSMH | SANITARY SEWER MANHOLE       |
| FF   | FINISH FLOOR               | STA  | STATION                      |
| FH   | FIRE HYDRANT               | STD  | STANDARD                     |
| FL   | FLOWLINE                   | SW   | SIDEWALK, SOUTHWEST          |
| FNC  | FENCE                      | T    | TELEPHONE                    |
| FO   | FIBER OPTIC                | TC   | TOP OF CURB                  |
| FT   | FOOT/FEET                  | TRAN | TRANSFORMER                  |
| FW   | FIRE WATER                 | TRW  | TOP OF RETAINING WALL        |
| G    | GAS                        | TW   | TOP OF WALL                  |
| GB   | GRADE BREAK                | TYP  | TYPICAL                      |
| HT   | HEIGHT                     | USA  | UNDERGROUND SERVICE ALERT    |
| HDPE | HIGH-DENSITY POLYETHYLENE  | VIF  | VERIFY IN FIELD              |
| HP   | HIGH POINT                 | W    | WEST                         |
| INT  | INTERSECTION               | WM   | WATER METER                  |
| INV  | INVERT                     | WTR  | WATER                        |
| IRR  | IRRIGATION                 | WV   | WATER VALVE                  |

# IMPROVEMENT PLANS

FOR

## 109 PROSPECT STREET, LLC. 109 PROSPECT STREET SOMERVILLE, MASSACHUSETTES 02461

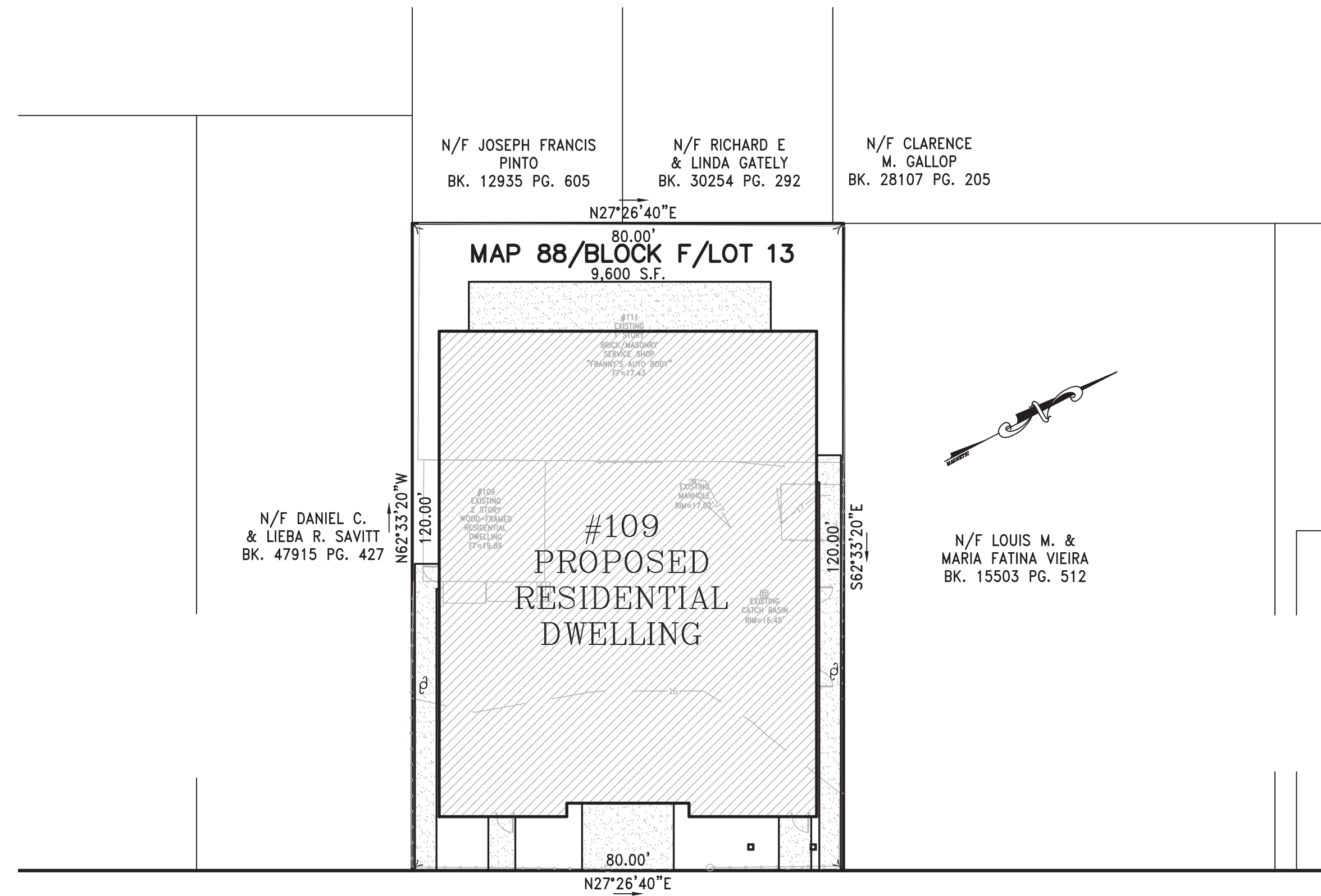


SOURCE: © GOOGLE MAPS

VICINITY MAP  
N.T.S.

LEGEND

| EXISTING | DESCRIPTION                | PROPOSED |
|----------|----------------------------|----------|
|          | AIR RELEASE VALVE          |          |
|          | BLOW-OFF VALVE             |          |
|          | CATCH BASIN                |          |
|          | CURB INLET                 |          |
|          | CLEANOUT STRUCTURE         |          |
|          | FIRE HYDRANT               |          |
|          | FIRE DEPARTMENT CONNECTION |          |
|          | GUY ANCHOR                 |          |
|          | MANHOLE STRUCTURE          |          |
|          | WATER THRUST BLOCK         |          |
|          | WATER METER                |          |
|          | WATER VALVE                |          |
|          | ELECTRICAL LINE            |          |
|          | FIBER OPTIC LINE           |          |
|          | FIRE WATER LINE            |          |
|          | GAS LINE                   |          |
|          | IRRIGATION LINE            |          |
|          | JOINT TRENCH LINE          |          |
|          | OVERHEAD LINE              |          |
|          | RECYCLED WATER LINE        |          |
|          | STORM DRAIN LINE           |          |
|          | SANITARY SEWER LINE        |          |
|          | TELEPHONE LINE             |          |
|          | CABLE TV LINE              |          |
|          | WATER LINE                 |          |

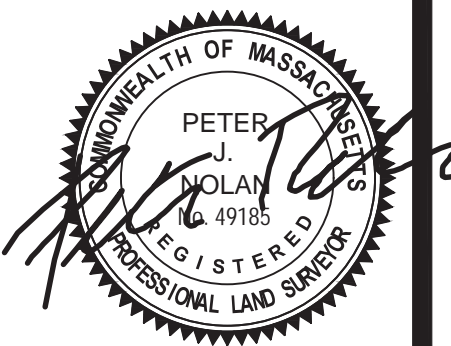


### PROSPECT STREET (PUBLIC WAY)

PLAN VIEW  
1"=20'

INDEX OF SHEETS

| SHEET NO. | DESCRIPTION                      |
|-----------|----------------------------------|
| 1         | COVER SHEET                      |
| 2         | EXISTING CONDITIONS PLAN         |
| 3         | DEMOLITION/ EROSION CONTROL PLAN |
| 4         | SITE LAYOUT PLAN                 |
| 5         | GRADING DRAINAGE & UTILITY PLAN  |
| 6         | DETAILS                          |
| 7         | DETAILS                          |
| 8         | WATERSHED MAPS                   |



|          |  |          |          |
|----------|--|----------|----------|
| SCALE    | AS NOTED   |          |          |
| DATE     | 7/23/18  | REV DATE | REVISION |
| SHEET    | 109 PROSPECT STREET<br>SOMERVILLE<br>MASSACHUSETTS   |          |          |
| PLAN NO. | CIVIL PLAN   |          |          |
| CLIENT:  | PETER NOLAN & ASSOCIATES LLC<br>LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS<br>697 CAMBRIDGE STREET, SUITE 103, BRIGHTON MA 02135<br>PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 |          |          |
| DRAWN BY | GS   |          |          |
| CHKD BY  | ETS  |          |          |
| APPD BY  | PJN  |          |          |

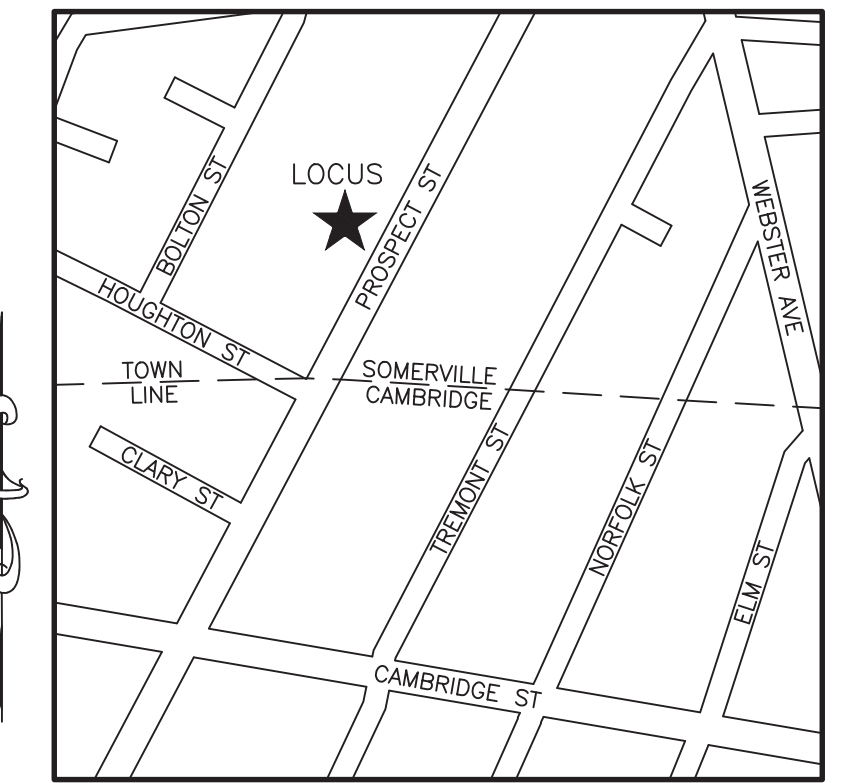
SHEET NO.  
**1**

### EXISTING LEGEND

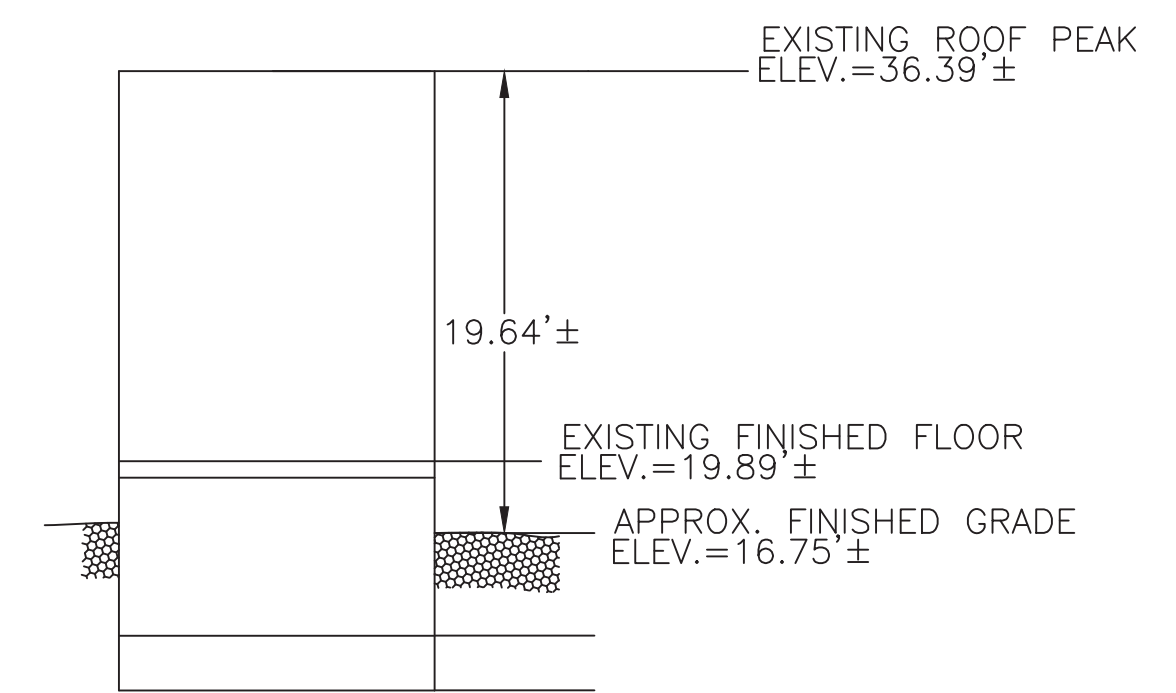
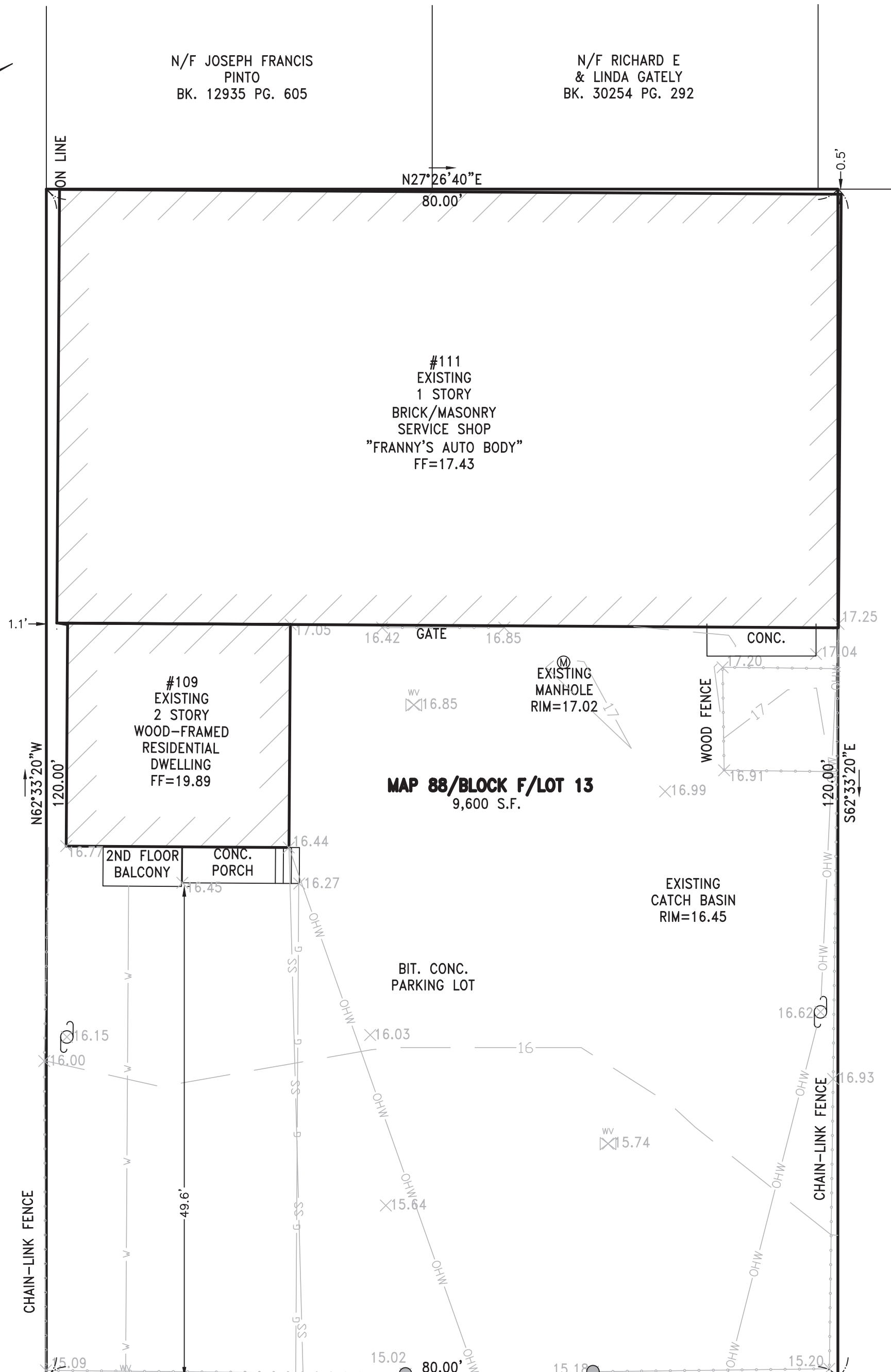
|  |                     |
|--|---------------------|
|  | EXISTING BUILDING   |
|  | FENCE               |
|  | BOLLARD             |
|  | CONTOUR LINE (MJR)  |
|  | CONTOUR LINE (MNR)  |
|  | SPOT GRADE          |
|  | SEWER MANHOLE       |
|  | DRAIN MANHOLE       |
|  | CATCH BASIN         |
|  | UTILITY POLE        |
|  | ELECTRIC MANHOLE    |
|  | MANHOLE             |
|  | HYDRANT             |
|  | WATER VALVE         |
|  | GAS VALVE           |
|  | SEWER LINE          |
|  | SANITARY SEWER LINE |
|  | COMBINED SEWER LINE |
|  | DRAIN LINE          |
|  | OVERHEAD WIRES      |
|  | WATER LINE          |
|  | GAS LINE            |

**NOTES:**

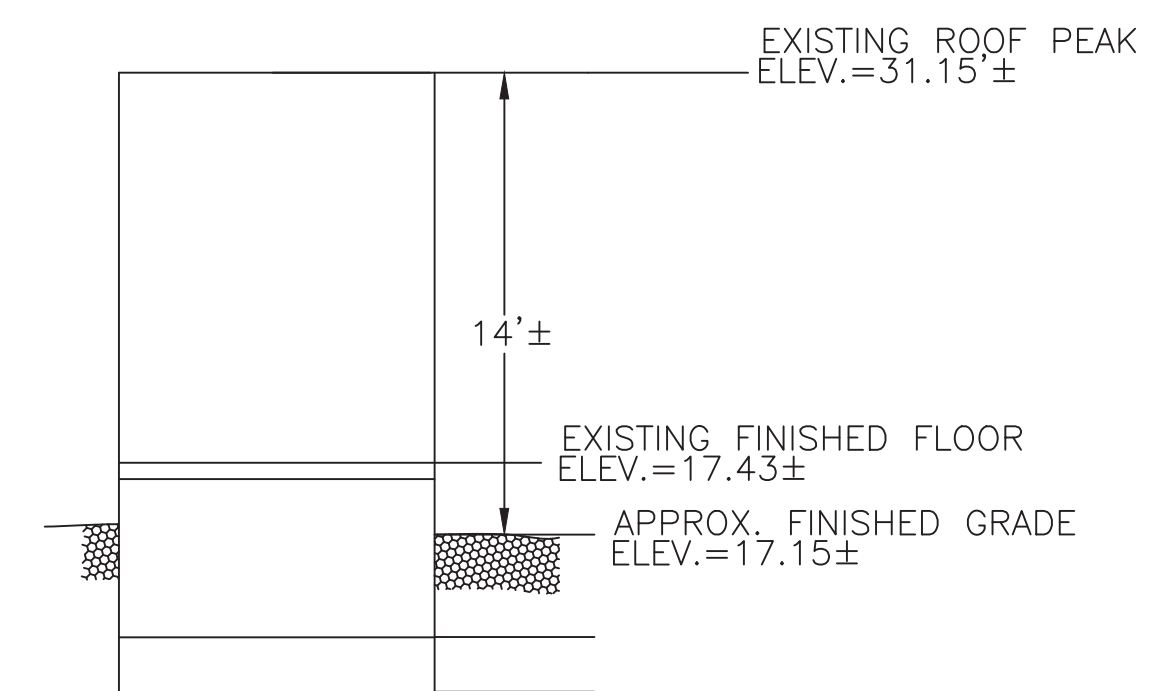
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 3-19-2018.
2. DEED REFERENCE: BOOK 14529, PAGE 90  
PLAN REFERENCE: PLAN BOOK 81 PLAN 51  
MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBERS 25017C0438E & 25017C0576E, PANEL NUMBERS 0438E & 0576E, COMMUNITY NUMBER: 250214, DATED JUNE 4, 2010.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. THE ELEVATIONS SHOWN ARE ON MEAN LOW WATER BASE.



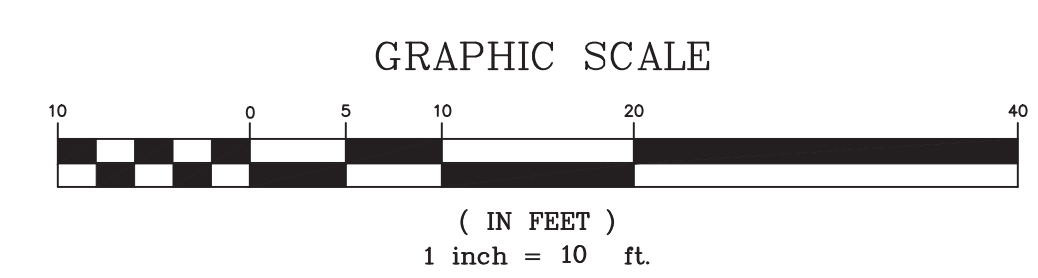
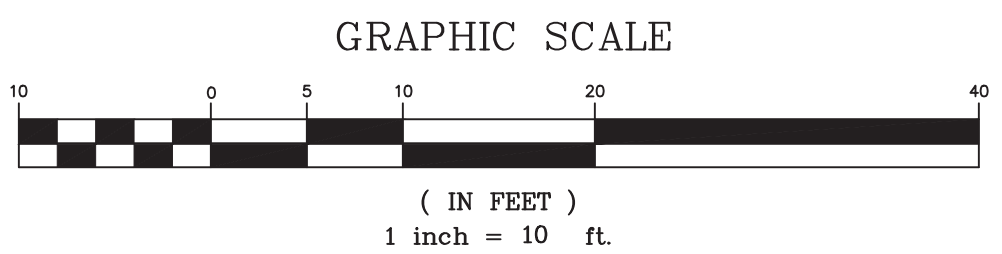
**LOCUS MAP  
(NOT TO SCALE)**



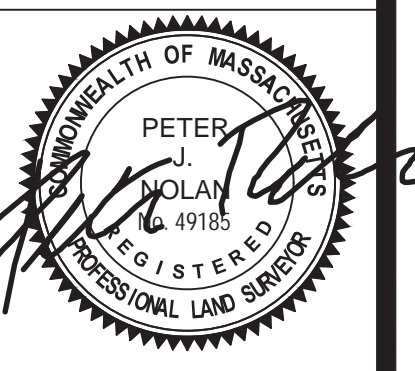
**EXISTING PROFILE #109  
NOT TO SCALE**



**EXISTING PROFILE #111  
NOT TO SCALE**



|                 |  |          |    |
|-----------------|--|----------|----|
| SCALE<br>1"=10' |  |          |    |
| DATE<br>3/25/18 | REV DATE   | REVISION | BY |
| SHEET           | 109 PROSPECT STREET<br>SOMERVILLE<br>MASSACHUSETTS   |          |    |
| PLAN NO.        | EXISTING CONDITIONS  |          |    |
| CLIENT:         | PETER NOLAN & ASSOCIATES LLC<br>LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS<br>697 CAMBRIDGE STREET, SUITE 103, BRIGHTON MA 02135<br>PHONE: 857 891 7478/617 782 1535 FAX: 617 202 5691 |          |    |
| DRAWN BY<br>MCG | SHEET NO.<br><b>2</b>  |          |    |
| CHKD BY<br>ETS  |  |          |    |
| APPD BY<br>PUN  |  |          |    |



**EROSION CONTROL NOTES**

1. THE EROSION CONTROL PLANS IN THIS SET SHALL BE REVIEWED AND IMPLEMENTED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL WORK WITH THE PROJECT'S ENGINEER THROUGHOUT CONSTRUCTION TO ENSURE THE SITE IS PROPERLY PROTECTED FROM POSSIBLE POLLUTANTS. THE ENGINEER HAS AUTHORIZATION TO ADD OR REMOVE BMP MEASURES THROUGHOUT CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
3. IT SHALL BE THE RESPONSIBILITY OF THE OWNER AND THE PERMITTEE TO ENSURE THAT EROSION DOES NOT OCCUR FROM ANY ACTIVITY DURING OR AFTER PROJECT CONSTRUCTION. ADDITIONAL MEASURES, BEYOND THOSE SPECIFIED, MAY BE REQUIRED BY THE PLANNING DIRECTOR AS DEEMED NECESSARY TO CONTROL ACCELERATED EROSION.
4. AT THE END OF EACH WORKDAY, AT THE END OF EACH WORKWEEK, THE CONTRACTOR SHALL IMPLEMENT ALL TEMPORARY MEASURES NECESSARY TO PREVENT EROSION AND SILTATION, UNTIL THE PROJECT HAS BEEN FINALIZED. THESE MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, DIRECT SEEDING OF THE AFFECTED AREAS, STRAW MULCHING, AND/OR INSTALLATION OF STRAW BALES DAMS/SILT FENCES.
5. DURING CONSTRUCTION, NO TURBID WATER SHALL BE PERMITTED TO LEAVE THE SITE. USE OF SILT AND GREASE TRAPS, FILTER BERMS, HAY BALES OR SILT FENCES SHALL BE USED TO PREVENT SUCH DISCHARGE.
6. ALL AREAS ON- AND OFF-SITE EXPOSED DURING CONSTRUCTION ACTIVITIES, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE PROTECTED BY MULCHING AND/OR SEEDING.
7. ALL EXCAVATED MATERIAL SHALL BE REMOVED TO AN APPROVED DISPOSAL SITE OR DISPOSED OF ON-SITE IN A MANNER THAT WILL NOT CAUSE EROSION.
8. ANY MATERIAL STOCKPILED, FOR LONGER THAN 14 DAYS, DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.
9. UPON COMPLETION OF CONSTRUCTION, ALL REMAINING EXPOSED SOILS SHALL BE PERMANENTLY REVEGETATED.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT ADDITIONAL MEASURES NECESSARY TO CONTROL SITE EROSION AND PREVENT SEDIMENT TRANSPORT OFF-SITE ARE IMPLEMENTED.
11. ALL SPILLS AND/OR LEAKS SHALL BE IMMEDIATELY CLEANED UP AND MITIGATED.

**CONSTRUCTION MATERIALS**

- ALL LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.) SHALL BE COVERED AND BERMED.
- ALL CHEMICALS SHALL BE STORED IN WATERTIGHT CONTAINERS (WITH APPROPRIATE SECONDARY CONTAINMENT TO PREVENT ANY SPILLAGE OR LEAKAGE) OR IN A STORAGE SHED (COMPLETELY ENCLOSED).
- EXPOSURE OF CONSTRUCTION MATERIALS TO PRECIPITATION SHALL BE MINIMIZED. THIS DOES NOT INCLUDE MATERIALS AND EQUIPMENT THAT ARE DESIGNED TO BE OUTDOORS AND EXPOSED TO ENVIRONMENTAL CONDITIONS (I.E. POLES, EQUIPMENT PADS, CABINETS, CONDUCTORS, INSULATORS, BRICKS, ETC.).
- BEST MANAGEMENT PRACTICES TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS SHALL BE IMPLEMENTED.

**WASTE MANAGEMENT**

- DISPOSAL OF ANY RINSE OR WASH WATERS OR MATERIALS ON IMPERVIOUS OR PERVIOUS SITE SURFACES OR INTO THE STORM DRAIN SYSTEM SHALL BE PREVENTED.
- SANITATION FACILITIES SHALL BE CONTAINED (E.G. PORTABLE TOILETS) TO PREVENT DISCHARGES OF POLLUTANTS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER, AND SHALL BE LOCATED A MINIMUM 20 FEET AWAY FROM AN INLET, STREET OR DRIVEWAY, STREAM, RIPARIAN AREA OR OTHER DRAINAGE FACILITY.
- SANITATION FACILITIES SHALL BE INSPECTED REGULARLY FOR LEAKS AND SPILLS AND CLEANED OR REPLACED AS NECESSARY.
- COVER WASTE DISPOSAL CONTAINERS AT THE END OF EVERY BUSINESS DAY AND DURING A RAIN EVENT.
- DISCHARGES FROM WASTE DISPOSAL CONTAINERS TO THE STORM WATER DRAINAGE SYSTEM OR RECEIVING WATER SHALL BE PREVENTED.
- STOCKPILED WASTE MATERIAL SHALL BE CONTAINED AND SECURELY PROTECTED FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.

PROCEDURES THAT EFFECTIVELY ADDRESS HAZARDOUS AND NON-HAZARDOUS SPILLS SHALL BE IMPLEMENTED. EQUIPMENT AND MATERIALS FOR CLEANUP OF SPILLS SHALL BE AVAILABLE ON SITE AND THAT SPILLS AND LEAKS SHALL BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY; AND

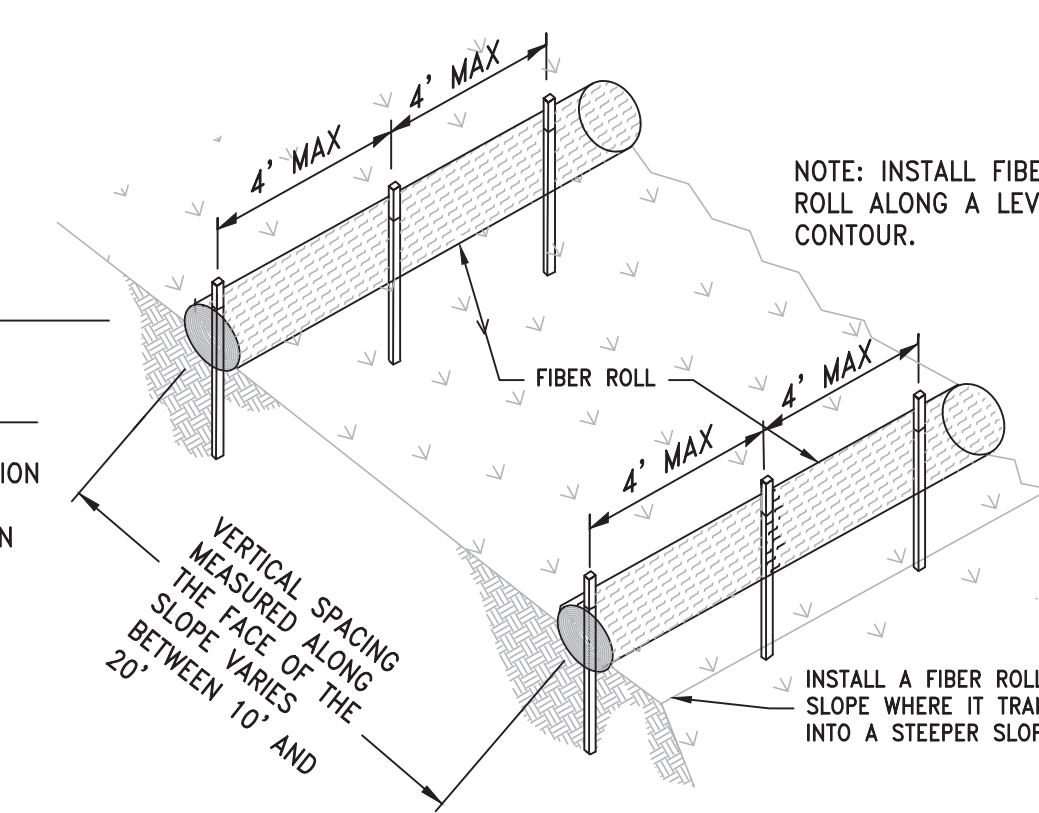
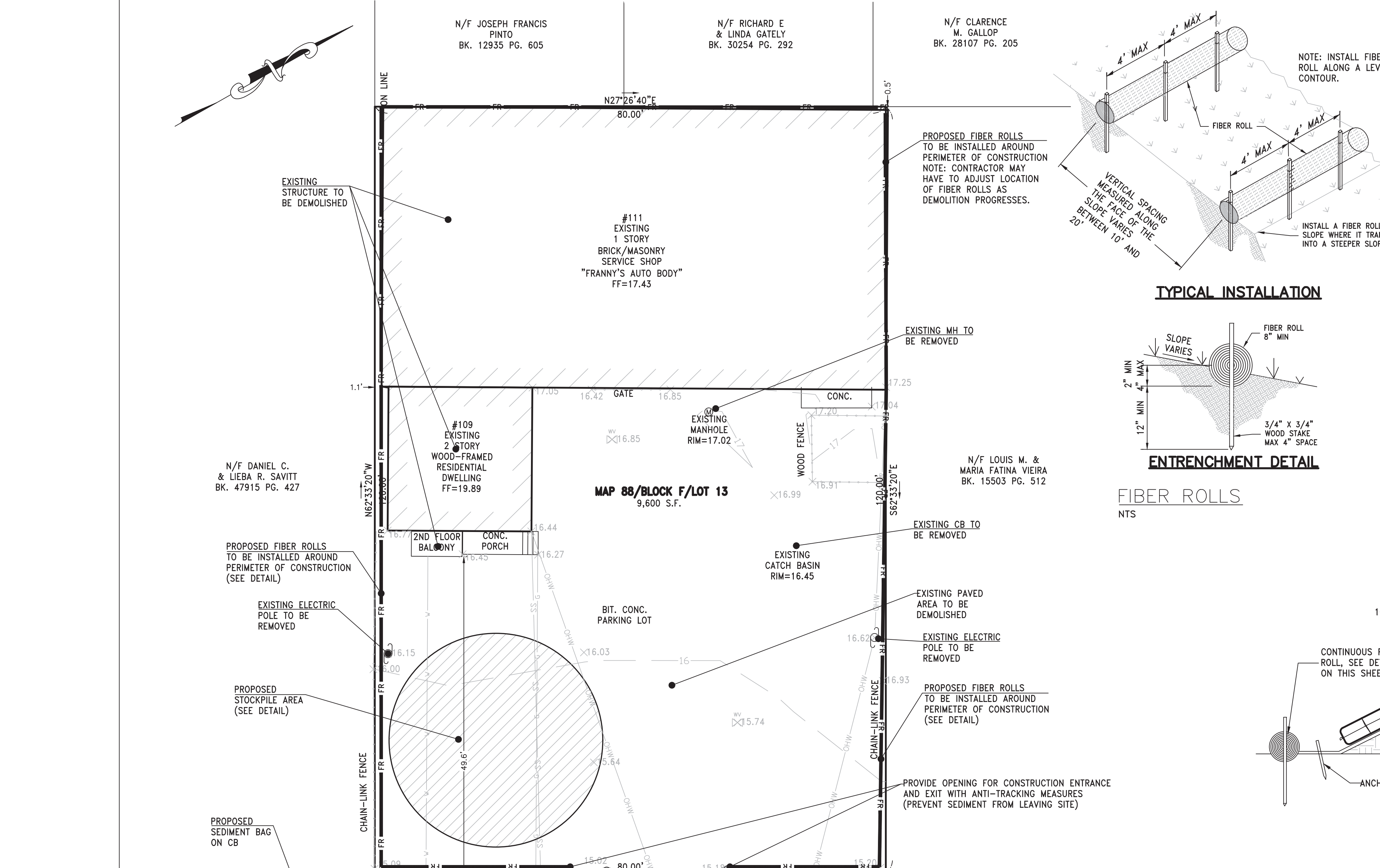
- CONCRETE WASHOUT AREAS AND OTHER WASHOUT AREAS THAT MAY CONTAIN ADDITIONAL POLLUTANTS SHALL BE CONTAINED SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL AND ONTO THE SURROUNDING AREAS.

**VEHICLE STORAGE AND MAINTENANCE**

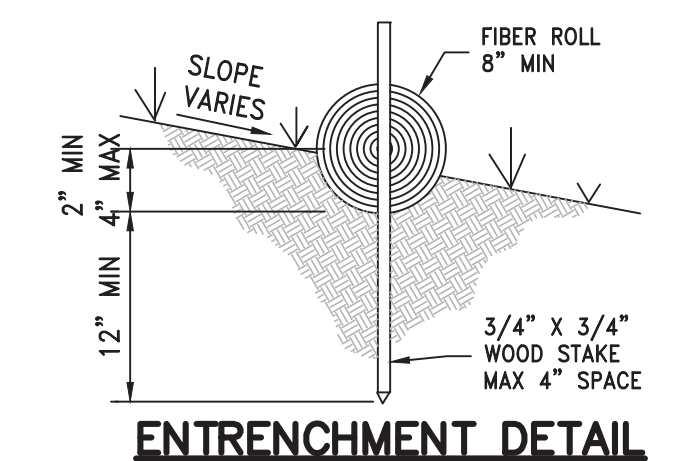
- MEASURES SHALL BE TAKEN TO PREVENT OIL, GREASE, OR FUEL TO LEAK IN TO THE GROUND, STORM DRAINS OR SURFACE WATERS.
- ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED ONSITE SHALL BE IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
- LEAKS SHALL BE IMMEDIATELY CLEANED AND LEAKED MATERIALS SHALL BE DISPOSED OF PROPERLY.

**LANDSCAPE MATERIALS**

- CONTAIN STOCKPILED MATERIALS SUCH AS MULCHES AND TOPSOIL WHEN THEY ARE NOT ACTIVELY BEING USED.
- CONTAIN FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN THEY ARE NOT ACTIVELY BEING USED.
- DISCONTINUE THE APPLICATION OF ANY ERODIBLE LANDSCAPE MATERIAL WITHIN 2 DAYS BEFORE A FORECASTED RAIN EVENT OR DURING PERIODS OF PRECIPITATION.
- APPLY ERODIBLE LANDSCAPE MATERIAL AT QUANTITIES AND APPLICATION RATES ACCORDING TO MANUFACTURE RECOMMENDATIONS OR BASED ON WRITTEN SPECIFICATIONS BY KNOWLEDGEABLE AND EXPERIENCED FIELD PERSONNEL.
- STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVERING OR STORING SUCH MATERIALS WHEN NOT BEING USED OR APPLIED.



**TYPICAL INSTALLATION**



**ENTRENCHMENT DETAIL**

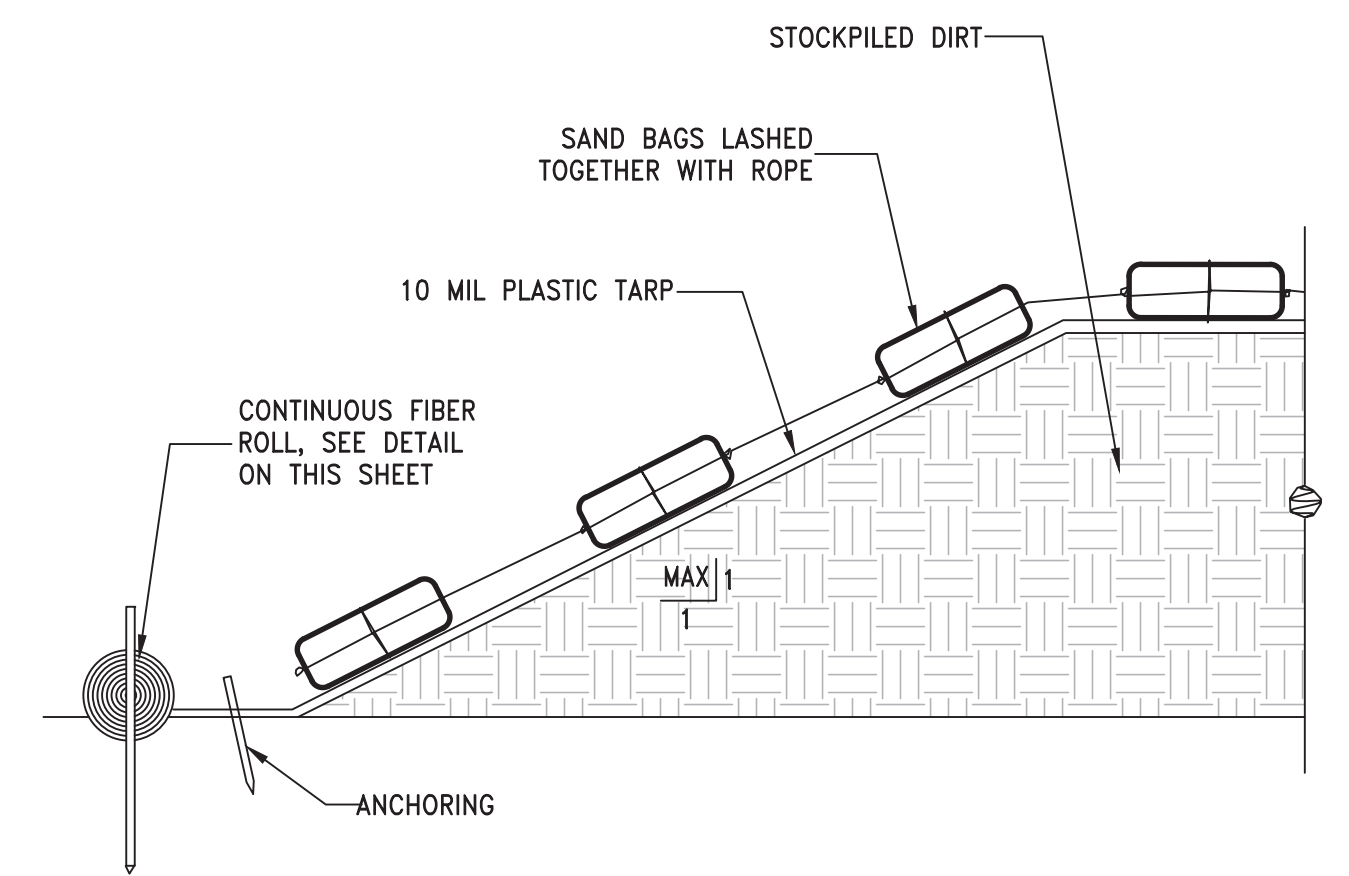
**FIBER ROLLS**  
N.T.S.

**FIBER ROLL CONSTRUCTION SPECIFICATIONS**

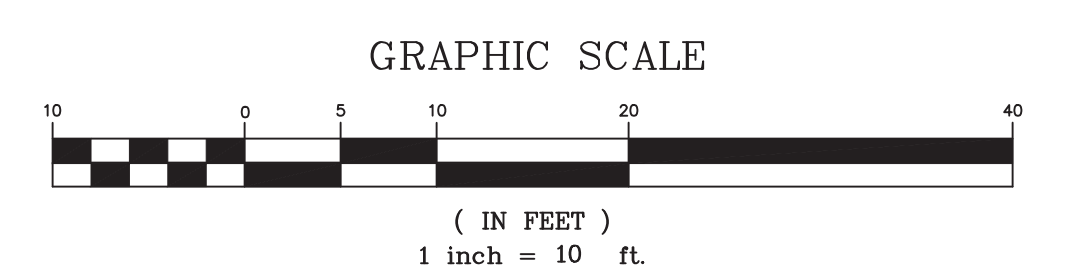
1. PREPARE SLOPE BEFORE THE WATTLING PROCEDURE IS STARTED. SHALLOW GULLIES SHOULD BE SMOOTHED AS WORK PROGRESSES.
2. DIG SMALL TRENCHES ACROSS SLOPE ON CONTOUR, TO PLACE WATTLES IN. THE TRENCH SHOULD BE DEEP ENOUGH TO ACCOMMODATE HALF THE THICKNESS OF THE WATTLE. WHEN THE SOIL IS LOOSE AND UNCOMPACTED, THE TRENCH SHOULD BE DEEP ENOUGH TO BURY THE WATTLE 2/3 OF ITS THICKNESS BECAUSE THE GROUND WILL SETTLE. IT IS CRITICAL THAT WATTLES ARE INSTALLED PERPENDICULAR TO WATER MOVEMENT, PARALLEL TO THE SLOPE CONTOUR.
3. START BUILDING TRENCHES AND INSTALL WATTLES FROM THE BOTTOM OF THE SLOPE AND WORK UP.
4. CONSTRUCT TRENCHES AT CONTOUR INTERVALS OF THREE TO EIGHT FEET APART DEPENDING ON STEEPNESS OF SLOPE. THE STEEPER THE SLOPE, THE CLOSER TOGETHER THE TRENCHES.
5. LAY THE WATTLE ALONG THE TRENCHES FITTING IT SNUGLY AGAINST THE SOIL. MAKE SURE NO GAPS EXIST BETWEEN THE SOIL AND THE STRAW WATTLE. USE A STRAIGHT BAR TO DRIVE HOLES THROUGH THE WATTLE AND INTO THE SOIL FOR THE WOODEN STAKES.
6. DRIVE THE STAKE THROUGH THE PREPARED HOLE INTO THE SOIL. LEAVE ONLY ONE OR TWO INCHES OF STAKE EXPOSED ABOVE WATTLE. IF USING WILLOW STAKES REFER TO USDA SOIL CONSERVATION SERVICE TECHNICAL GUIDE, BIOENGINEERING, FOR GUIDELINES TO PREPARING LIVE WILLOW MATERIAL.
7. INSTALL STAKES AT LEAST EVERY FOUR FEET APART THROUGH WATTLE. ADDITIONAL STAKES MAY BE DRIVEN ON THE DOWNSLOPE SIDE OF THE TRENCHES ON HIGHLY ERODIVE OR VERY STEEP SLOPES.

**FIBER ROLL INSTALLATION AND MAINTENANCE**

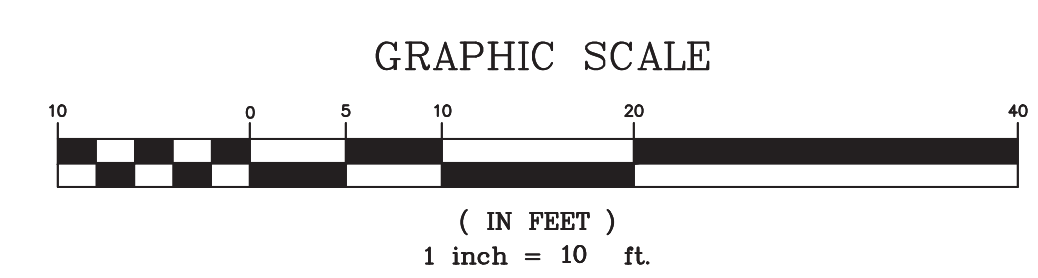
8. INSPECT THE STRAW WATTLE AND THE SLOPES AFTER SIGNIFICANT STORMS. MAKE SURE THE WATTLES ARE IN CONTACT WITH THE SOIL.
9. REPAIR ANY RILLS OR GULLIES PROMPTLY.
10. RESEED OR REPLANT VEGETATION IF NECESSARY UNTIL THE SLOPE IS STABILIZED.



**DIRT STOCKPILE**  
N.T.S.

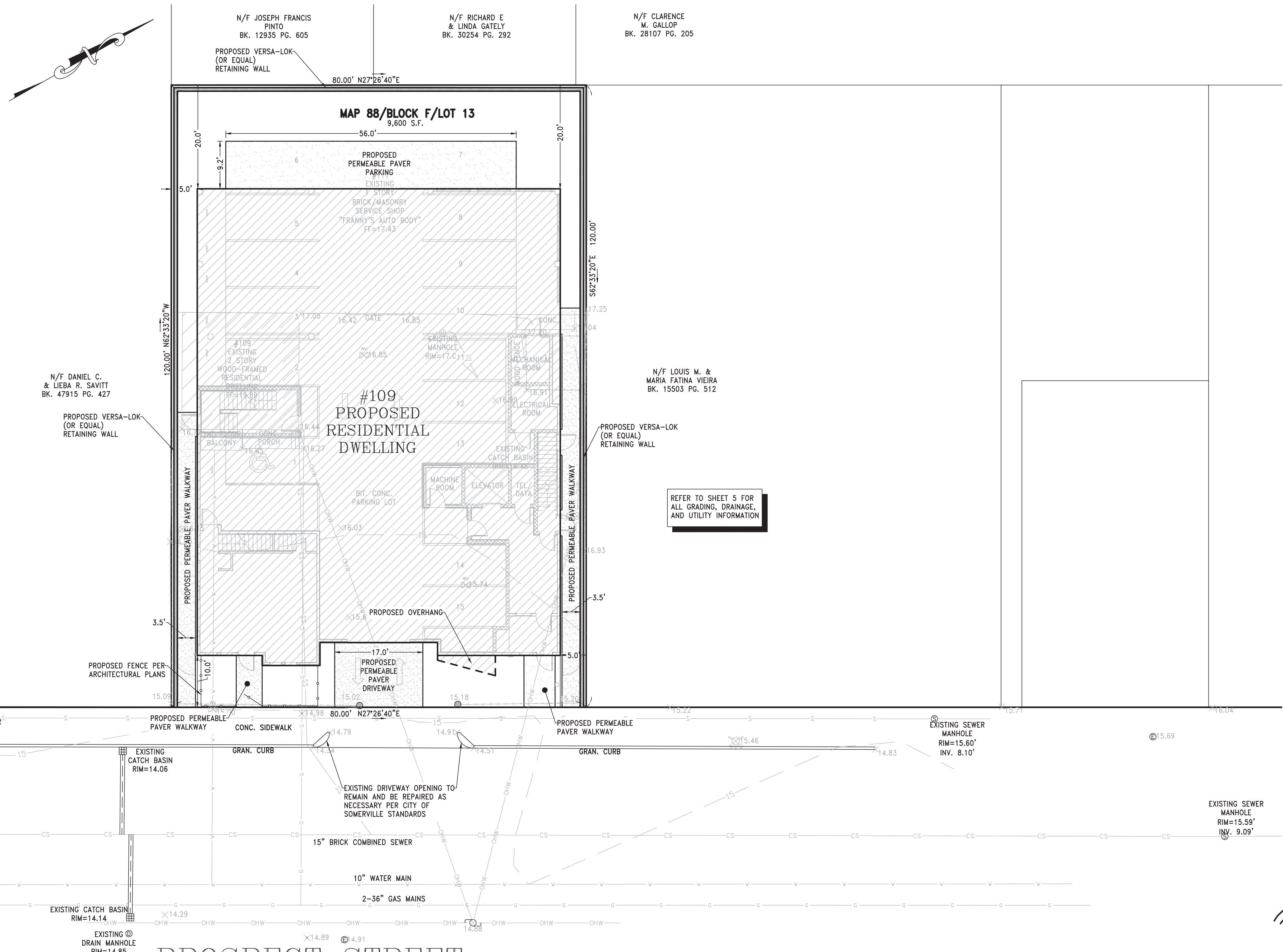


**PROSPECT STREET**  
(PUBLIC WAY)



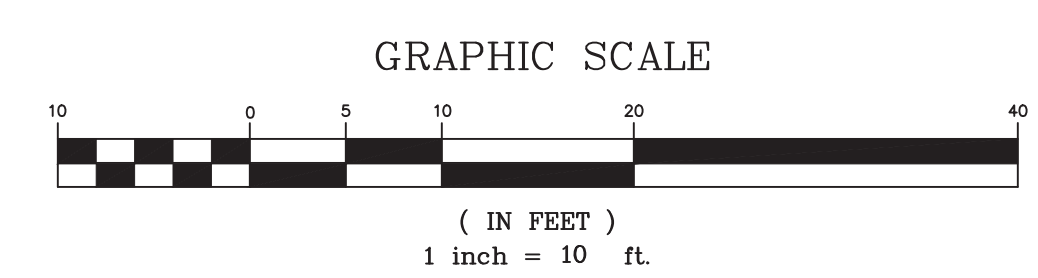
|          |  |           |          |
|----------|--|-----------|----------|
| SCALE    | 1"=10'   |           |          |
| DATE     | 7/23/18  | REV DATE  | REVISION |
| SHEET    | 109 PROSPECT STREET<br>SOMERVILLE<br>MASSACHUSETTS   |           | BY       |
| PLAN NO. | DEMOLITION & EROSION<br>CONTROL PLAN   |           |          |
| CLIENT:  | PETER NOLAN & ASSOCIATES LLC<br>LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS<br>697 CAMBRIDGE STREET, SUITE 103, BRIGHTON MA 02135<br>PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 |           |          |
| DRAWN BY | GS   |           |          |
| CHKD BY  | ETS  |           |          |
| APPD BY  | PJN  |           |          |
|          |  | SHEET NO. |          |
|          |  | 3         |          |



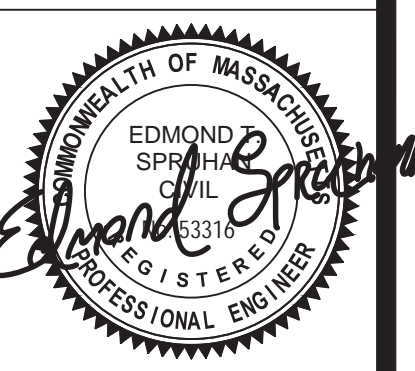
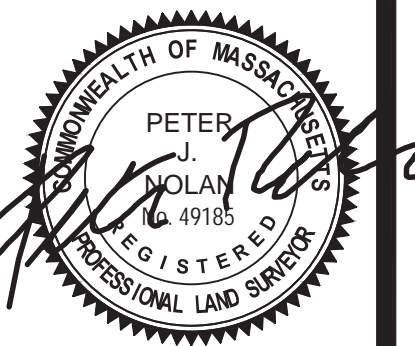


**PROSPECT STREET**  
(PUBLIC WAY)

- NOTE**
- REFER TO ARCHITECTURAL PLANS FOR ALL ZONING RELATED INFORMATION.
  - REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL BUILDING INFORMATION.

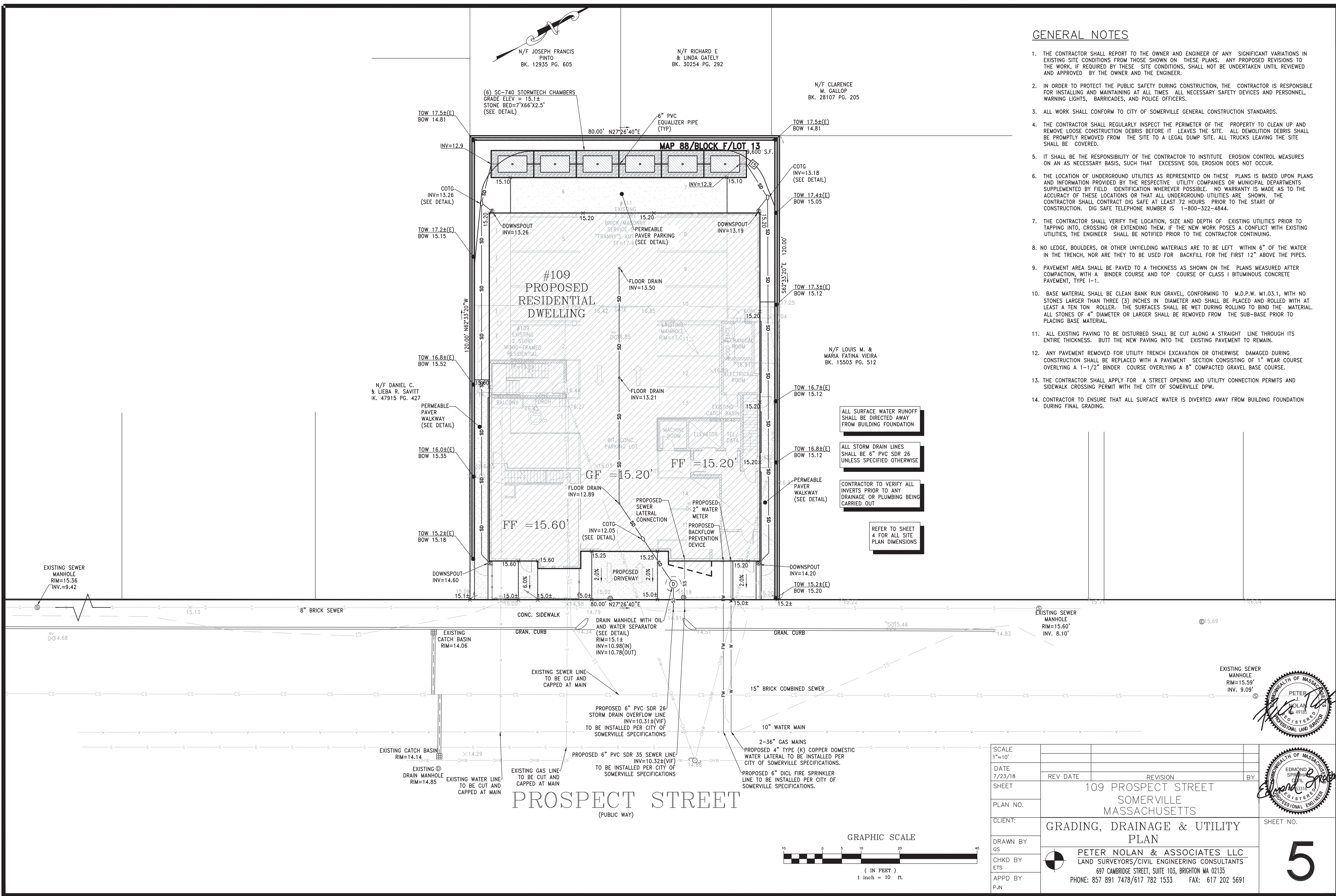


|                 |  |          |    |
|-----------------|--|----------|----|
| SCALE<br>1"=10' |  |          |    |
| DATE<br>7/23/18 | REV DATE   | REVISION | BY |
| SHEET           | 109 PROSPECT STREET<br>SOMERVILLE<br>MASSACHUSETTS   |          |    |
| PLAN NO.        | PROPOSED SITE LAYOUT   |          |    |
| CLIENT:         | PETER NOLAN & ASSOCIATES LLC<br>LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS<br>697 CAMBRIDGE STREET, SUITE 103, BRIGHTON MA 02135<br>PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 |          |    |
| DRAWN BY<br>GS  | SHEET NO.<br><b>4</b>  |          |    |
| CHKD BY<br>ETS  |  |          |    |
| APPD BY<br>PUN  |  |          |    |



**GENERAL NOTES**

1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER OF ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
2. IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES ALL NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE OFFICERS.
3. ALL WORK SHALL CONFORM TO CITY OF SOMERVILLE GENERAL CONSTRUCTION STANDARDS.
4. THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE. ALL DEMOLITION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE SITE TO A LEGAL DUMP SITE. ALL TRUCKS LEAVING THE SITE SHALL BE COVERED.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXCESSIVE SOIL EROSION DOES NOT OCCUR.
6. THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTRACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1-800-322-4844.
7. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
8. NO LEDGE, BOULDERS, OR OTHER UNYIELDING MATERIALS ARE TO BE LEFT WITHIN 6" OF THE WATER IN THE TRENCH, NOR ARE THEY TO BE USED FOR BACKFILL FOR THE FIRST 12" ABOVE THE PIPES.
9. PAVEMENT AREA SHALL BE PAVED TO A THICKNESS AS SHOWN ON THE PLANS MEASURED AFTER COMPACTION, WITH A BINDER COURSE AND TOP COURSE OF CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1.
10. BASE MATERIAL SHALL BE CLEAN BANK RUN GRAVEL, CONFORMING TO M.D.P.W. M1.03.1, WITH NO STONES LARGER THAN THREE (3) INCHES IN DIAMETER AND SHALL BE PLACED AND ROLLED WITH AT LEAST A TEN TON ROLLER. THE SURFACES SHALL BE WET DURING ROLLING TO BIND THE MATERIAL. ALL STONES OF 4" DIAMETER OR LARGER SHALL BE REMOVED FROM THE SUB-BASE PRIOR TO PLACING BASE MATERIAL.
11. ALL EXISTING PAVING TO BE DISTURBED SHALL BE CUT ALONG A STRAIGHT LINE THROUGH ITS ENTIRE THICKNESS. BUTT THE NEW PAVING INTO THE EXISTING PAVEMENT TO REMAIN.
12. ANY PAVEMENT REMOVED FOR UTILITY TRENCH EXCAVATION OR OTHERWISE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH A PAVEMENT SECTION CONSISTING OF 1" WEAR COURSE OVERLYING A 1-1/2" BINDER COURSE OVERLYING A 8" COMPACTED GRAVEL BASE COURSE.
13. THE CONTRACTOR SHALL APPLY FOR A STREET OPENING AND UTILITY CONNECTION PERMITS AND SIDEWALK CROSSING PERMIT WITH THE CITY OF SOMERVILLE DPW.
14. CONTRACTOR TO ENSURE THAT ALL SURFACE WATER IS DIVERTED AWAY FROM BUILDING FOUNDATION DURING FINAL GRADING.



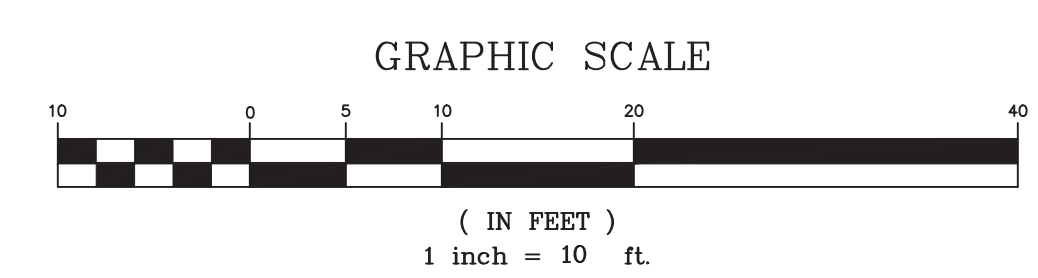
ALL SURFACE WATER RUNOFF SHALL BE DIRECTED AWAY FROM BUILDING FOUNDATION

ALL STORM DRAIN LINES SHALL BE 6" PVC SDR 26 UNLESS SPECIFIED OTHERWISE

CONTRACTOR TO VERIFY ALL INVERTS PRIOR TO ANY DRAINAGE OR PLUMBING BEING CARRIED OUT

REFER TO SHEET 4 FOR ALL SITE PLAN DIMENSIONS

**PROSPECT STREET**  
(PUBLIC WAY)



|   |  |
|---|--|
| SCALE   | 1"=10'   |
| DATE  | 7/23/18  |
| SHEET   | 109 PROSPECT STREET<br>SOMERVILLE<br>MASSACHUSETTS |
| PLAN NO.  |  |
| CLIENT:   | GRADING, DRAINAGE & UTILITY<br>PLAN                |
| DRAWN BY  | GS   |
| CHKD BY   | ETS  |
| APPD BY   | PJN  |
| REVISION  |  |
| BY  |  |
|   |  |
|   |  |
| <p><b>PETER NOLAN &amp; ASSOCIATES LLC</b><br/>LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS<br/>697 CAMBRIDGE STREET, SUITE 103, BRIGHTON MA 02135<br/>PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691</p> |  |
| SHEET NO.   | <b>5</b>   |



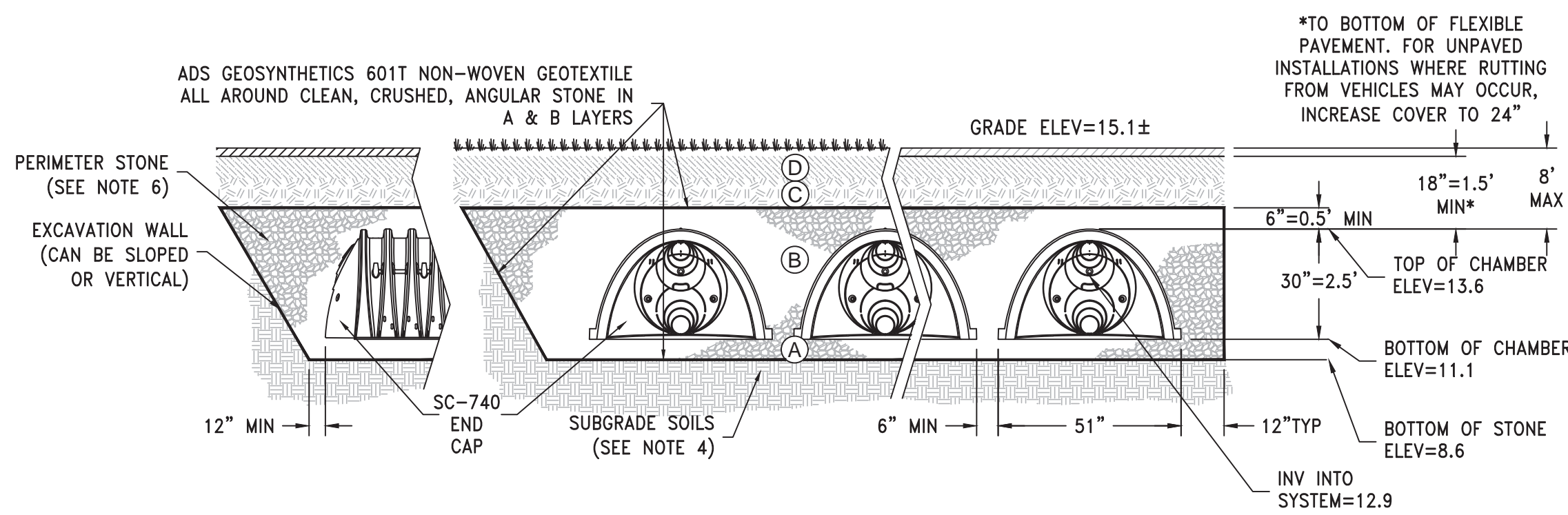


**ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS**

| MATERIAL LOCATION | DESCRIPTION   | AASHTO MATERIAL CLASSIFICATIONS   | COMPACTION / DENSITY REQUIREMENT   |
|-------------------|---|---|--|
| D                 | FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER. | N/A   | PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.  |
| C                 | INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER. | GRANULAR WELL-DRAINED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE.<br>MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER. | BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN). |
| B                 | EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.  | CLEAN, CRUSHED, ANGULAR STONE   | NO COMPACTION REQUIRED.  |
| A                 | FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.   | CLEAN, CRUSHED, ANGULAR STONE   | PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE.   |

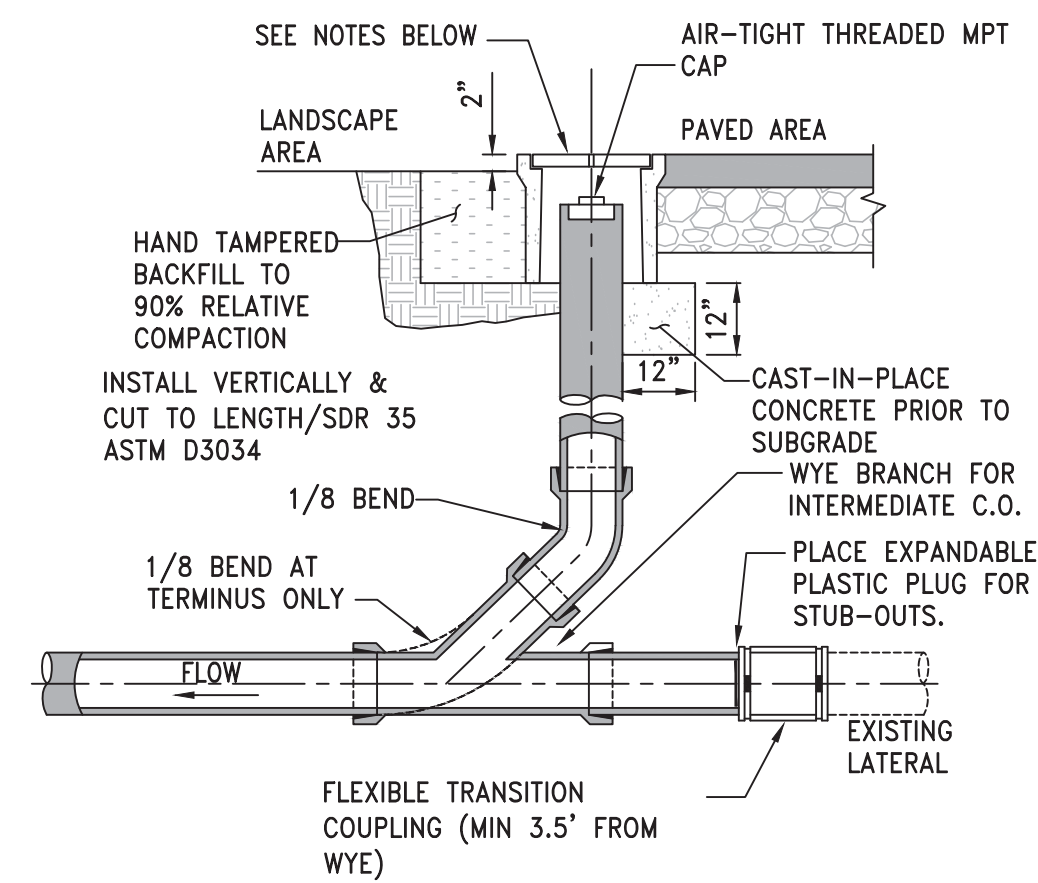
**PLEASE NOTE:**

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



**NOTES:**

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

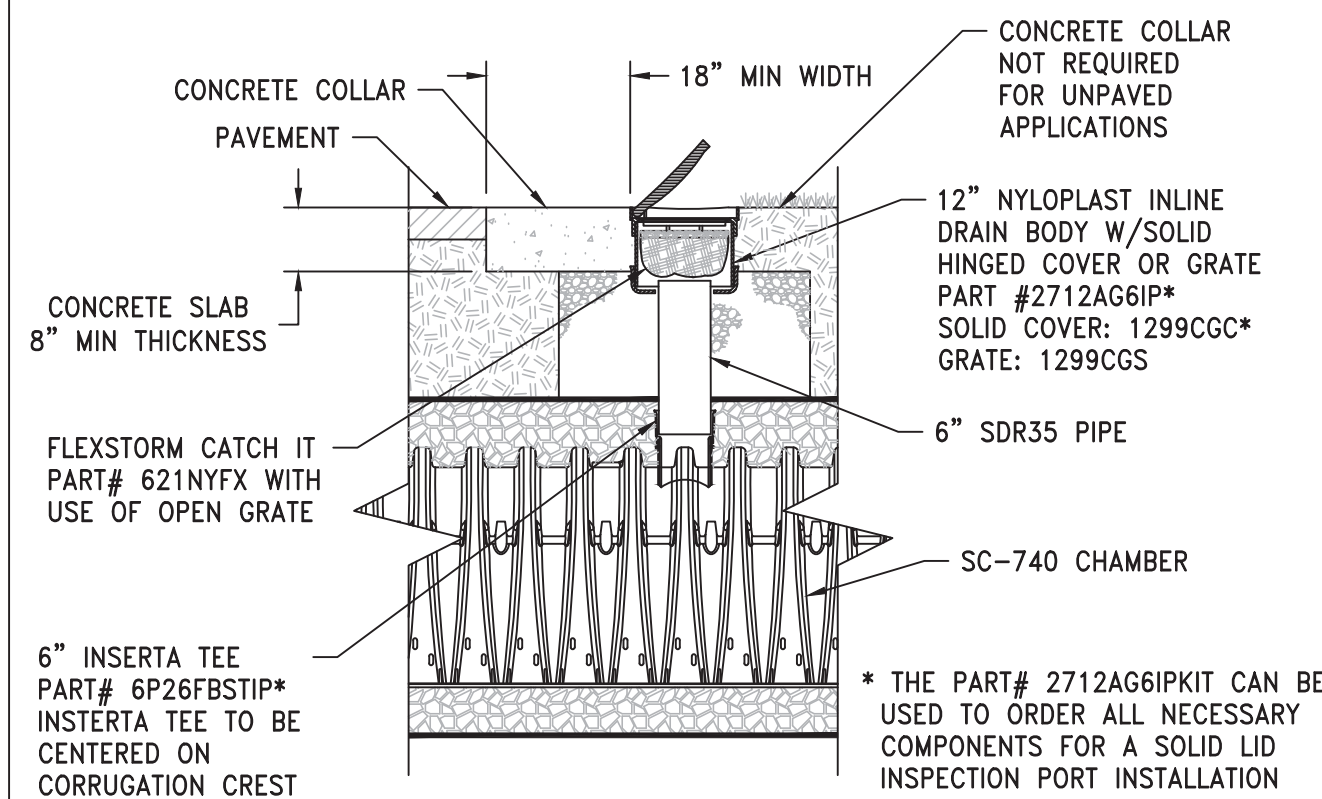


**NOTES:**

- RECTANGULAR OR CIRCULAR BOXES ARE PERMITTED.
- CONCRETE/FIBERLYTE LIDS ARE ACCEPTABLE IN NON-VEHICULAR AREAS. H-20 CAST IRON TRAFFIC LIDS AND BOXES IN VEHICULAR AREAS.
- ALL CLEANOUT LIDS SHALL BE MARKED WITH AN "S" OR THE WORD "SEWER" FOR SANITARY SEWER CLEANOUTS
- CLEANOUT PIPE SHALL BE THE SAME DIAMETER AS THE CONNECTED SITE PIPE.
- TERMINATE C.O. AT CLOSEST JOINT TO SURFACE WITH TEMPORARY PLUG. AFTER ALL BACKFILL IS COMPLETE AND SUB-GRADE MADE IN AREAS TO BE PAVED, THE FINAL RISER PIPE AND BOX SHALL BE INSTALLED AS SHOWN.

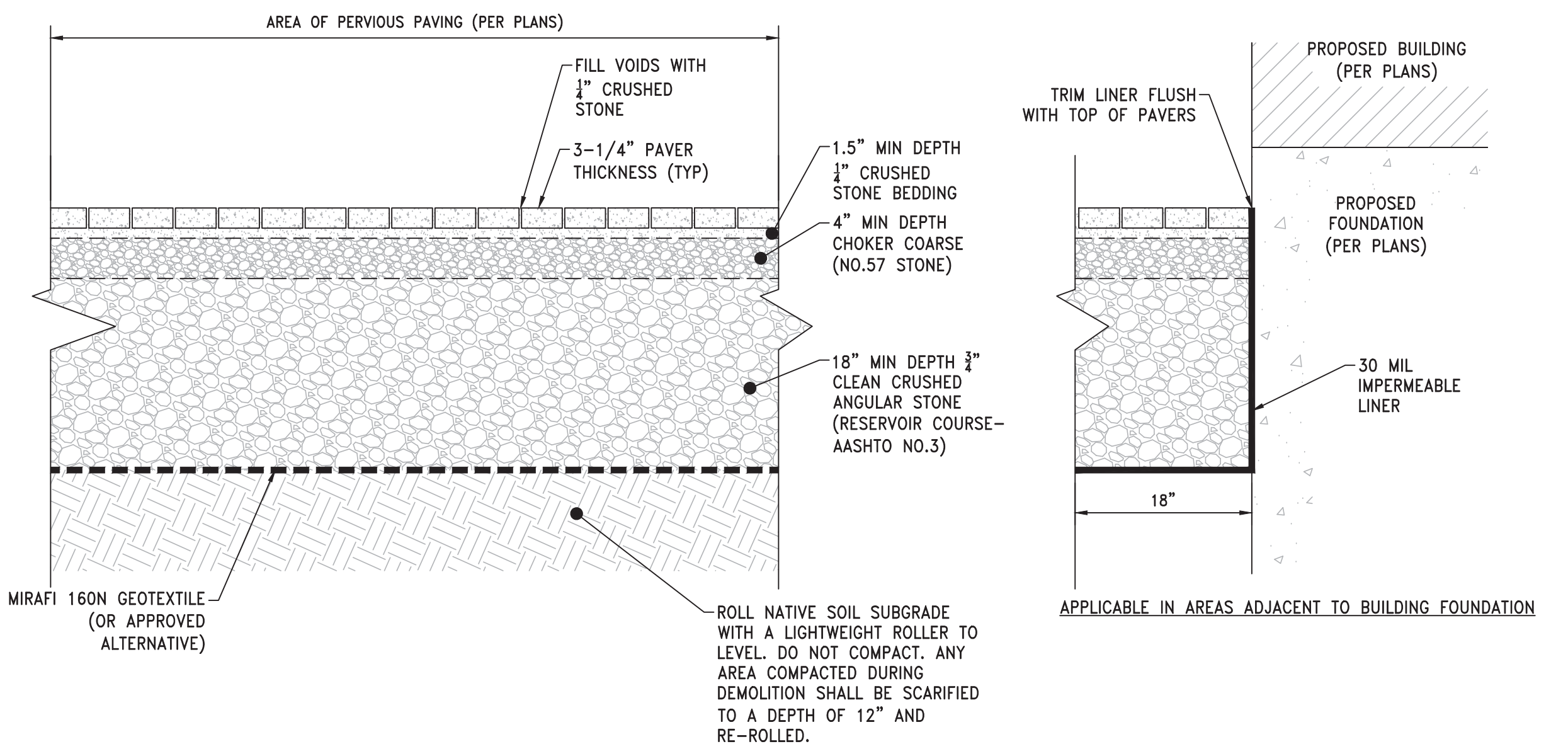
**CLEANOUT TO GRADE**

N.T.S.



**SC-740 6" INSPECTION PORT DETAIL**

N.T.S.

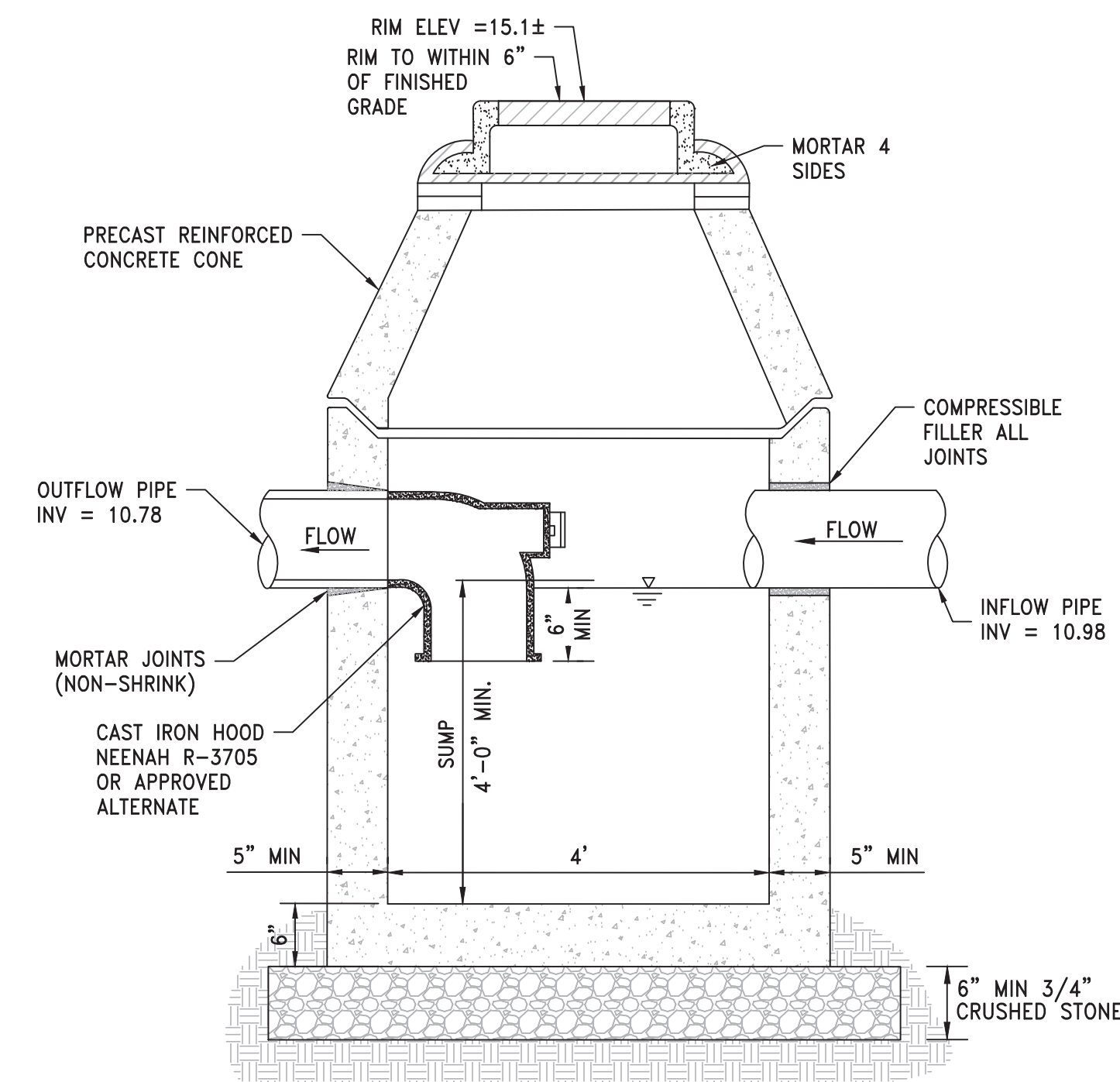


**PERMEABLE PAVING NOTES:**

- PAVERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURES SPECIFICATIONS.

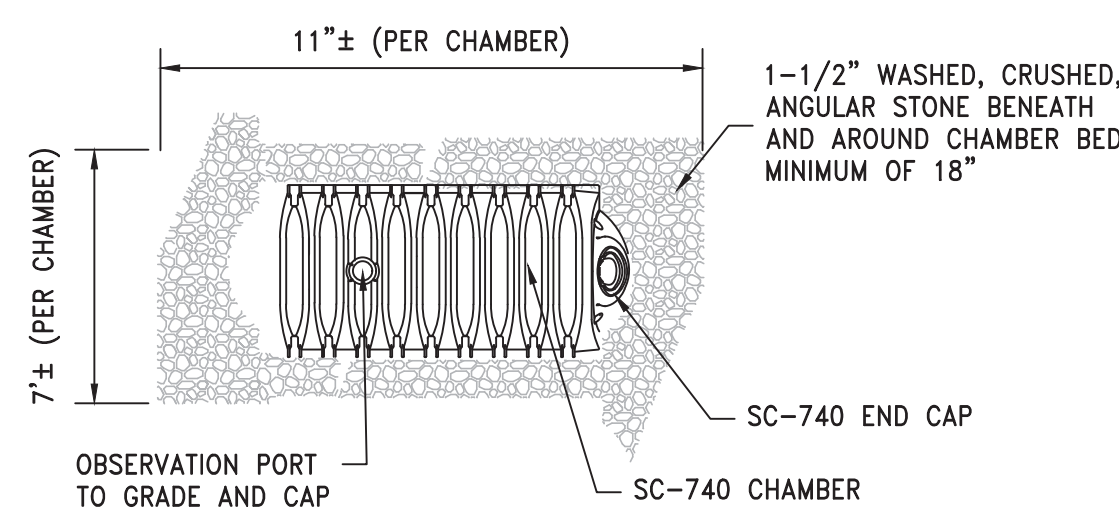
**PERVIOUS PAVER DETAIL**

N.T.S.



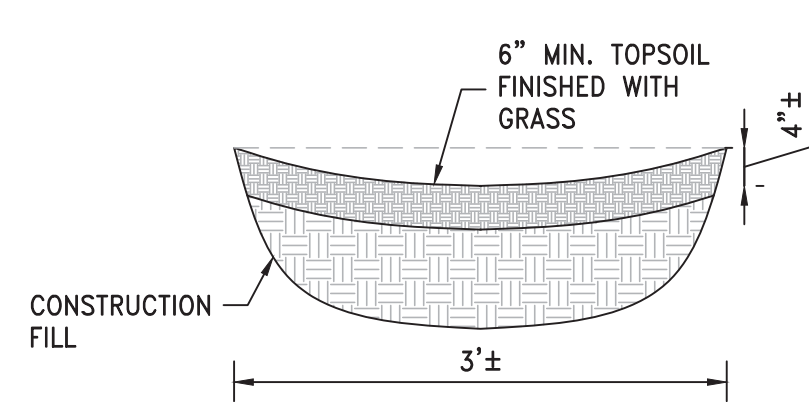
**TYPICAL PRECAST CONCRETE DRAIN MANHOLE**

N.T.S.



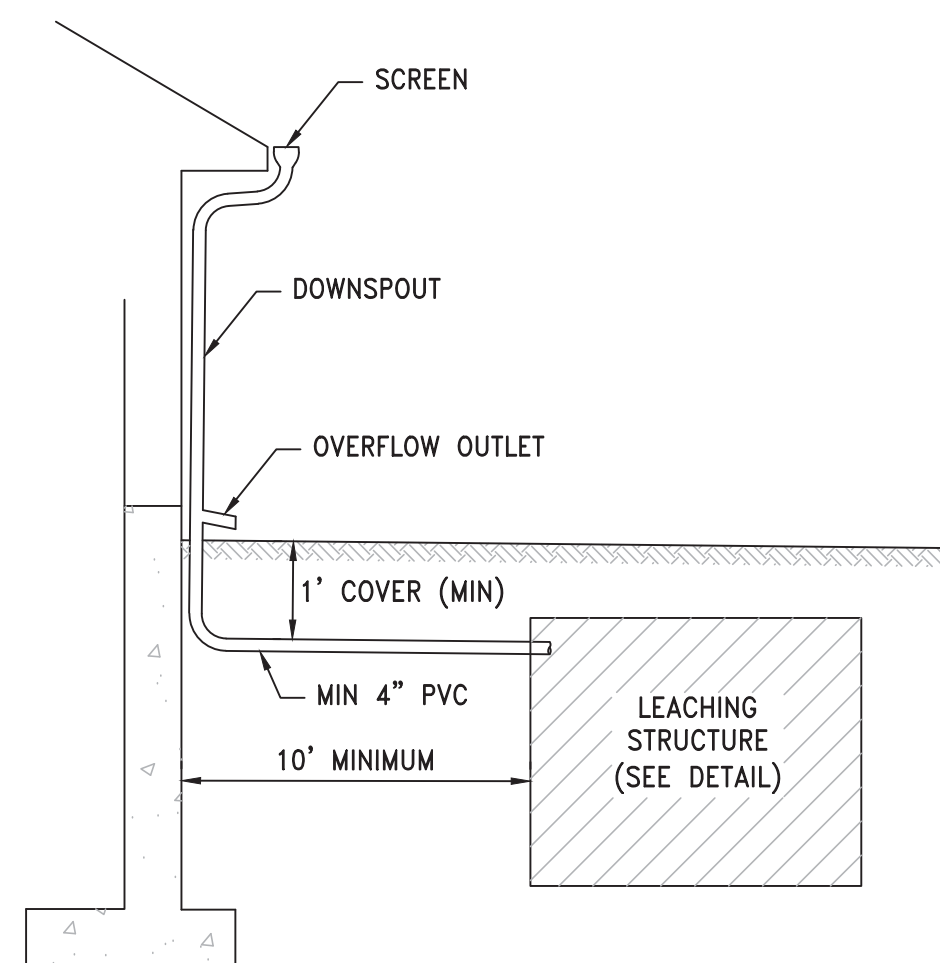
**STORMTECH SC-740 CHAMBER SYSTEM PLAN VIEW DETAIL**

N.T.S.



**DEPRESSION (SWALE) DETAIL**

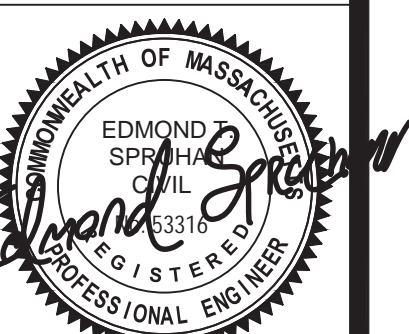
N.T.S.



**TYPICAL DOWNSPOUT DETAIL**

N.T.S.

|  |  |
|--|--|
| SCALE  | 1"=10'   |
| DATE   | 7/23/18  |
| SHEET  | 109 PROSPECT STREET<br>SOMERVILLE<br>MASSACHUSETTS |
| PLAN NO.   |  |
| CLIENT:  | DETAILS  |
| DRAWN BY   | GS   |
| CHKD BY  | ETS  |
| APPD BY  | PJN  |
| REV DATE   | REVISION   |
| BY   |  |
| EDMOND H. SPRUELL<br>CIVIL ENGINEER<br>REGISTERED PROFESSIONAL ENGINEER  |  |
| SHEET NO.  |  |
| PETER NOLAN & ASSOCIATES LLC<br>LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS<br>697 CAMBRIDGE STREET, SUITE 103, BRIGHTON MA 02135<br>PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 |  |



7

# EXISTING WATERSHED MAP

N/F JOSEPH FRANCIS  
PINTO  
BK. 12935 PG. 605

N/F RICHARD E  
& LINDA GATELY  
BK. 30254 PG. 292



N/F CLARENCE  
M. GALLOP  
BK. 28107 PG. 205

N/F DANIEL C.  
& LIEBA R. SAVITT  
BK. 47915 PG. 427

N/F LOUIS M. &  
MARIA FATINA VIEIRA  
BK. 15503 PG. 512

MAP 88/BLOCK F/LOT 13  
9,600 S.F.

### LEDGED

-  EXISTING ROOF AREA = 4,076 S.F.
-  EXISTING PAVED AREA = 5,524 S.F.

ARROWS INDICATE  
DIRECTION OF  
SURFACE FLOW  
(TYP)

# PROPOSED WATERSHED MAP

N/F JOSEPH FRANCIS  
PINTO  
BK. 12935 PG. 605

N/F RICHARD E  
& LINDA GATELY  
BK. 30254 PG. 292

N/F CLARENCE  
M. GALLOP  
BK. 28107 PG. 205




N/F DANIEL C.  
& LIEBA R. SAVITT  
BK. 47915 PG. 427

N/F LOUIS M. &  
MARIA FATINA VIEIRA  
BK. 15503 PG. 512

MAP 88/BLOCK F/LOT 13  
9,600 S.F.

#109  
PROPOSED  
RESIDENTIAL  
DWELLING

### LEDGED

-  PROPOSED ROOF AREA  
(TO STORM-TECH SYSTEM) = 6,270 S.F.
-  PROPOSED PERMEABLE PAVER AREA = 1,311 S.F.
-  PROPOSED LANDSCAPE AREA = 2,019 S.F.

ARROWS INDICATE  
DIRECTION OF  
SURFACE FLOW  
(TYP)

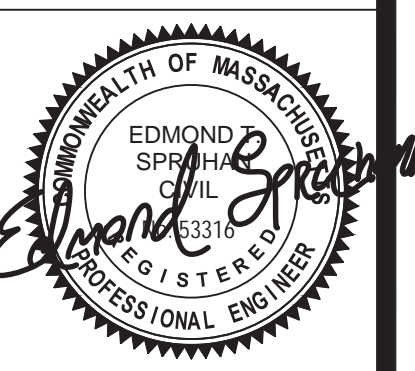
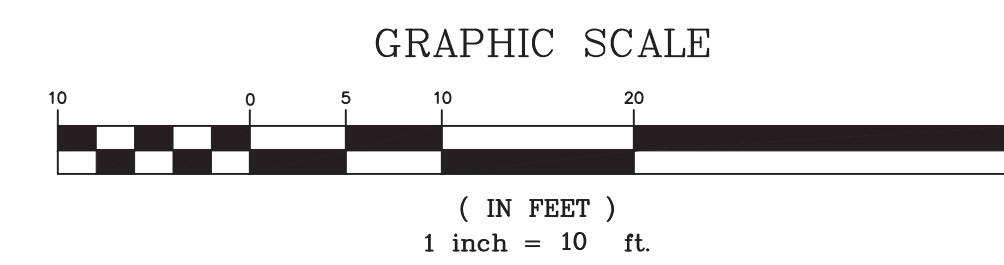
## PROSPECT STREET

(PUBLIC WAY)

## PROSPECT STREET

(PUBLIC WAY)

|                 |  |                       |
|-----------------|--|-----------------------|
| SCALE<br>1"=10' |  |                       |
| DATE<br>7/23/18 | REV DATE   | REVISION              |
| SHEET           | 109 PROSPECT STREET<br>SOMERVILLE<br>MASSACHUSETTS   |                       |
| PLAN NO.        | WATERSHED MAPS   |                       |
| CLIENT:         | PETER NOLAN & ASSOCIATES LLC<br>LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS<br>697 CAMBRIDGE STREET, SUITE 103, BRIGHTON MA 02135<br>PHONE: 857 891 7478/617 782 1535 FAX: 617 202 5691 |                       |
| DRAWN BY<br>GS  |  |                       |
| CHKD BY<br>ETS  |  |                       |
| APPD BY<br>PUN  |  |                       |
|                 |  | SHEET NO.<br><b>8</b> |

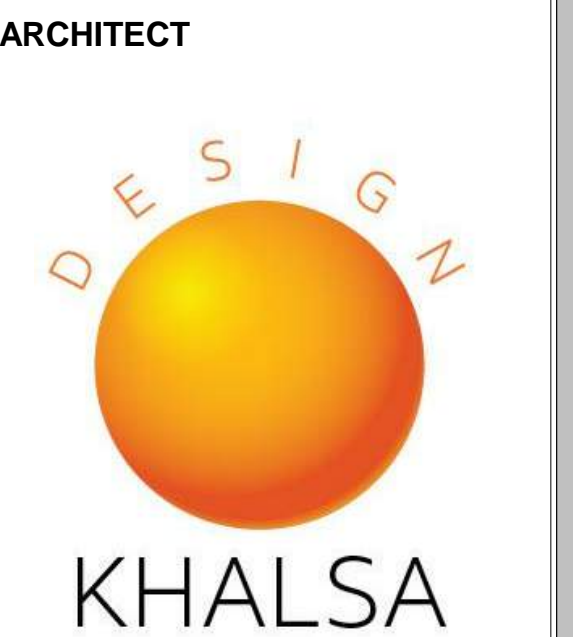




**PROJECT NAME**  
**PROSPECT ST RESIDENCES**

**PROJECT ADDRESS**  
 109 Prospect St,  
 Somerville, MA

**CLIENT**  
 109 Prospect St LLC



17IVALOO STREET SUITE 400  
 SOMERVILLE, MA 02143  
 TELEPHONE: 617-591-8682 FAX: 617-591-2086

**CONSULTANTS:**

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 Scale 3/32" = 1'-0"

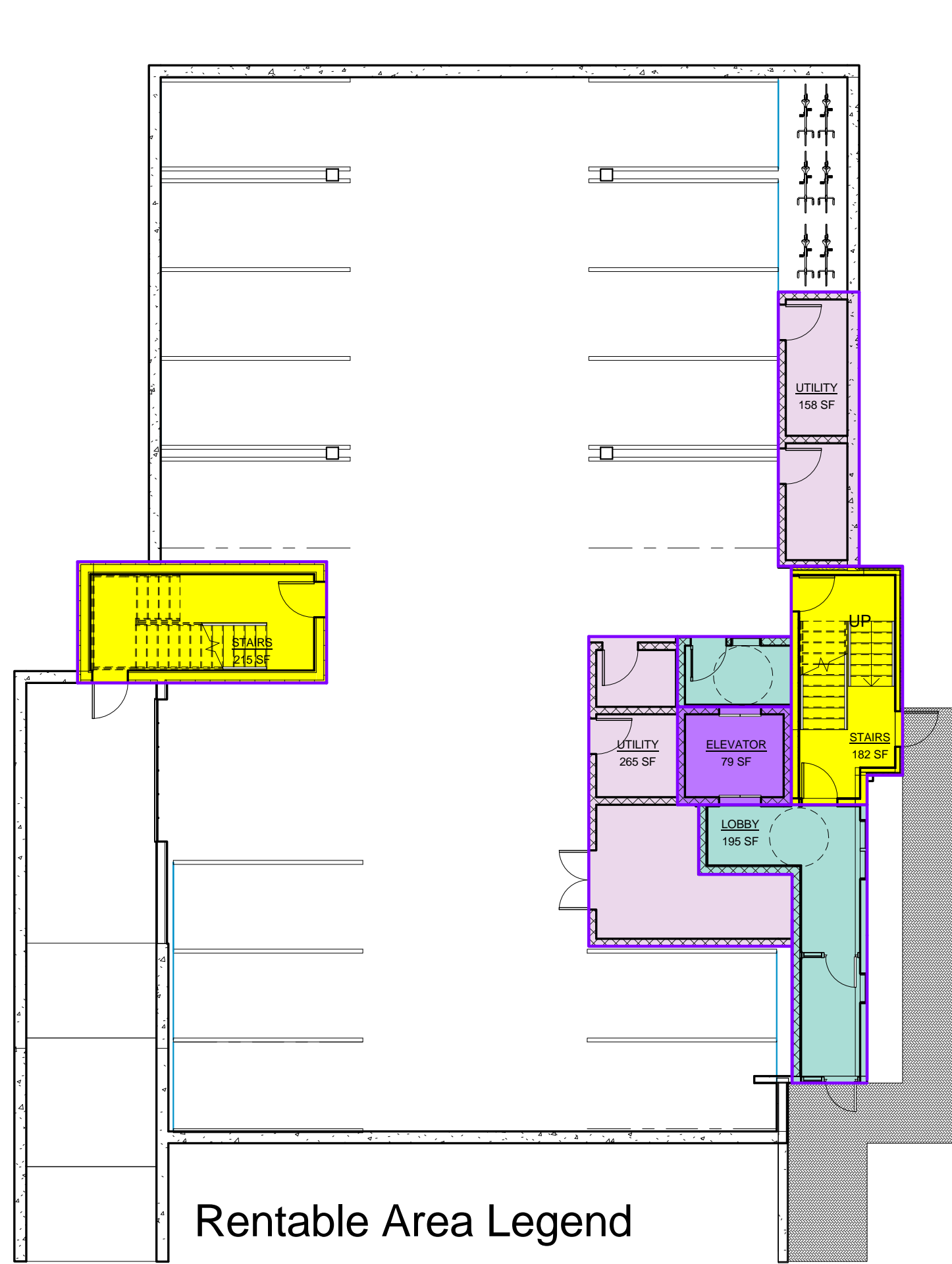
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**Area Plans**

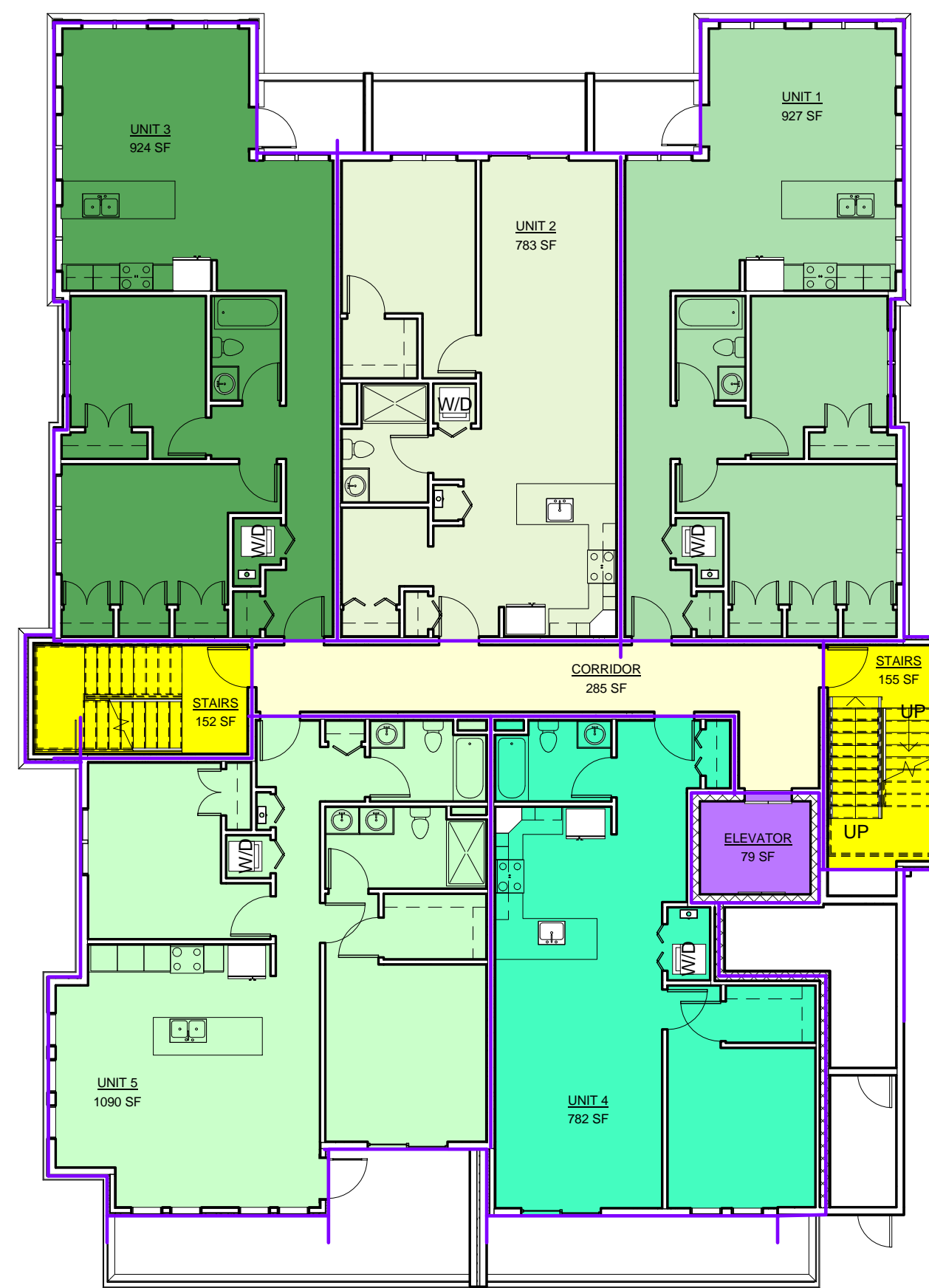
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PROSPECT ST RESIDENCES



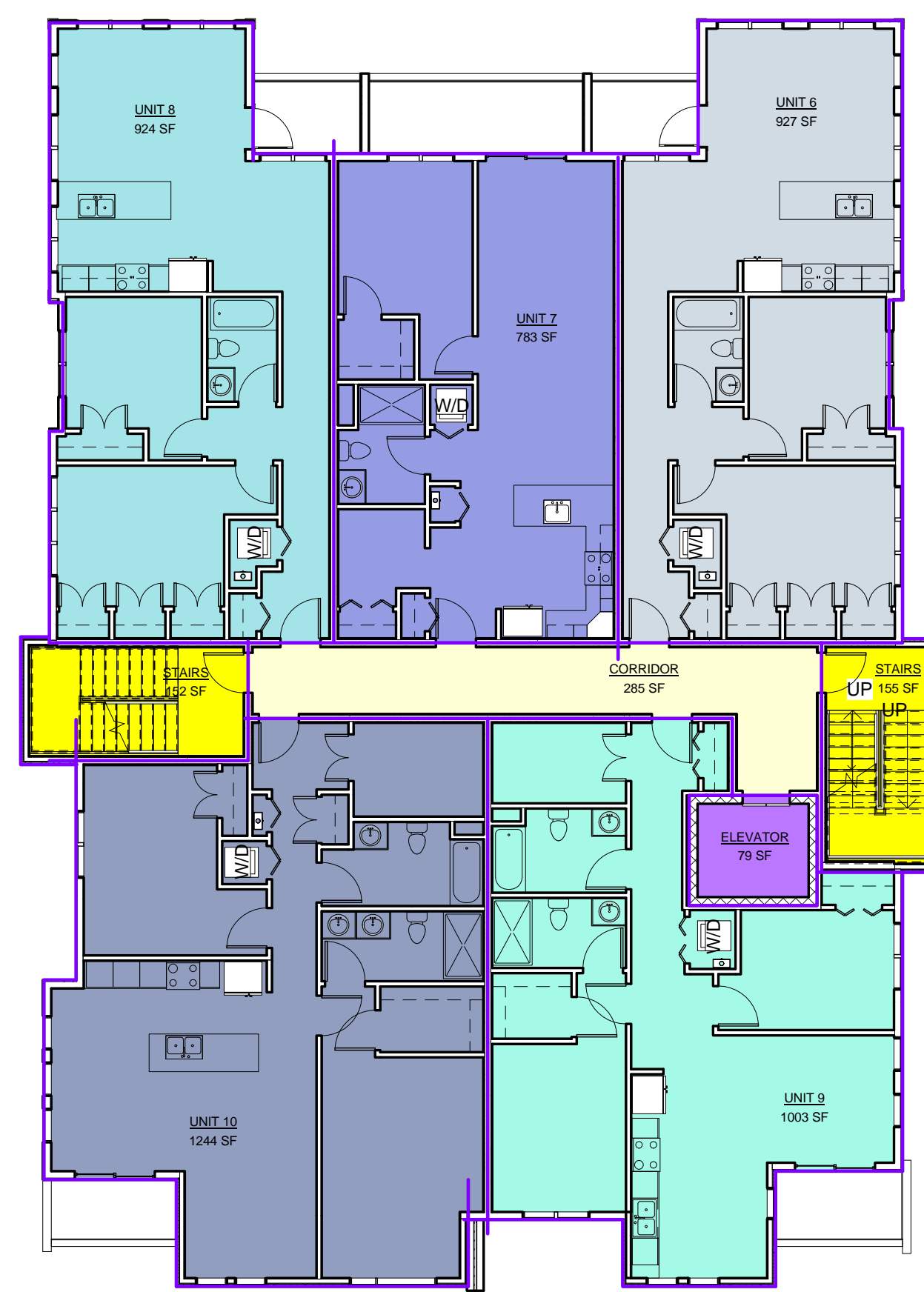
**Rentable Area Legend**

- ELEVATOR
  - LOBBY
  - STAIRS
  - UTILITY
  - Calculating...
- ① 0-Garage  
 3/32" = 1'-0"



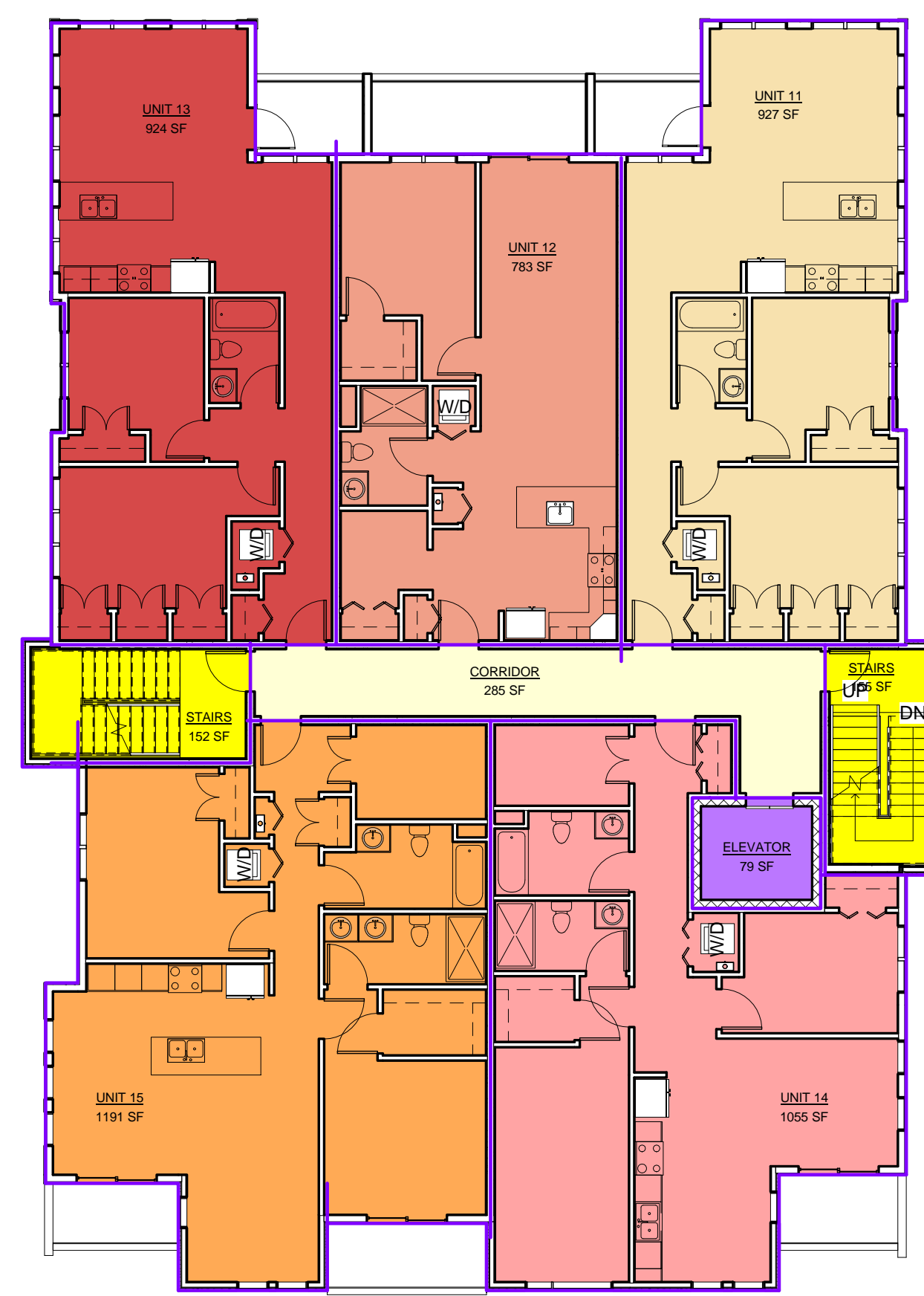
**Rentable Area Legend**

- CORRIDOR
  - ELEVATOR
  - STAIRS
  - UNIT 1
  - UNIT 2
  - UNIT 3
  - UNIT 4
  - UNIT 5
  - Calculating...
- ② 1-First Floor  
 3/32" = 1'-0"



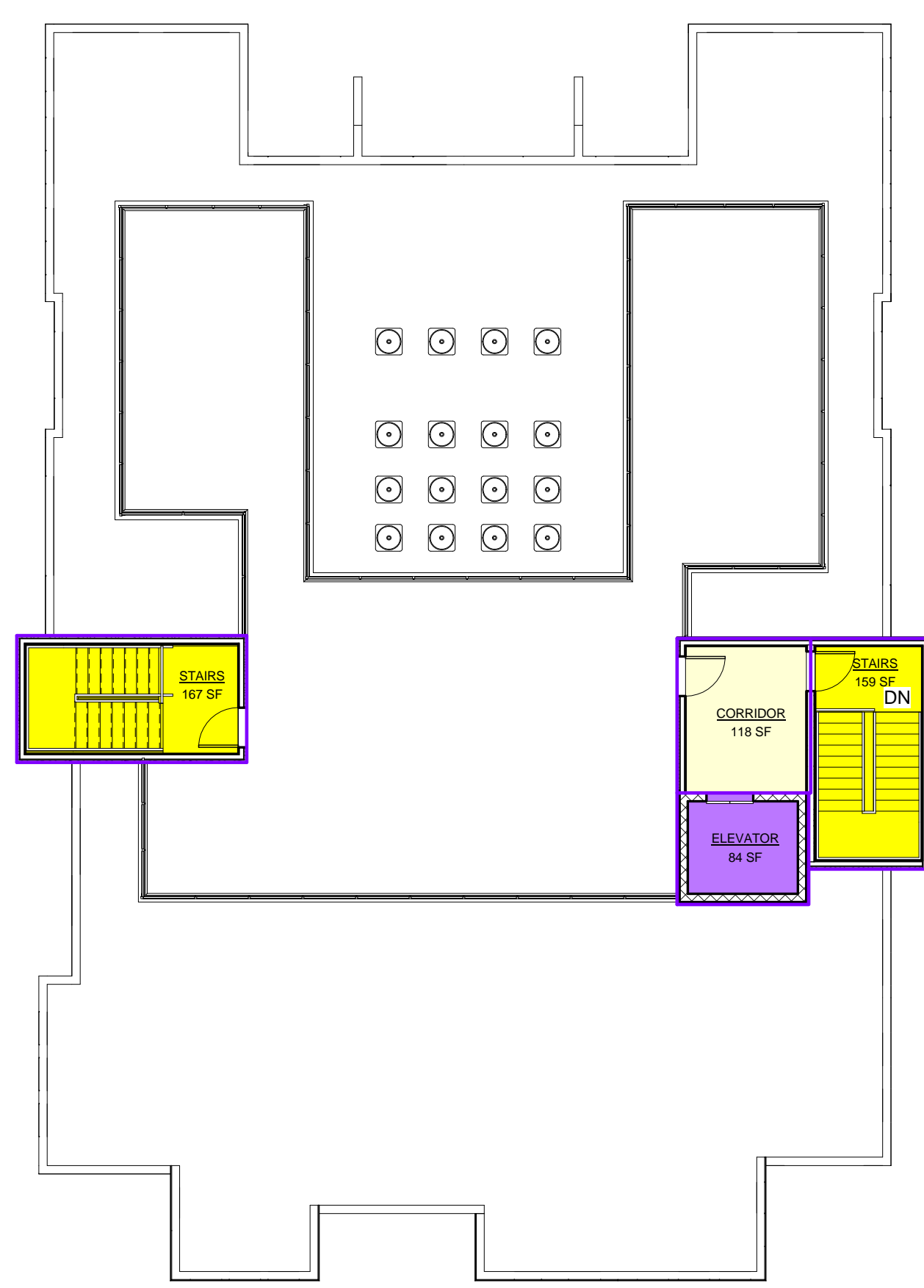
**Rentable Area Legend**

- CORRIDOR
  - ELEVATOR
  - STAIRS
  - UNIT 6
  - UNIT 7
  - UNIT 8
  - UNIT 9
  - UNIT 10
  - Calculating...
- ③ 2-Second Floor  
 3/32" = 1'-0"



**Rentable Area Legend**

- CORRIDOR
  - ELEVATOR
  - STAIRS
  - UNIT 11
  - UNIT 12
  - UNIT 13
  - UNIT 14
  - UNIT 15
  - Calculating...
- ④ 3-Third Floor  
 3/32" = 1'-0"



**Rentable Area Legend**

- CORRIDOR
  - ELEVATOR
  - STAIRS
  - Calculating...
- ⑤ Roof Plan  
 3/32" = 1'-0"

**Area Schedule (Rentable)**

| Name     | Level         | Area       |
|----------|---------------|------------|
| SERVICE  | Not Placed    | Not Placed |
| UNIT 3   | Not Placed    | Not Placed |
| UTILITY  | Not Placed    | Not Placed |
| ELEVATOR | 0-Garage      | 79 SF      |
| LOBBY    | 0-Garage      | 195 SF     |
| LOBBY    | 0-Garage      | 57 SF      |
| STAIRS   | 0-Garage      | 215 SF     |
| STAIRS   | 0-Garage      | 182 SF     |
| UTILITY  | 0-Garage      | 265 SF     |
| UTILITY  | 0-Garage      | 158 SF     |
| CORRIDOR | 1-First Floor | 285 SF     |
| ELEVATOR | 1-First Floor | 79 SF      |
| STAIRS   | 1-First Floor | 152 SF     |
| STAIRS   | 1-First Floor | 155 SF     |
| UNIT 1   | 1-First Floor | 927 SF     |
| UNIT 2   | 1-First Floor | 783 SF     |
| UNIT 3   | 1-First Floor | 924 SF     |
| UNIT 4   | 1-First Floor | 782 SF     |
| UNIT 5   | 1-First Floor | 1090 SF    |

**Area Schedule (Rentable)**

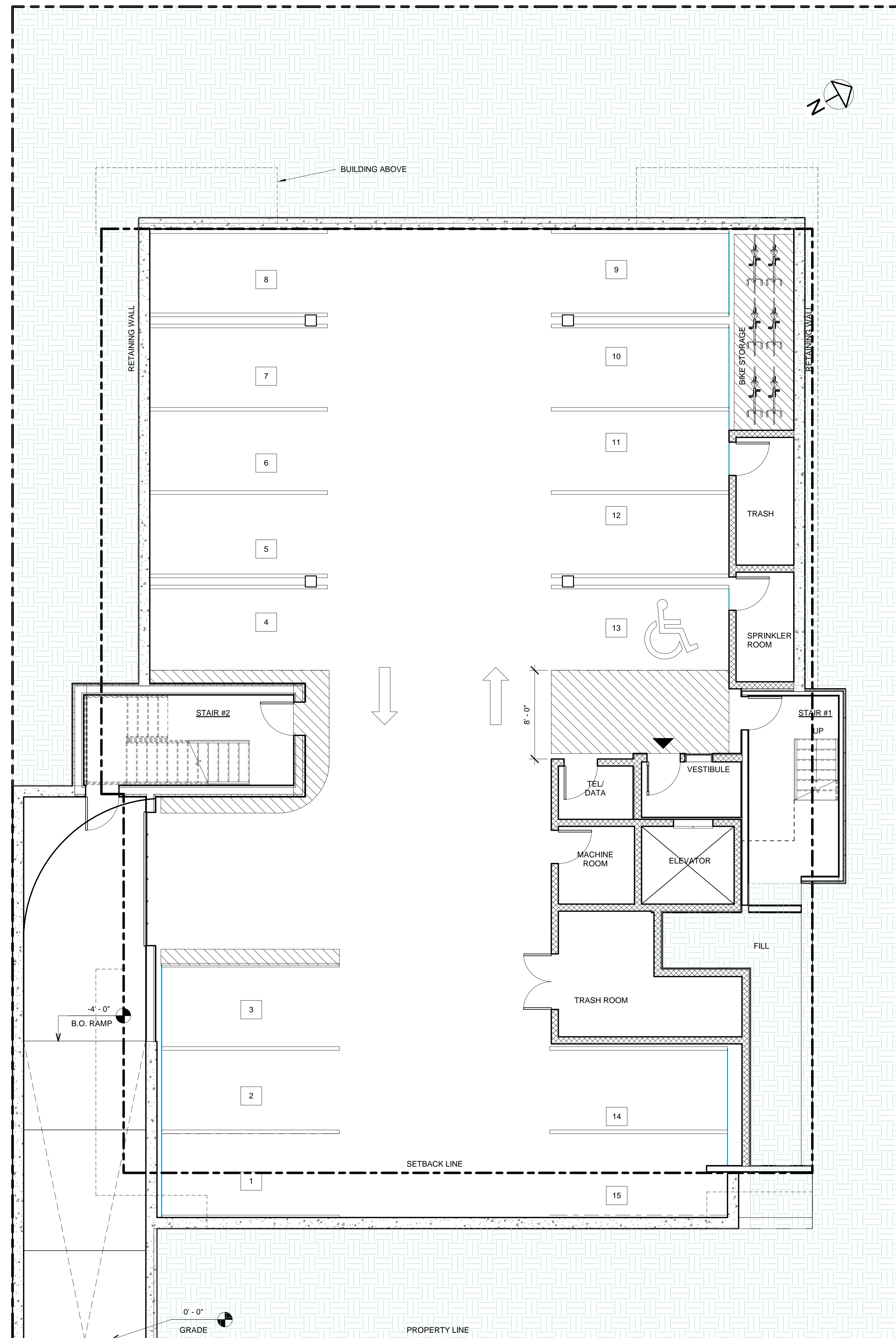
| Name     | Level          | Area     |
|----------|----------------|----------|
| CORRIDOR | 2-Second Floor | 285 SF   |
| ELEVATOR | 2-Second Floor | 79 SF    |
| STAIRS   | 2-Second Floor | 152 SF   |
| STAIRS   | 2-Second Floor | 155 SF   |
| UNIT 6   | 2-Second Floor | 927 SF   |
| UNIT 7   | 2-Second Floor | 783 SF   |
| UNIT 8   | 2-Second Floor | 924 SF   |
| UNIT 9   | 2-Second Floor | 1003 SF  |
| UNIT 10  | 2-Second Floor | 1244 SF  |
| CORRIDOR | 3-Third Floor  | 285 SF   |
| ELEVATOR | 3-Third Floor  | 79 SF    |
| STAIRS   | 3-Third Floor  | 155 SF   |
| STAIRS   | 3-Third Floor  | 152 SF   |
| UNIT 11  | 3-Third Floor  | 927 SF   |
| UNIT 12  | 3-Third Floor  | 783 SF   |
| UNIT 13  | 3-Third Floor  | 924 SF   |
| UNIT 14  | 3-Third Floor  | 1055 SF  |
| UNIT 15  | 3-Third Floor  | 1191 SF  |
| CORRIDOR | Roof Plan      | 118 SF   |
| ELEVATOR | Roof Plan      | 84 SF    |
| STAIRS   | Roof Plan      | 167 SF   |
| STAIRS   | Roof Plan      | 159 SF   |
|          |                | 17960 SF |

**BUILDING SQUARE FOOTAGE BREAKDOWN**

TOTAL LEASABLE SQUARE FOOTAGE = (16,193) SF

TOTAL COMMON / STAIR / UTILITY SQUARE FOOTAGE = (3,622) SF

TOTAL BUILDING SQUARE FOOTAGE = (19,815) SF



1 0-Garage  
3/16" = 1'-0"

PROJECT NAME  
**PROSPECT ST RESIDENCES**

PROJECT ADDRESS  
109 Prospect St,  
Somerville, MA

CLIENT  
**109 Prospect St LLC**

ARCHITECT

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682 FAX: 617-591-2086

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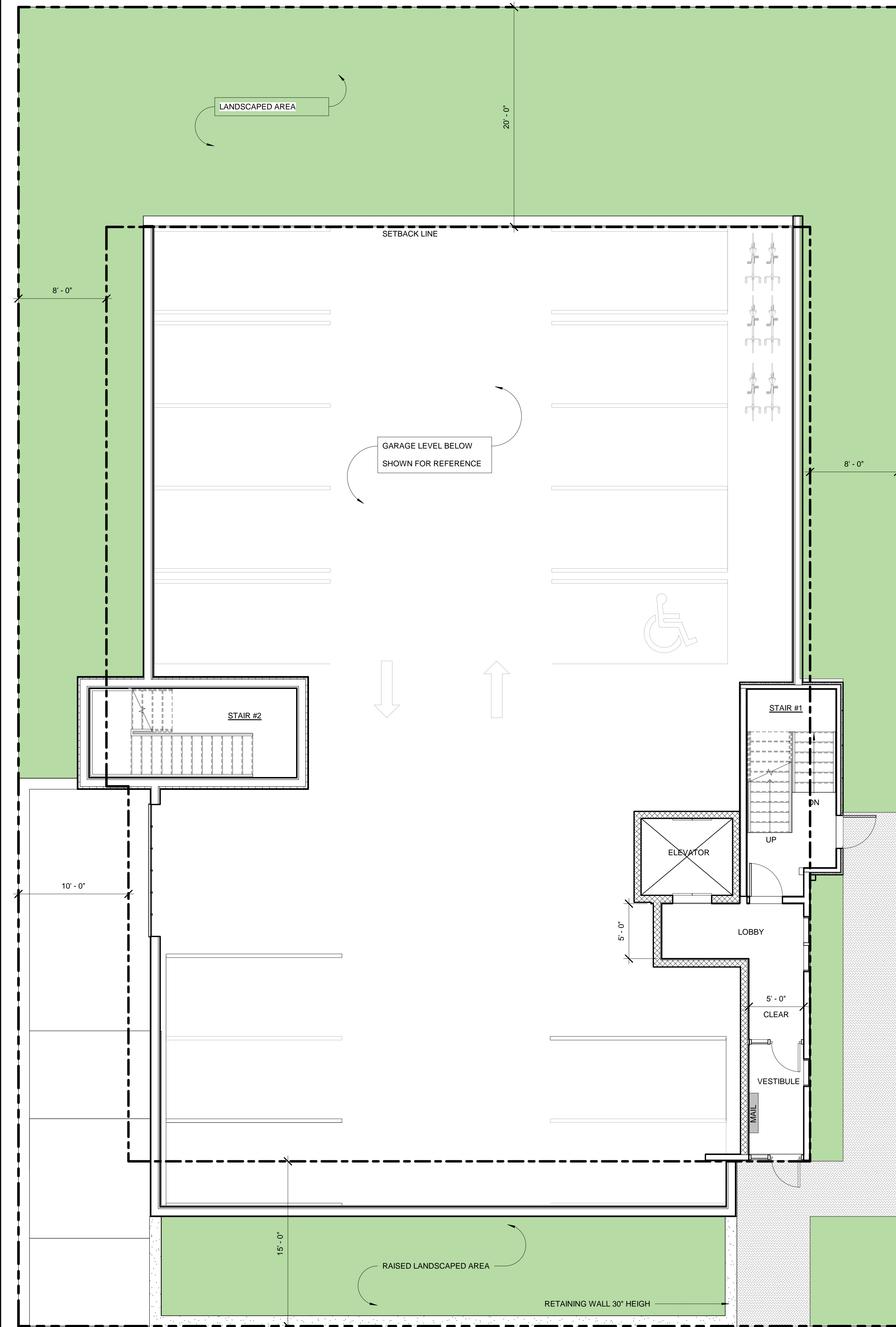


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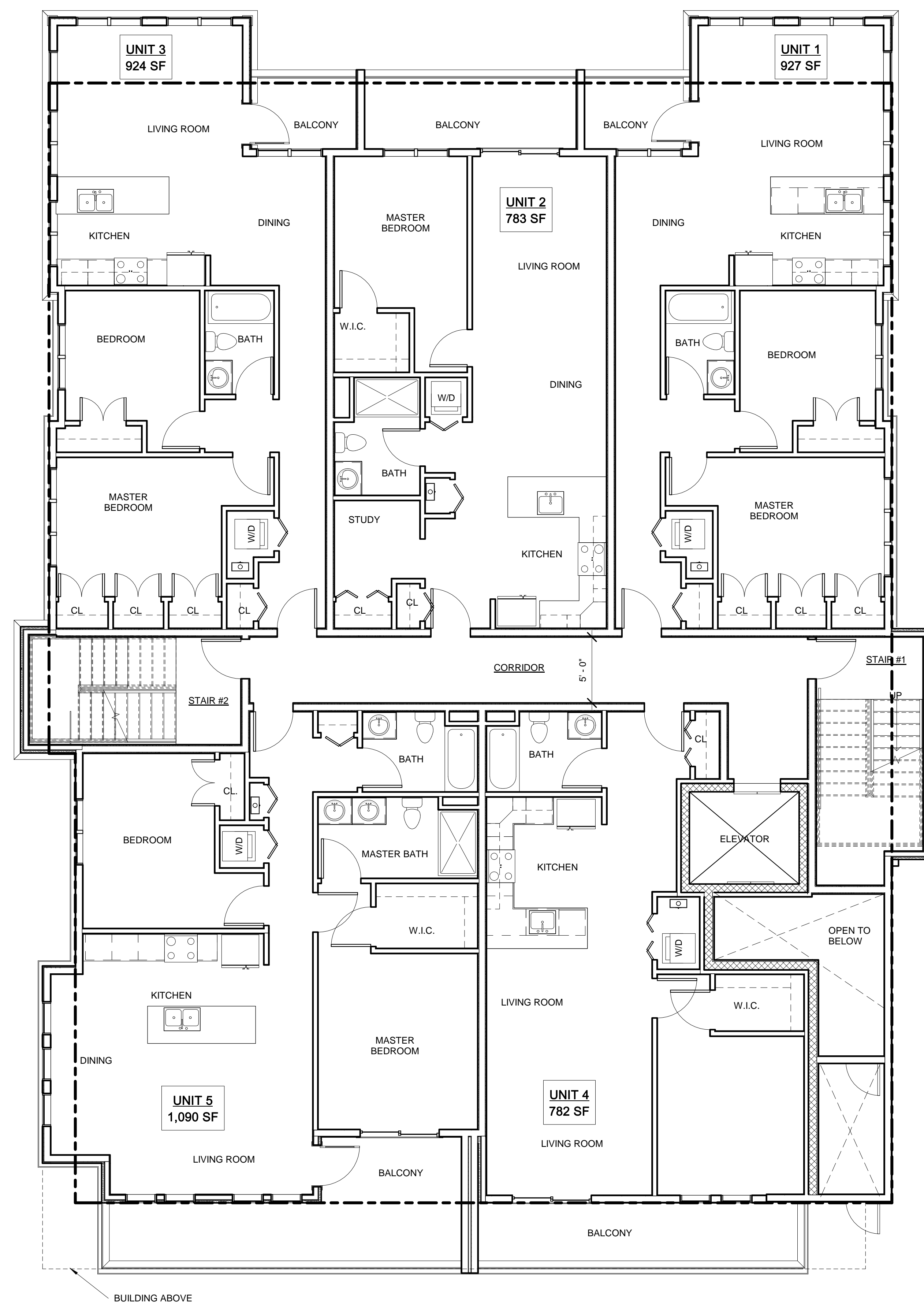
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Garage Floor  
Plan

**A-101**  
PROSPECT ST RESIDENCES



③ 0-Grade  
3/16" = 1'-0"



① 1-First Floor  
3/16" = 1'-0"

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**PROSPECT ST RESIDENCES**

**PROJECT ADDRESS**  
109 Prospect St,  
Somerville, MA

**CLIENT**  
**109 Prospect St LLC**

**ARCHITECT**  
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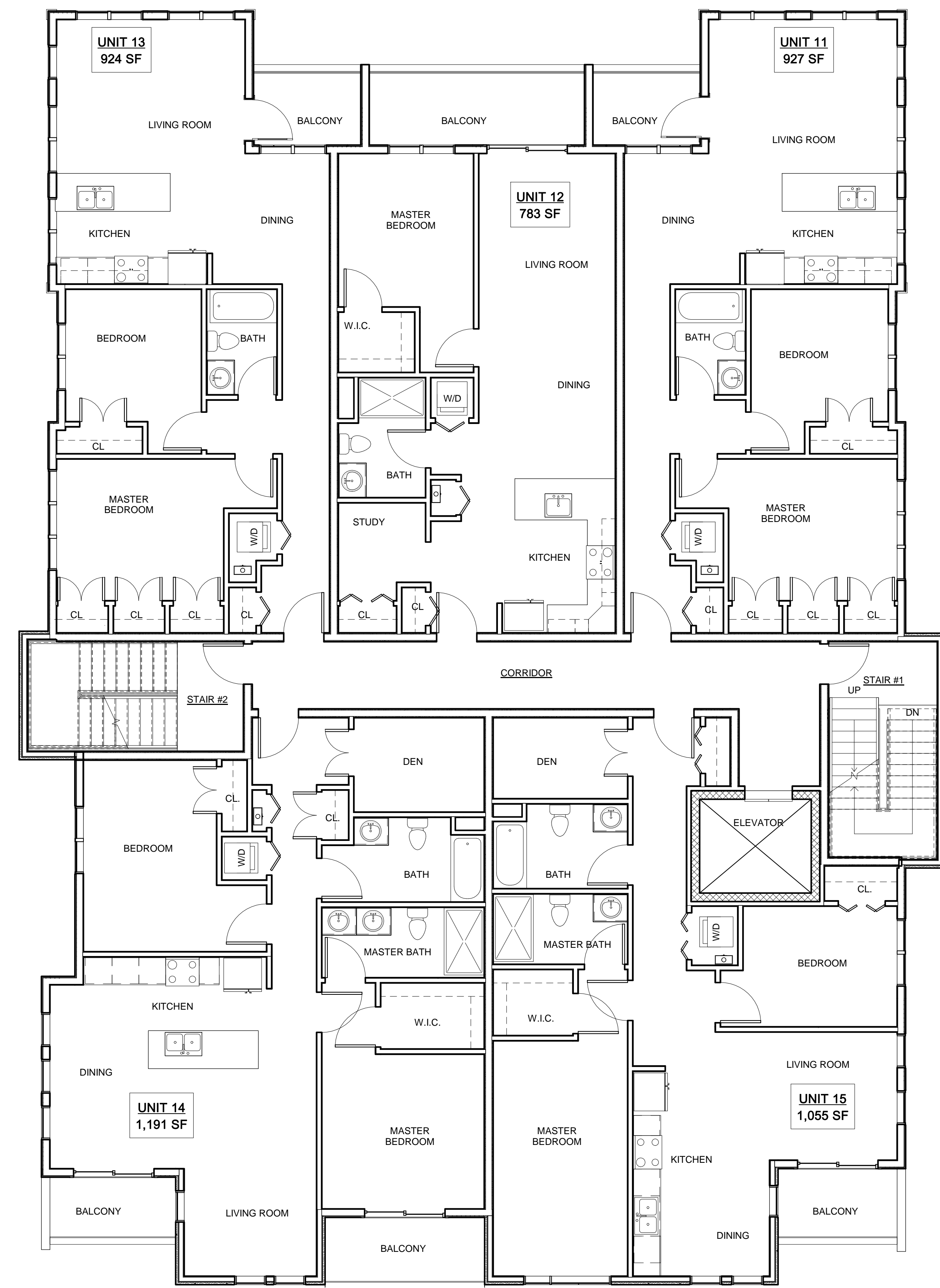
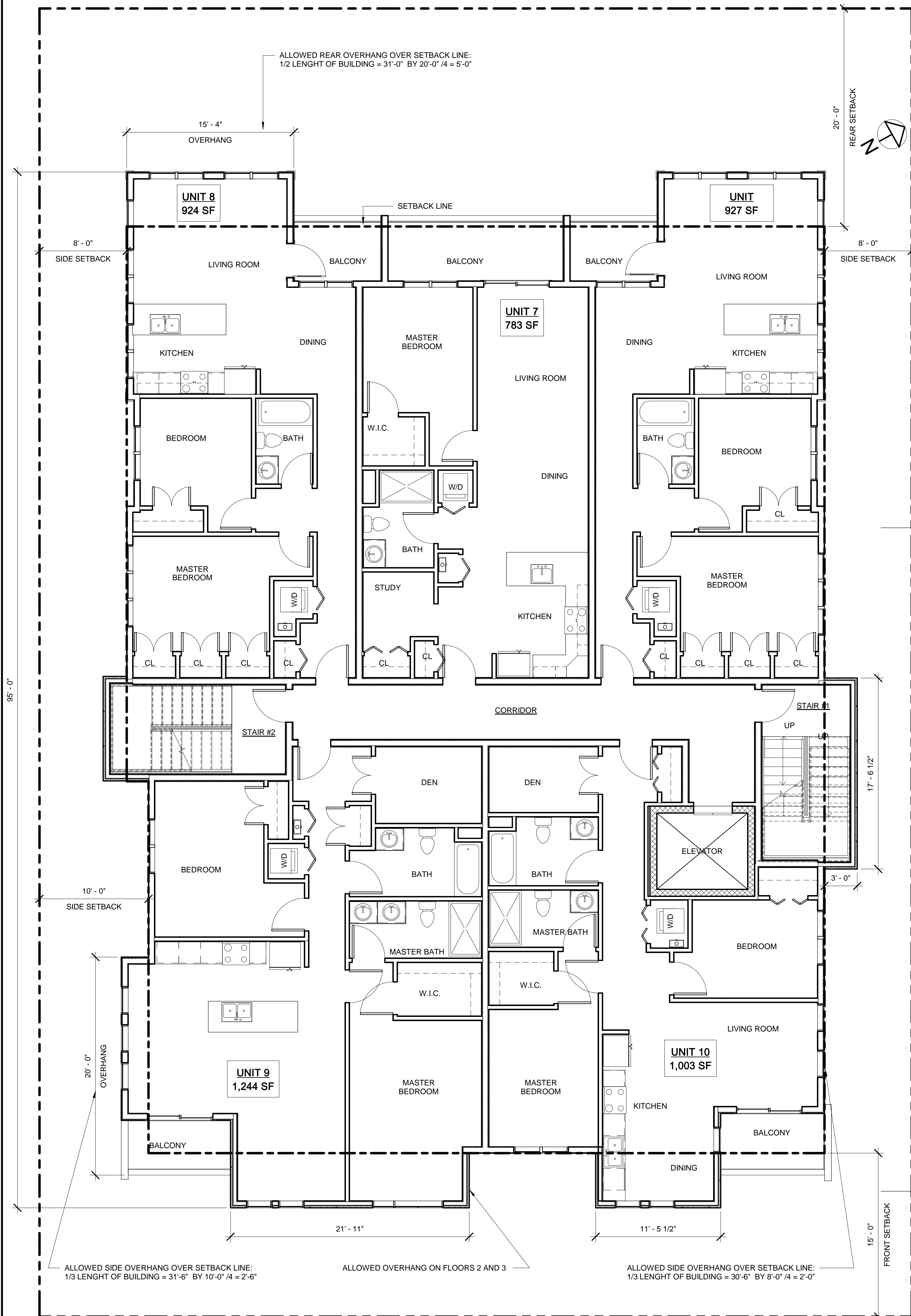
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**Ground & 1st Floor Plans**

**A-102**  
PROSPECT ST RESIDENCES

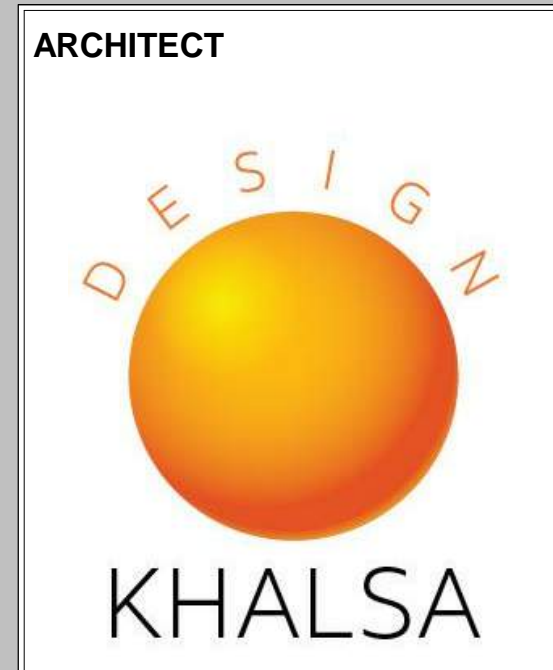
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2nd & 3rd Floor  
Plans

**A-103**  
PROSPECT ST RESIDENCES

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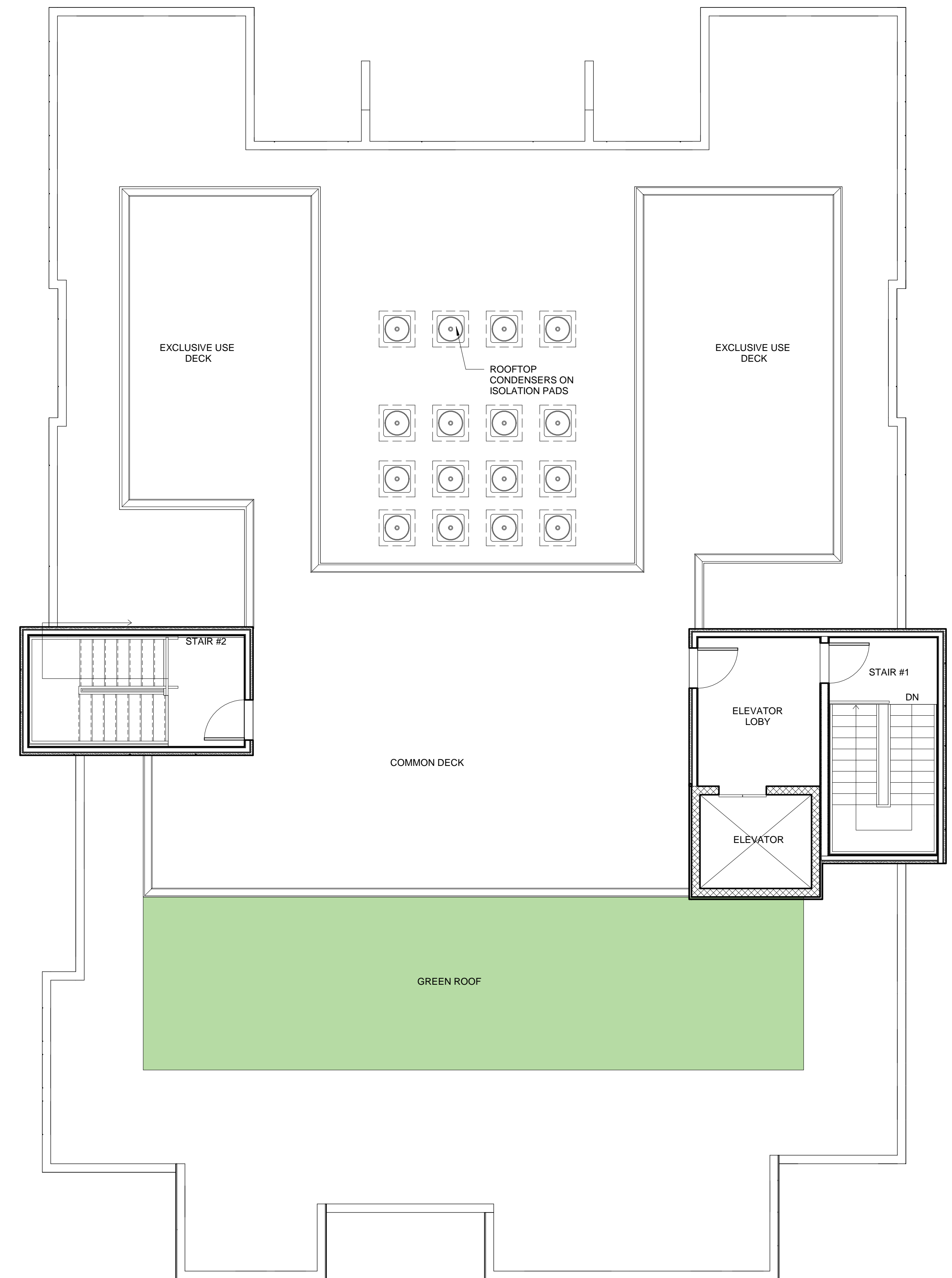
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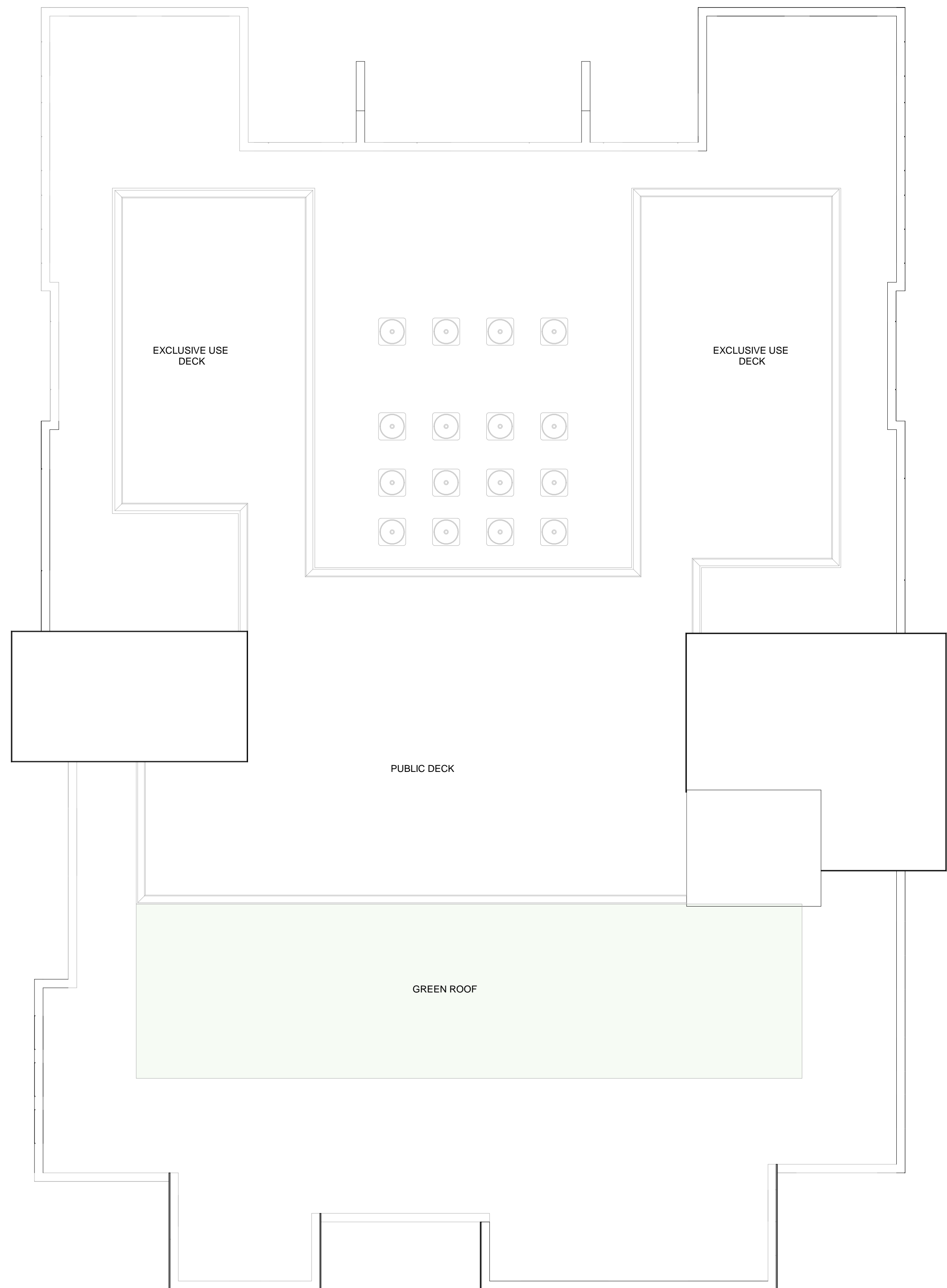
Roof Plans

**A-104**

PROSPECT ST RESIDENCES



① Roof Plan  
3/16" = 1'-0"



② Roof  
3/16" = 1'-0"

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① Street View 1



② Street View 2



④ Aerial View



③ Rear Yard View

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**PROSPECT ST RESIDENCES**

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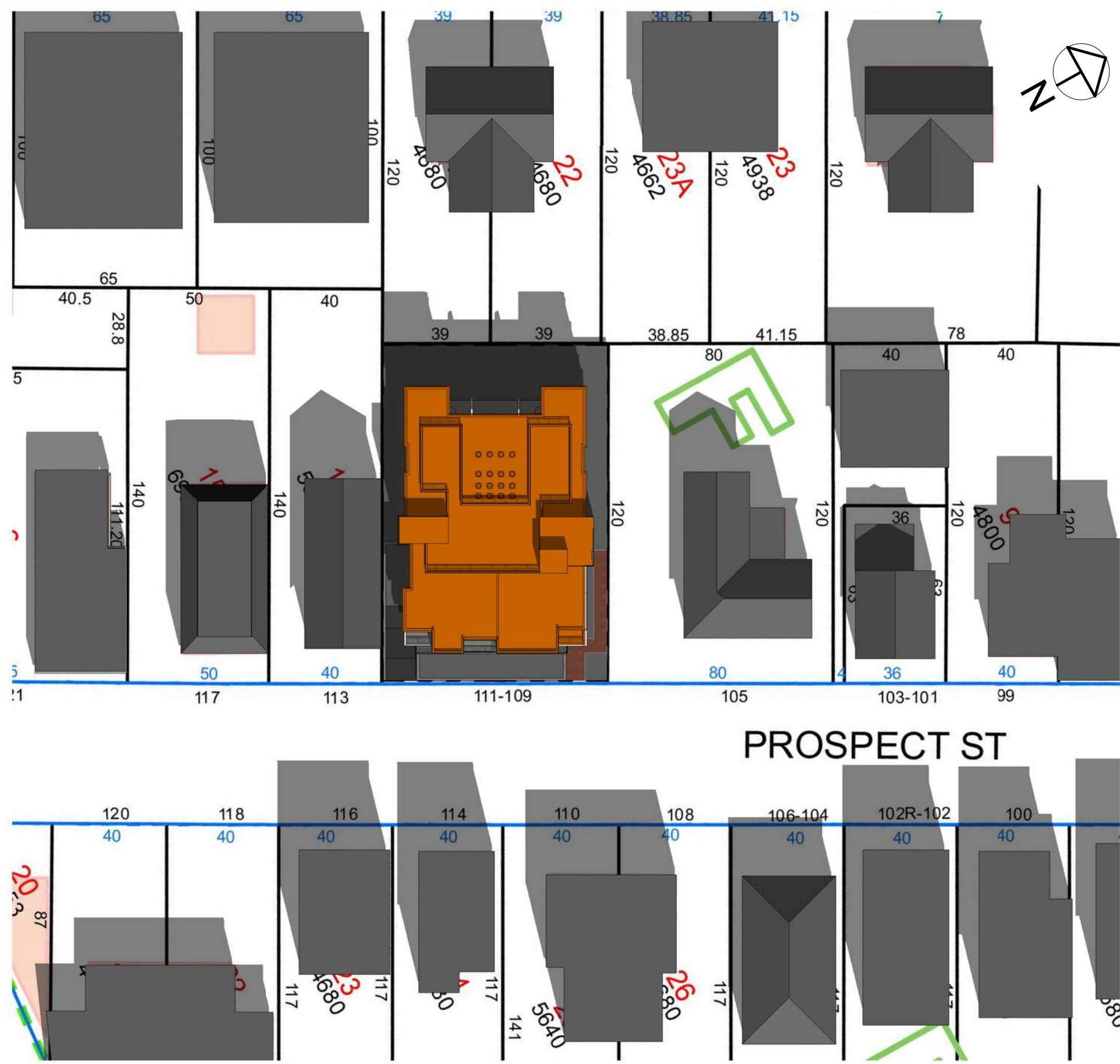
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3-D Perspectives

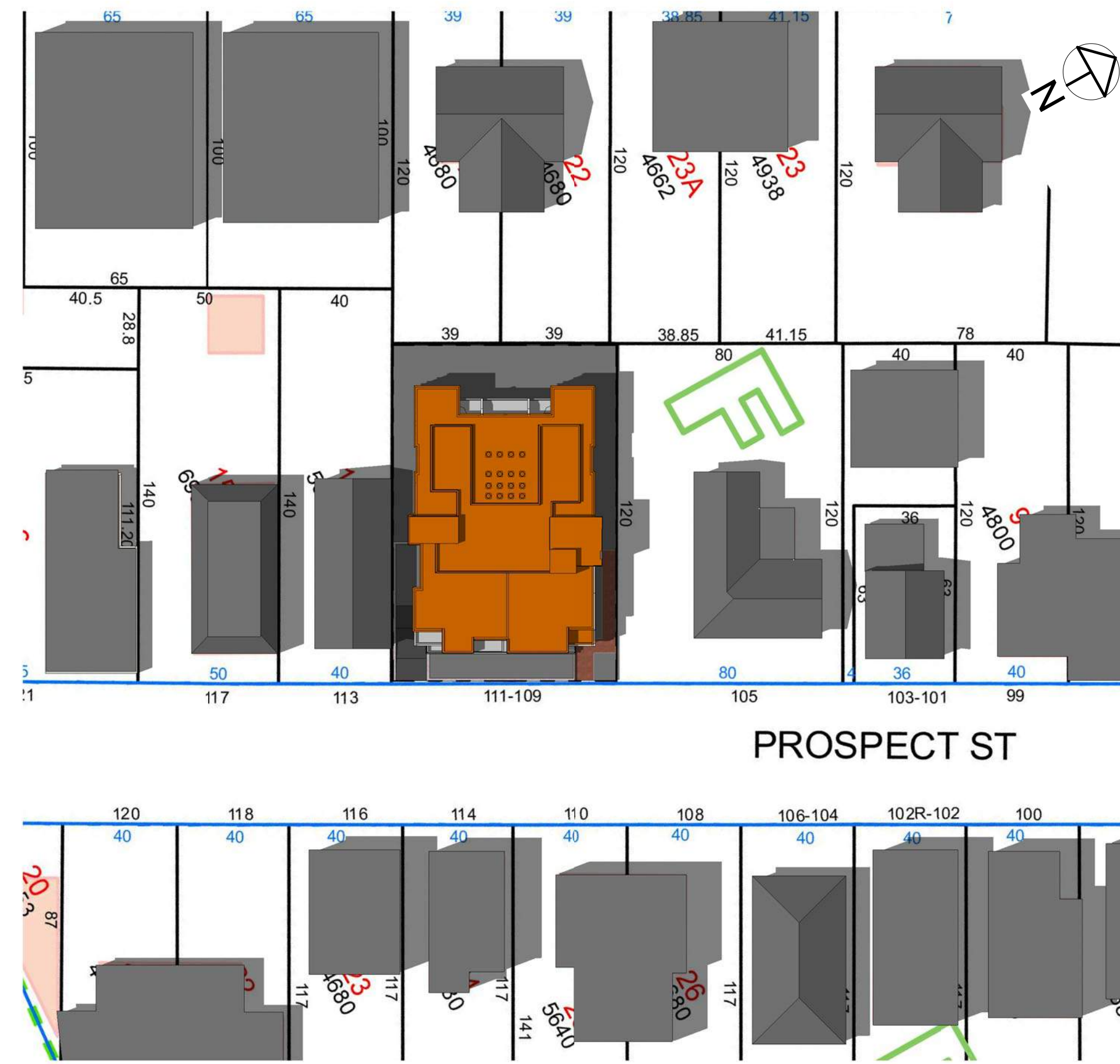
**AV-1**  
PROSPECT ST RESIDENCES

# SUMMER SOLSTICE

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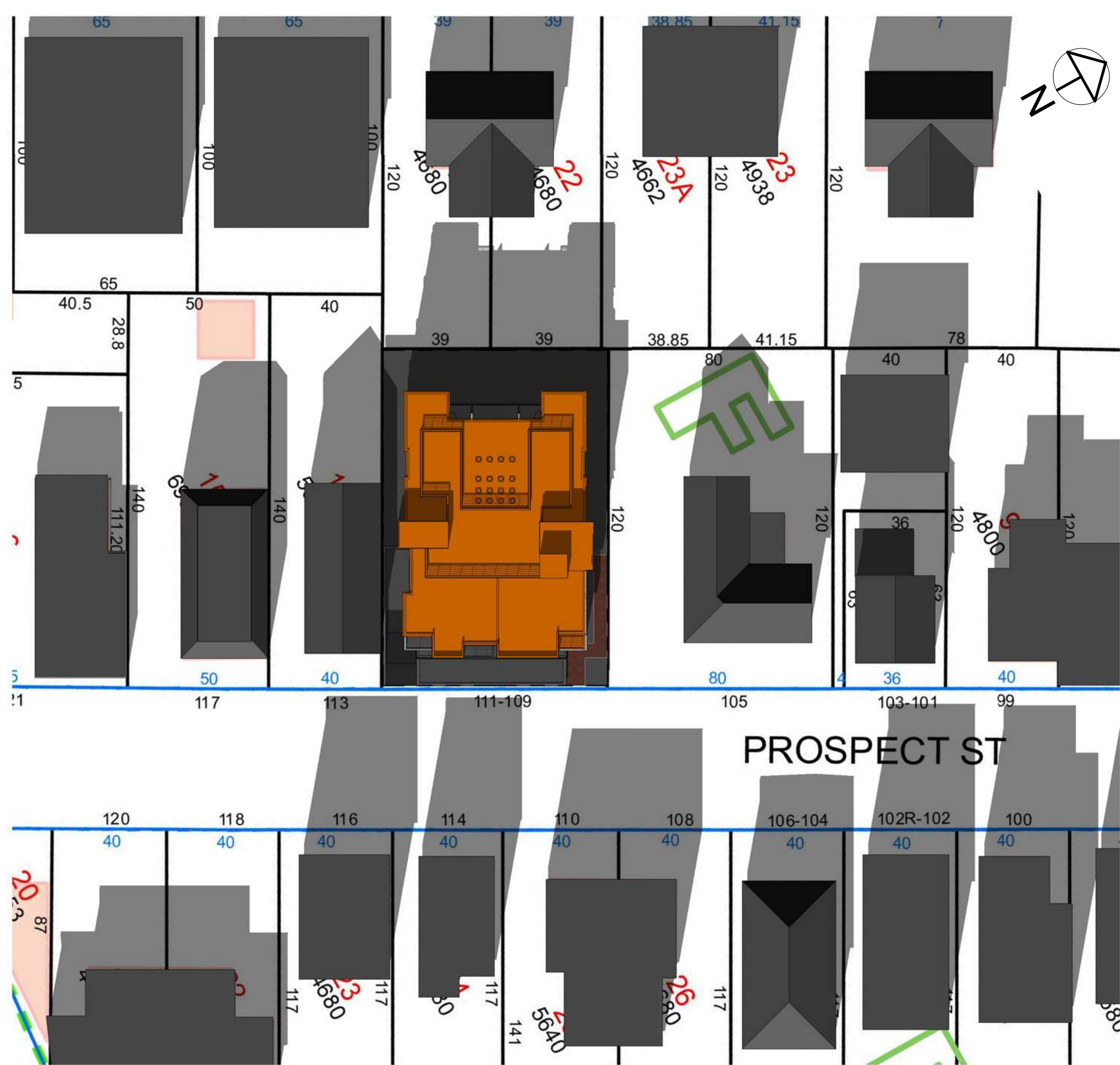


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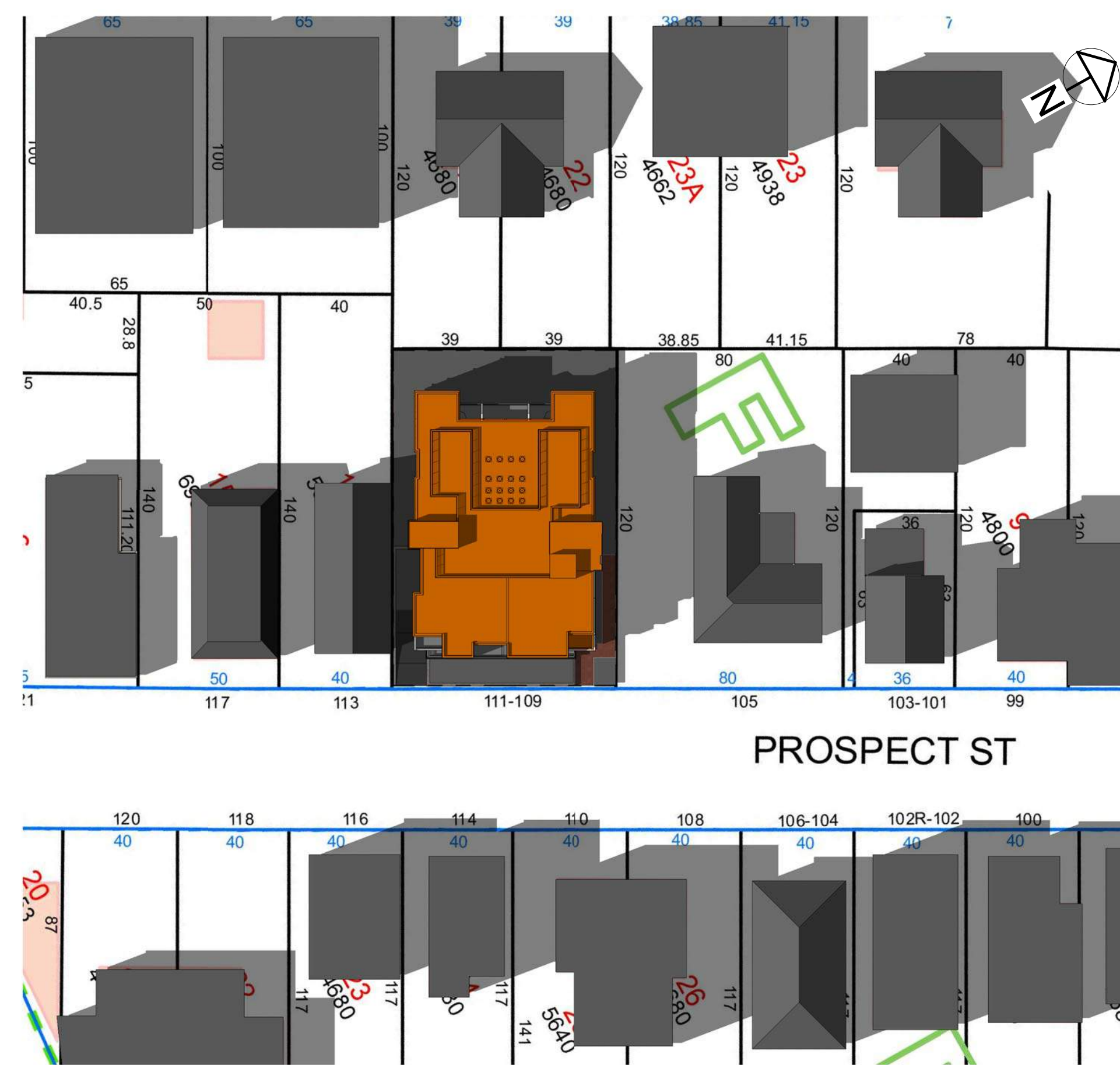


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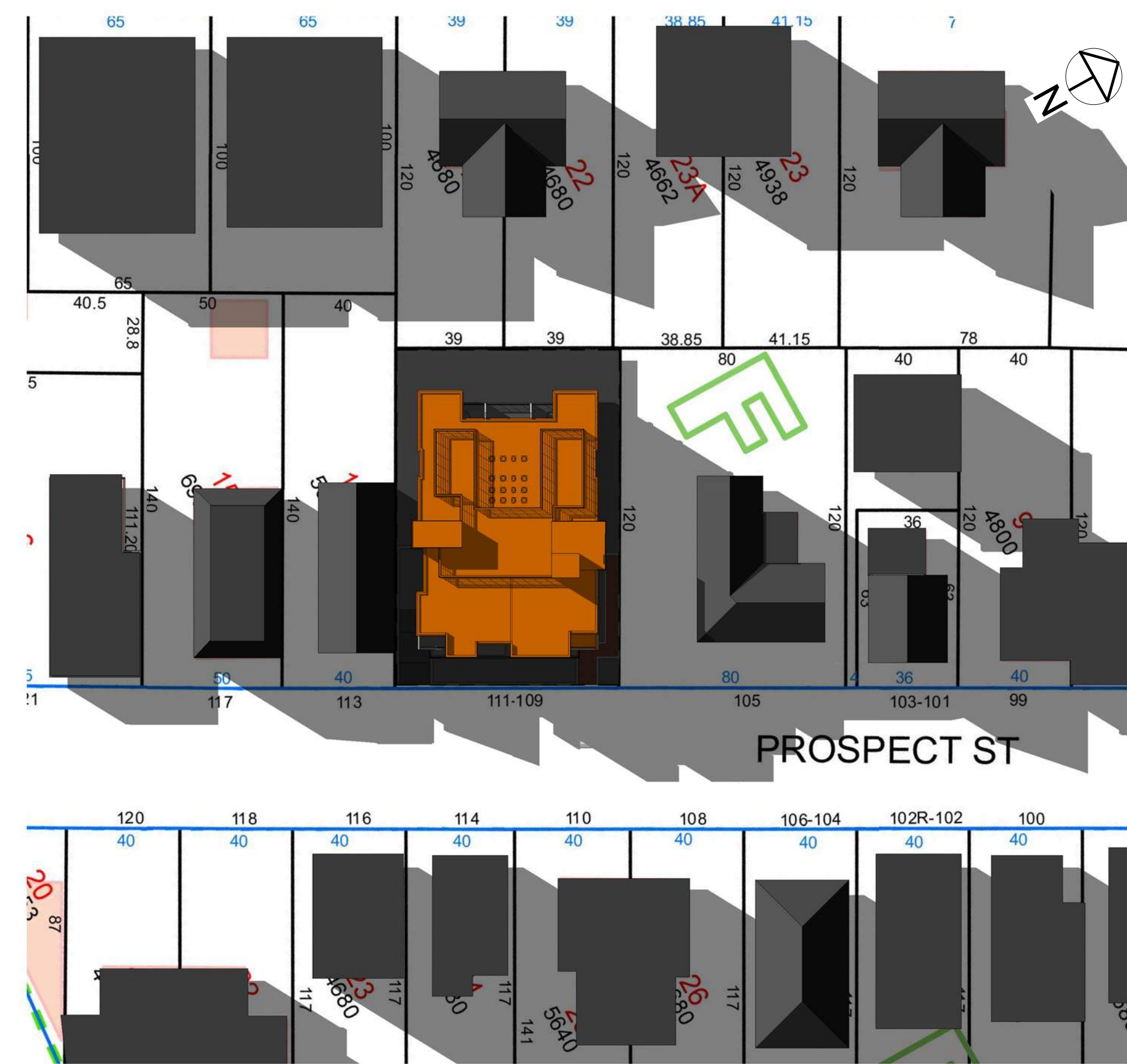
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Shadow Study  
Summer/Fall

**AV-2**  
PROSPECT ST RESIDENCES





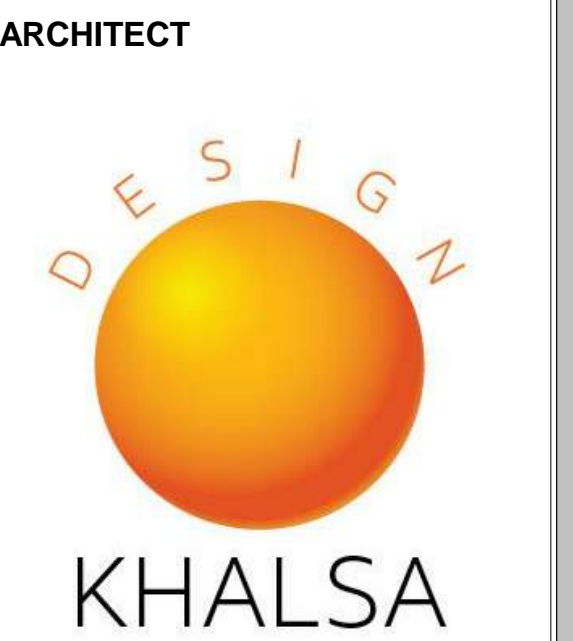


**STREET-VIEW RENDERING**

PROJECT NAME  
**PROSPECT ST  
 RESIDENCES**

PROJECT ADDRESS  
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 Somerville, MA

CLIENT  
**109 Prospect St LLC**



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Rendering

**R-1**

PROSPECT ST RESIDENCES

