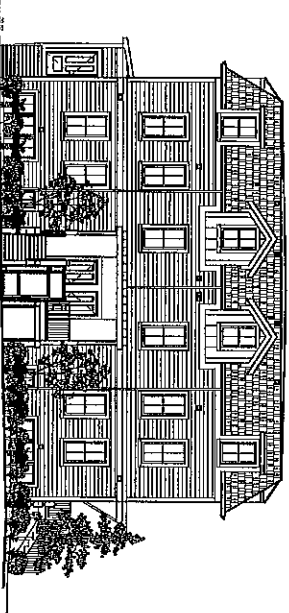


APPLICATION FOR REVISION TO AN APPROVED
 SPECIAL PERMIT #ZBA 2016-140 GRANTED JAN 18, 2017
 REVISED WITH DIMINIMIS APPROVAL OCT 17, 2017

DEVELOPMENT OF 10-RESIDENTIAL UNITS
 20-24 RUSH ST, SOMERVILLE, MA 02145



LIST OF DRAWINGS	DIMINIMIS 17 OCT 2017	ZBA APPL REV 13 MAY 2019
GENERAL		
T1-1 TITLE SHEET	X	X
02-0 EXISTING PLOT PLAN OF LAND	X	X
Z-1 ZONING COMPLIANCE, APPROVED	X	X
Z-2 ZONING COMPLIANCE PROPOSED	X	X
Z-3 ZONING COMPLIANCE AREAS, APPROVED	X	X
Z-4 ZONING COMPLIANCE AREA, PROPOSED	X	X

ARCHITECTURAL		
A-1 EASEMENT PLAN, APPROVED		X
A-2 BASEMENT PLAN, PROPOSED	X	X
A-3 FIRST FLOOR PLAN, APPROVED		X
A-4 FIRST FLOOR PLAN, PROPOSED	X	X
A-5 RUSH ST ELEVATION	X	X
A-6 BROOK ST ELEVATION	X	X
A-7 REAR ELEVATION	X	X
A-8 LEFT SIDE ELEVATION	X	X
A-9 BUILDING SECTION	X	X

SUMMARY:
 CHANGES ARE NOTED BY
 CLOUD AND TEXT NOTES
 *APPROVED DRAWINGS
 SHOWN ARE THOSE
 APPROVED BY DIMINIMIS APP.
 DATED 17 OCT 2017

PREPARED BY:

ARCHITECT
 PETER QUINN
 ARCHITECTS LLC
 259 ELM ST., STE 301
 SOMERVILLE, MA 02144
 PH (617) 354 3989

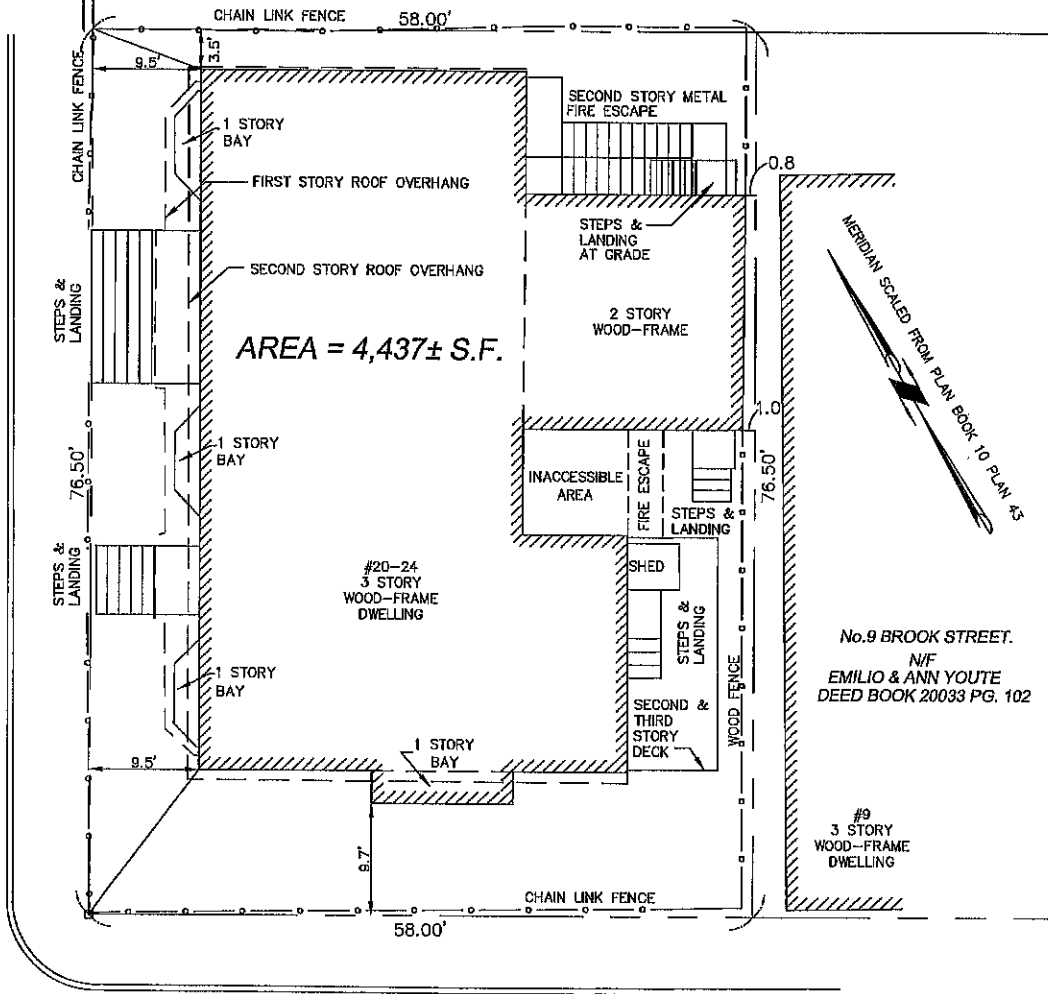
SURVEYOR
 SUMMIT SURVEYING, INC.
 4 SOUTH POND ST
 NEWBURYPORT, MA 01950
 PH (978) 682 7109

LOCUS PLAN

PETER QUINN ARCHITECTS ARCHITECTS 259 ELM STREET, SUITE 301 SOMERVILLE, MA 02144 PH 617.354.3989	PROJECT 20-24 RUSH STREET SOMERVILLE, MA 02145 PREPARED BY PETER QUINN
	SHEET T1.1
SCALE/NOTE REVISION DATE	DIMINIMIS 17 OCT 2017 ZBA REV 13 MAY 2019 DRAWN BY PETER QUINN CHECKED BY PETER QUINN

No. 18 RUSH STREET
 N/F
 WILLIAM TOBIN
 CERTIFICATE 183303

RUSH STREET
 (PUBLIC - 40' WIDE)



AREA = 4,437± S.F.

BROOK STREET
 (PUBLIC - 40' WIDE)

RECORD OWNER:

FIRST RUSH STREET CORP.
 20-24 RUSH STREET
 SOMERVILLE, MA

REFERENCES:

DEED BOOK 27678 PAGE 112
 PLAN IN BOOK 10 PLAN 43

NOTES:

- 1.) THIS PLAN WAS PREPARED TO SHOW EXISTING DWELLING RELATIVE TO PROPERTY LINES.
- 2.) THE PLAN WAS PREPARED BY PERFORMING AN INSTRUMENT SURVEY IN JUNE OF 2016.
- 3.) SUBSURFACE AND ABOVE GROUND UTILITIES WERE NOT INCLUDED AS PART OF THIS SURVEY, THEY WERE NOT RESEARCHED NOR SHOWN HEREON.
- 4.) NO TITLE EXAMINATION PROVIDED, THEREFORE OTHER EASEMENTS NOT SHOWN HEREON COULD EXIST.
- 5.) OVERHEAD WIRES NOT SHOWN HEREON.

PLOT PLAN

OF LAND IN

SOMERVILLE, MASSACHUSETTS

AT 20-24 RUSH STREET

PREPARED FOR

KIERAN BRENNAN

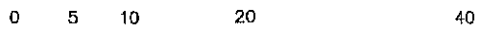
BY

SUMMIT SURVEYING, INC.

4 SOUTH POND STREET, NEWBURYPORT, MA 01960

TEL. 978-692-7109

CBRENNAN@SUMMITSURVBYING.COM



6-24-16

1" = 10 FT.

16-0139

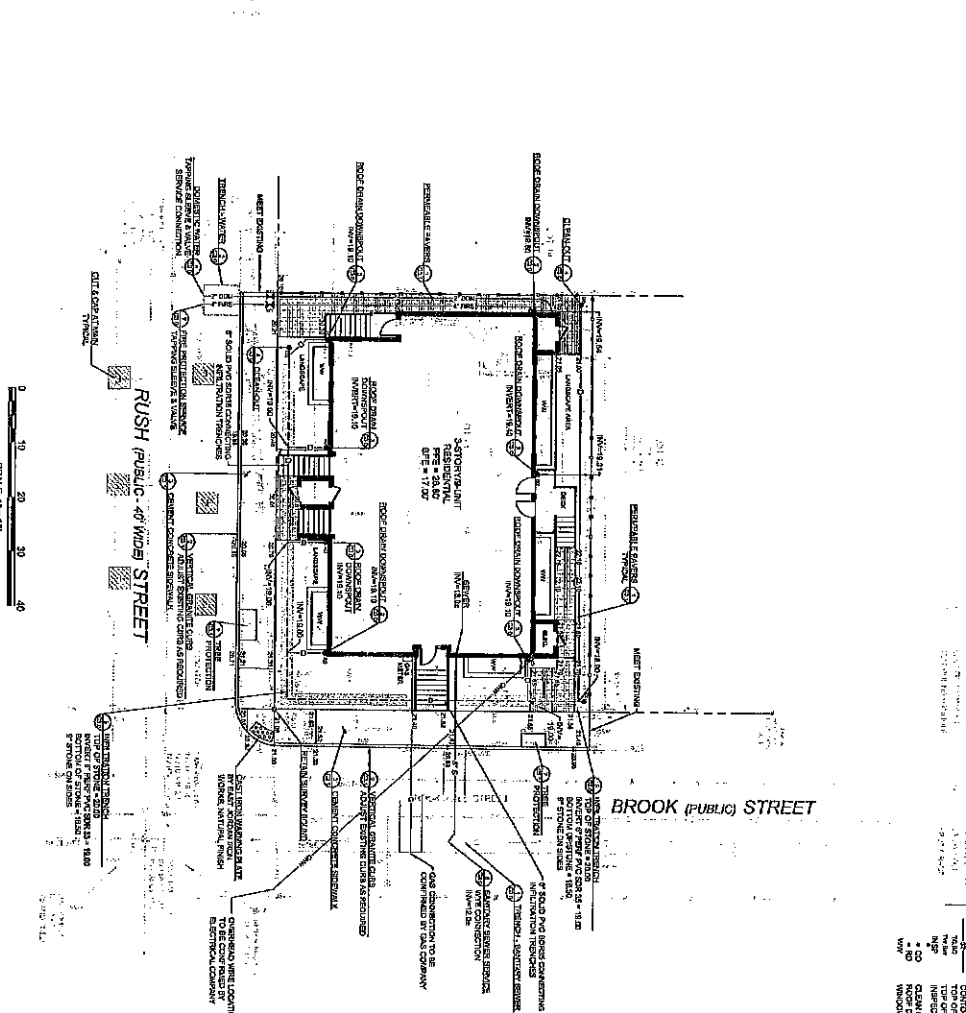
ALL WORK PERFORMED AS PART OF THE PROJECT SHALL CONFORM TO THE STANDARDS OF THE CITY OF SPOKANE. THE CITY ENGINEER SHALL REVIEW AND APPROVE ALL CONSTRUCTION AND INSTALLATION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SPOKANE. THE CITY ENGINEER SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT.

UTILITY CONNECTIONS

1. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF SPOKANE.
2. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL NEW UTILITIES.
3. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SPOKANE STANDARDS AND SHALL BE INSTALLED AT THE CONTRACTOR'S EXPENSE.
4. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SPOKANE STANDARDS AND SHALL BE INSTALLED AT THE CONTRACTOR'S EXPENSE.
5. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SPOKANE STANDARDS AND SHALL BE INSTALLED AT THE CONTRACTOR'S EXPENSE.
6. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SPOKANE STANDARDS AND SHALL BE INSTALLED AT THE CONTRACTOR'S EXPENSE.
7. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SPOKANE STANDARDS AND SHALL BE INSTALLED AT THE CONTRACTOR'S EXPENSE.
8. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SPOKANE STANDARDS AND SHALL BE INSTALLED AT THE CONTRACTOR'S EXPENSE.
9. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SPOKANE STANDARDS AND SHALL BE INSTALLED AT THE CONTRACTOR'S EXPENSE.
10. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SPOKANE STANDARDS AND SHALL BE INSTALLED AT THE CONTRACTOR'S EXPENSE.
11. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SPOKANE STANDARDS AND SHALL BE INSTALLED AT THE CONTRACTOR'S EXPENSE.
12. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SPOKANE STANDARDS AND SHALL BE INSTALLED AT THE CONTRACTOR'S EXPENSE.
13. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SPOKANE STANDARDS AND SHALL BE INSTALLED AT THE CONTRACTOR'S EXPENSE.
14. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SPOKANE STANDARDS AND SHALL BE INSTALLED AT THE CONTRACTOR'S EXPENSE.
15. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SPOKANE STANDARDS AND SHALL BE INSTALLED AT THE CONTRACTOR'S EXPENSE.
16. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SPOKANE STANDARDS AND SHALL BE INSTALLED AT THE CONTRACTOR'S EXPENSE.
17. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SPOKANE STANDARDS AND SHALL BE INSTALLED AT THE CONTRACTOR'S EXPENSE.

LEGEND

ADJUSTED FINISH	(Symbol)
EXISTING FINISH	(Symbol)
PROPOSED FINISH	(Symbol)
CONCRETE	(Symbol)
MASONRY	(Symbol)
WOOD	(Symbol)
GLASS	(Symbol)
METAL	(Symbol)
MECHANICAL	(Symbol)
ELECTRICAL	(Symbol)
PLUMBING	(Symbol)
STRUCTURE	(Symbol)
FOUNDATION	(Symbol)
LANDSCAPE	(Symbol)
PAVING	(Symbol)
ROOFING	(Symbol)
CLADDING	(Symbol)
FINISH	(Symbol)



PETER QUINN ARCHITECTS
 ARCHITECTURE
 COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
 1010 W. MAIN ST. SUITE 100
 SPOKANE, WA 83402
 PH: (509) 325-3333

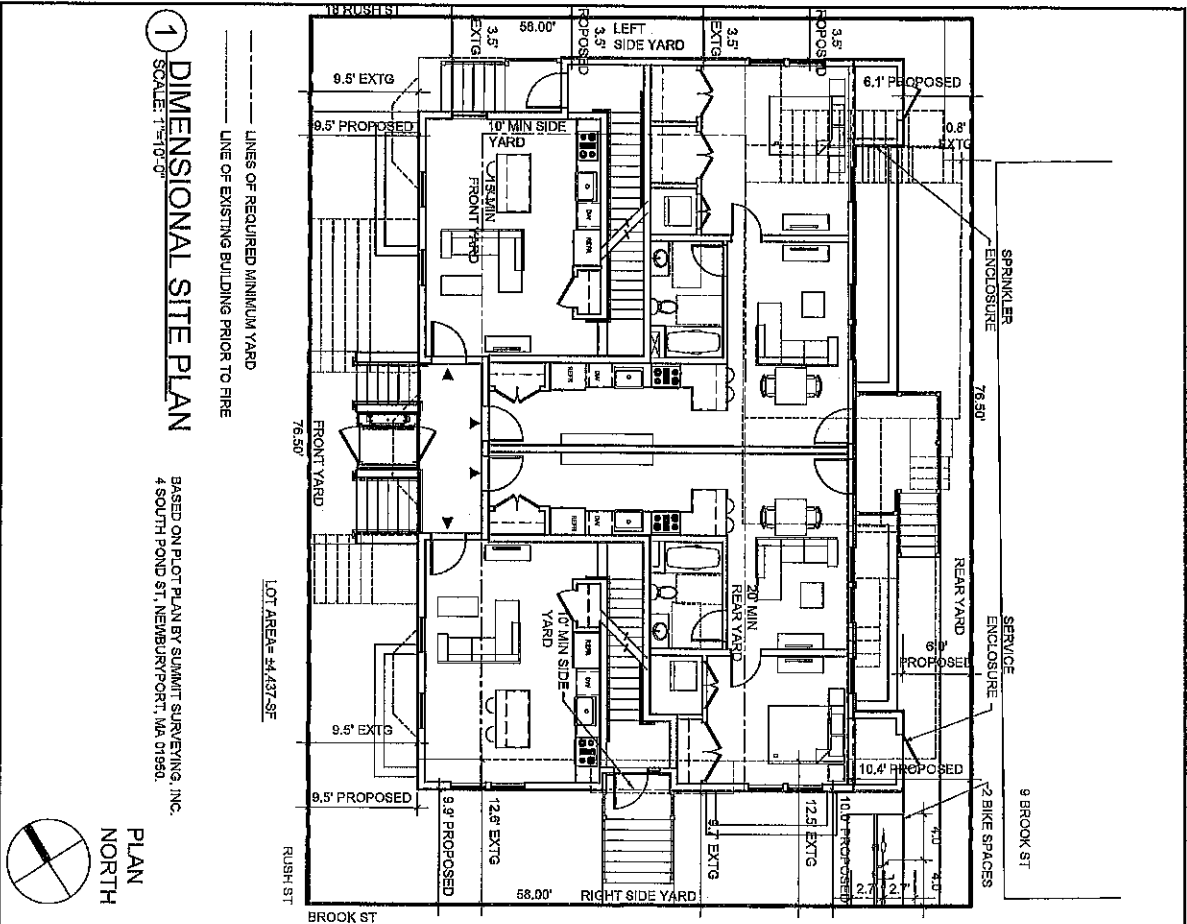
DCI
 Design Consultants Inc.
 1010 W. MAIN ST. SUITE 100
 SPOKANE, WA 83402
 PH: (509) 325-3333

PROPOSED SITE PLAN

20-24 RUSH ST
 SPOKANE, WA 83402

DATE	12-17-18
PROJECT	20-24 RUSH ST
CONTRACT	SPOKANE, WA 83402
PREPARED BY	DCI
DESIGNED BY	PQ
DRY COMMENTS	10 SEPT 2018
BUILDING PERMIT	15 AUG 2018
CONTRACT	ISSUED 27

C2.0



1 DIMENSIONAL SITE PLAN
SCALE: 1"=10'-0"

BASED ON PLOT PLAN BY SUMMIT SURVEYING, INC.
4 SOUTH POND ST, NEWBURYPORT, MA 01960.



RUSH 20 - DIMENSIONAL TABLE - RB ZONING DISTRICT

ITEM	ALLOWED/REQUIRED	EXISTING PRIOR TO FIRE	PROPOSED	COMPLIANCE
MIN LOT SIZE (SF)	7,500	± 4,437	NO CHANGE	ETS NON CONFORMITY, NO CHANGE
MIN LOT AREA / UNIT (1-10 UNITS) (SF)	1,800	493	443	REQUIRES RELIEF
MAX GROUND COVERAGE (%)	50	± 85	± 81	NON CONFORMITY IMPROVED
MIN LANDSCAPED AREA (% OF LOT)	25	± 33	± 38	COMPLIES
PERVIOUS AREA (% OF LOT)	35	± 33	± 38	COMPLIES
FLOOR AREA RATIO (FAR)	1.0	1.28	1.84	COMPLIES
NET FLOOR AREA (NSF)	± 4,437	± 5,898	± 8,183	COMPLIES
MAX HEIGHT (FT) (STORIES)	40 / 3	± 34 / 3	± 33 / 3	COMPLIES
MIN FRONT YARD (FT) RUSH ST	15	9.5	9.5	ETS NON CONFORMITY, NO CHANGE
MIN SIDE YARD - LEFT (FT)	10	3.5	3.5	ETS NON CONFORMITY, NO CHANGE
MIN SIDE YARD - RIGHT (FT)	10	9.7	10.0	COMPLIES
MIN REAR YARD (FT)	20	0.8	6.0	NON CONFORMITY IMPROVED
MIN FRONTAGE (FT)	50	56	NO CHANGE	COMPLIES
MIN NO. OF PARKING SPACES	16**	0	NO CHANGE	REQUIRES RELIEF
MIN NO. BIKE PARKING SPACES	2***	0	2	COMPLIES

ALL DIMENSIONS ARE APPROXIMATE & PENDING PLOT PLAN VERIFICATION. SEE DIMENSIONAL SITE PLAN.

**NUMBER OF REQUIRED PARKING SPACE PER \$9.5
 (1) 1,082 RES UNITS AT 1.5 PER UNIT = 1623 = 15
 (2) 2,881 UNITS AT 2 PER UNIT = 5762 = 0
 VISITOR SPACE AT 1 PER 8 UNITS (MIN 8 UNITS) = 1
 15 RES SPACES REQUIRED

***NUMBER OF REQUIRED BICYCLE PARKING SPACES PER \$9.5, 1 A.B.
 (1) FIRST UNITS AT 1 BIKE SPACE PER FIRST 7 UNITS = 1X1 = 1
 (2) FOR EVERY 3 UNITS OVER FIRST 7 UNITS = 1X1 = 1
 2 RES BIKE SPACES REQUIRED

PETER QUINN ARCHITECTS
 ARCHITECTURE
 PLANNING
 COMMUNITY DESIGN
 500 ELM STREET, SUITE 201
 NEWBURYPORT, MA 01960
 P: 978.251.1111
 WWW.PETERQUINNARCHITECTS.COM

SCALE: 1"=10'-0"
 SHEET NO. 01
 DATE: 13 MAY 2016
 DRAWN BY: ZBA, REV
 CHECKED BY: ZBA, REV
 APPROVED BY: ZBA, REV

20-24 RUSH STREET
 PROJECT NO. 2016-001

ZONING COMPLIANCE
 APPROVED

REVISION DATE
 13 MAY 2016
 17 OCT 2017
 01

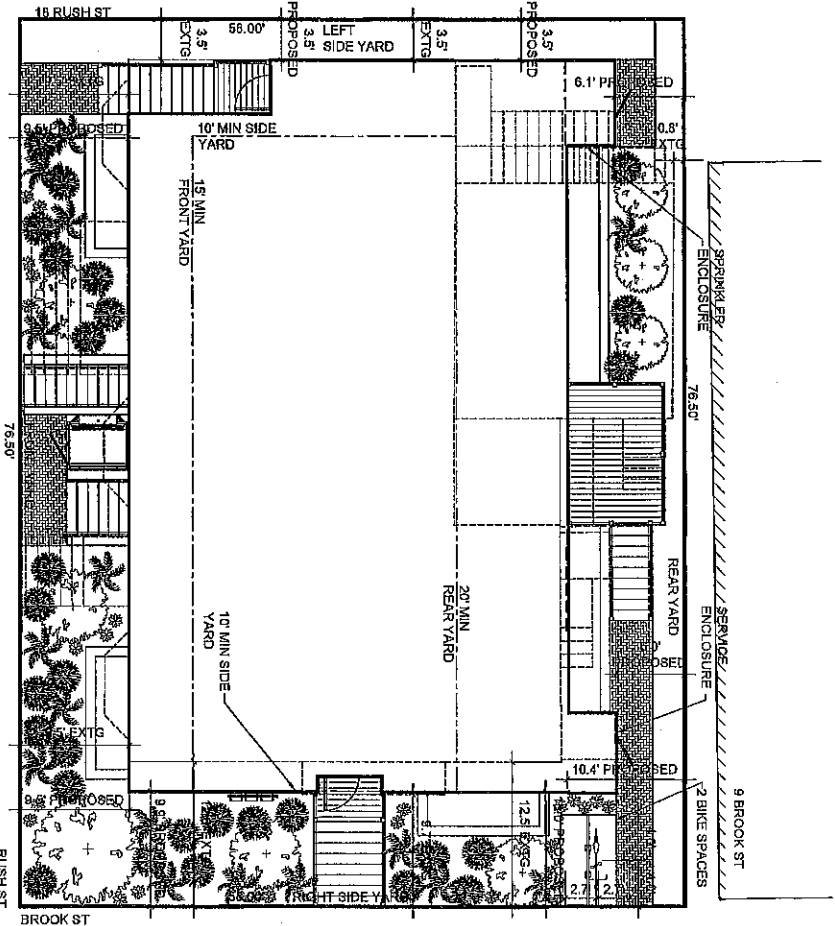
Z-1

RUSH 20 - DIMENSIONAL TABLE - RB ZONING DISTRICT

ITEM	ALLOWED/ REQUIRED	EXISTING Prior to Fire	PROPOSED	COMPLIANCE
MIN LOT SIZE (SF)	7,500	± 4,437	NO CHANGE	ETS NON CONFORMITY, NO CHANGE
MIN LOT AREA / UNIT 1-10 UNITS (SF)	1,500	493	443	ALLOWED PER ZBA 2016-140
MAX GROUND COVERAGE (%)	50	± 95	± 51	NON CONFORMITY, APPROVED
MIN LANDSCAPED AREA (% OF LOT)	25	± 33	± 36 - ± 36	COMPLIES
PERVIOUS AREA (% OF LOT)	36	± 33	± 36 - ± 37	COMPLIES
FLOOR AREA RATIO (FAR)	1.0	1.28	1.24	COMPLIES
NET FLOOR AREA (NSF)	± 4,437	± 5,698	± 163 - ± 1,161	COMPLIES
MAX HEIGHT (FT/ STORIES)	40 / 3	± 34 / 3	± 39 - ± 34 / 3	COMPLIES
MIN FRONT YARD (FT) RUSH ST	15	9.5	9.5	ETS NON CONFORMITY, NO CHANGE
MIN SIDE YARD - LEFT (FT)	10	3.5	3.5	ETS NON CONFORMITY, NO CHANGE
MIN SIDE YARD - RIGHT (FT)	10	9.7	10.0	COMPLIES
MIN REAR YARD (FT)	20	0.8	6.0	NON CONFORMITY, APPROVED
MIN FRONTAGE (FT)	80	58	NO CHANGE	COMPLIES
MIN NO. OF PARKING SPACES	18**	0	NO CHANGE	ALLOWED PER ZBA 2016-140
MIN NO. BIKE PARKING SPACES	2***	0	2	COMPLIES

ALL DIMENSIONS ARE APPROXIMATE & PENDING PLOT PLAN VERIFICATION.
SEE DIMENSIONAL SITE PLAN.

- **NUMBER OF REQUIRED PARKING SPACE PER 89.5 RESIDENTIAL
 - (1) 10R-2R UNITS AT 1.6 PER UNIT = 10X1.6 = 16
 - (2) 3-6R UNITS AT 2 PER UNIT = 0X2 = 0
 - VISITOR SPACE AT 1 PER 8 UNITS (MIN 6 UNITS) = 1
- ***NUMBER OF REQUIRED BIKE PARKING SPACES PER 89.5 RESIDENTIAL
 - (1) FIRST 7 UNITS AT 1 BIKE SPACE PER FIRST 7 UNITS = 1X1 = 1
 - (2) FOR EVERY 3 UNITS OVER FIRST 7 UNITS = 1X1 = 1



1 DIMENSIONAL SITE PLAN

BASED ON PLOT PLAN BY SUMMIT SURVEYING, INC.
4 SOUTH POND ST, NEWBURYPORT, MA 01950.

PLAN NORTH



PETER QUINN ARCHITECTS

REGISTERED PROFESSIONAL ARCHITECT

100 BALDWIN STREET, SUITE 201
NEWBURYPORT, MA 01950
PH: 508-253-9800

PROJECT:

20-24 RUSH STREET

3034 RUSH STREET, NEWBURYPORT, MA 01950

REVISIONS:

DATE:

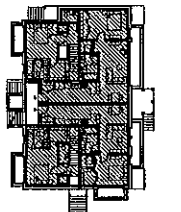
13 MAY 2016

REVISIONS:

17 OCT 2017

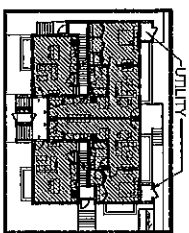
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Z-2

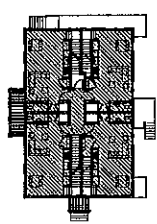


BASEMENT: 2,037-NSF

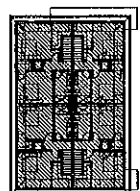
1 NET SQUARE FOOTAGE CALC
SCALE: 1"=40'-0"



1ST FLOOR: 2,257-NSF
(1) 3-1 STAIR: 170-NSF
1ST FLOOR: 2,087-NSF



2ND FLOOR: 2,235-NSF
(1) 2-2 STAIR: 317-NSF
2ND FLOOR: 1,918-NSF

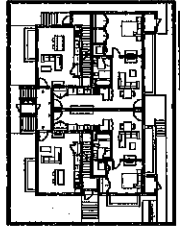


3RD FLOOR: 2,235-NSF
(1) 2-3 STAIR: 114-NSF
3RD FLOOR: 2,121-NSF

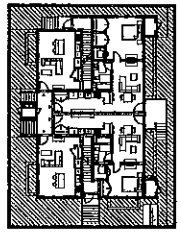
NET SQUARE FOOTAGE SUMMARY

FLOOR	PROPOSED NSF
3RD FL	2,121
2ND FL	1,918
1ST FL	2,087
BSMT	2,037
TOTAL	8,163-NSF

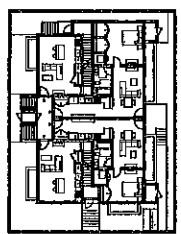
SEE Z-4 REV



PROPOSED

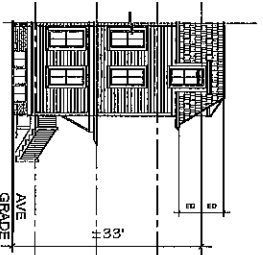


LANDSCAPE AREA - 1,898 SF = 38%
4,437 LOT SF



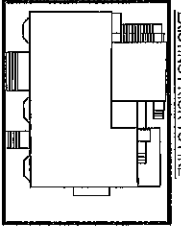
LOT COVERAGE - 2,899 SF = 65%
4,437 LOT SF

SEE Z-4 REV

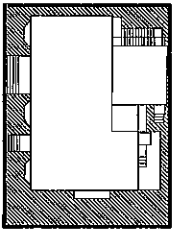


GRADE 1

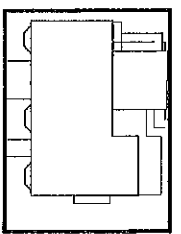
3 BUILDING HEIGHT
SCALE: 1"=20'-0"



EXISTING PRIOR TO FIRE



LANDSCAPE AREA - 1,487 SF = 33%
4,437 LOT SF



LOT COVERAGE - 2,899 SF = 65%
4,437 LOT SF

EXISTING PRIOR TO FIRE

2 SITE AREAS
SCALE: 1"=40'-0"



PLAN NORTH

Z-3

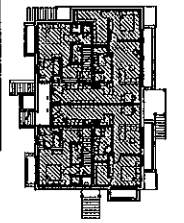
DATE	BY	REVISION
28A REV	13 MAY 2019	
DETAILED	17 OCT 2017	
REV		
DATE	BY	REVISION

ZONING COMPLIANCE APPROVED

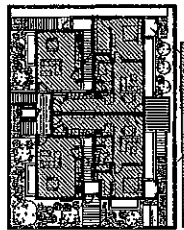
PROJECT: 20-24 RUSH STREET
34.5% MAXIMUM PERMITTED COVERABLE AREA
REVISION NO. 001



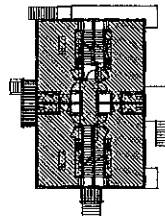
PETER QUINN ARCHITECTS
ARCHITECTURE PLANNING
COMMUNITY DESIGN
PETER QUINN ARCHITECTS LLC
208 ELVA STREET, SUITE 201
ROSELAND, VA 22064
PH: 703-781-1100



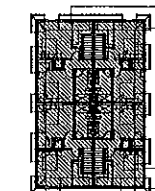
BASEMENT: 2,105-NSF
 (1) B-1 STAIR: 62-NSF
 BASEMENT: 2,043-NSF



1ST FLOOR: 2,257-NSF
 (1) B-1 STAIR: 170-NSF
 1ST FLOOR: 2,087-NSF



2ND FLOOR: 2,235-NSF
 (1) 1/2 STAIR: 317-NSF
 2ND FLOOR: 1,918-NSF



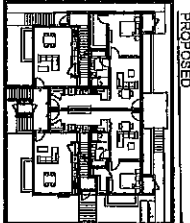
3RD FLOOR: 2,235-NSF
 (1) 2/3 STAIR: 114-NSF
 3RD FLOOR: 2,121-NSF

NET SQUARE FOOTAGE SUMMARY

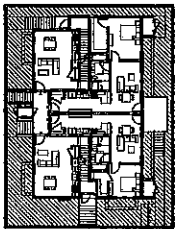
FLOOR	PROPOSED NSF
3RD FL	2,112
2ND FL	1,919
1ST FL	2,082
BASMT	2,043
TOTAL	8,156-NSF

1 NET SQUARE FOOTAGE CALC

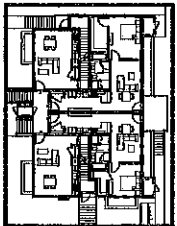
SCALE: 1"=40'-0"



LANDSCAPE AREA 1,810 SF = 35%
PERVIOUS AREA 4,437 LOT SF = 37%

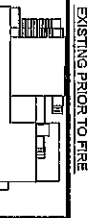


LANDSCAPE AREA 1,810 SF = 35%
PERVIOUS AREA 4,437 LOT SF = 37%

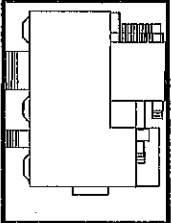


LANDSCAPE AREA 1,810 SF = 35%
PERVIOUS AREA 4,437 LOT SF = 37%

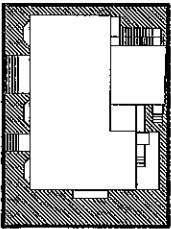
"PROPOSED"
 SF REV/
 13 MAY 2019



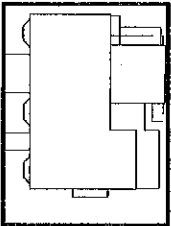
EXISTING PRIOR TO FIRE



LANDSCAPE AREA 1,487 SF = 33%
PERVIOUS AREA 4,437 LOT SF = 33%



LANDSCAPE AREA 1,487 SF = 33%
PERVIOUS AREA 4,437 LOT SF = 33%

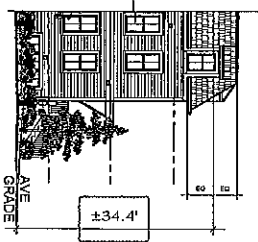


LANDSCAPE AREA 1,487 SF = 33%
PERVIOUS AREA 4,437 LOT SF = 33%

"EXISTING"
 PRIOR TO FIRE

3 BUILDING HEIGHT

SCALE: 1"=20'-0"



2 SITE AREAS

SCALE: 1"=40'-0"



PLAN
 NORTH

Z-4

PETER QUINN ARCHITECTS
 ARCHITECTURE
 PLANNING
 COMMUNITY DESIGN

PETER QUINN ARCHITECTS LTD
 208 BLAIRSTOWN RD SUITE 201
 SCARBOROUGH, ONTARIO M1H 2K4
 TEL: 416-291-1111
 WWW.PETERQUINNARCHITECTS.COM

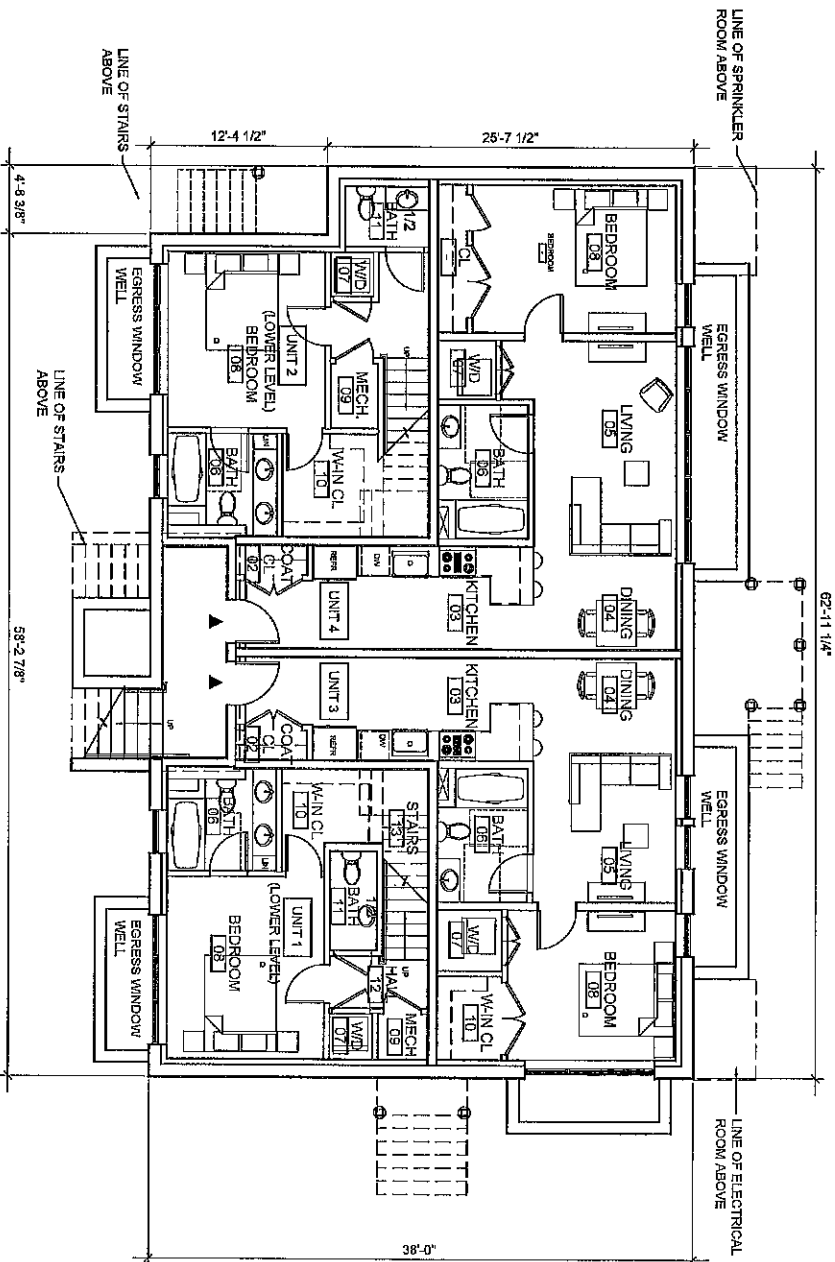


PROPOSED
 20-24 RUSH STREET

70-30-110-0000-0000-0000
 SCHEMATIC 1A/2/4/5
 PREPARED FOR

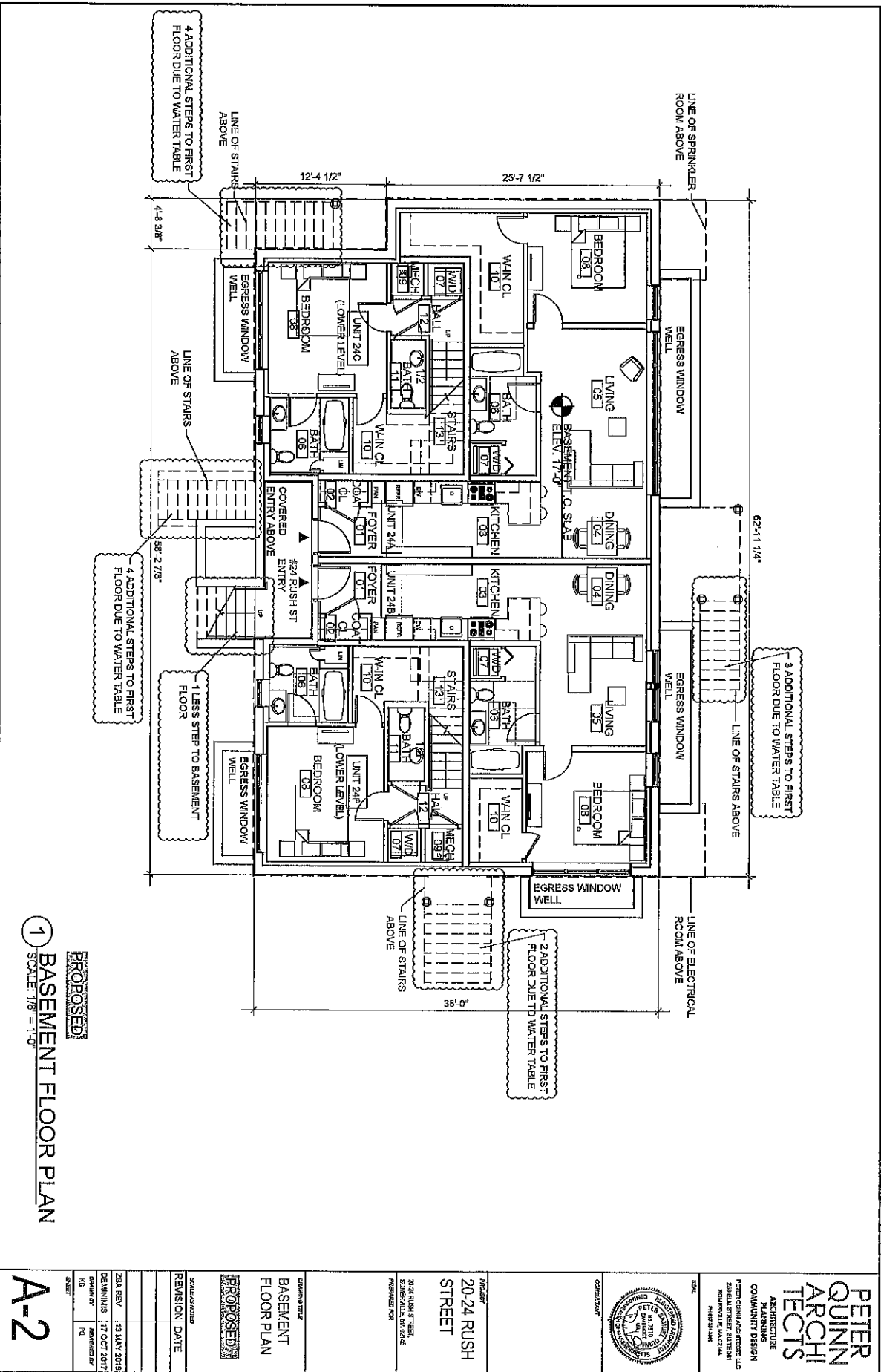
DRAWING TITLE
 ZONING COMPLIANCE
 PROPOSED

NO.	DATE	REVISION
1	15 MAY 2019	FINAL REV
2	17 OCT 2017	DEVELOPER REV
3		REVISED PER
4		REVISED PER



AS APPROVED
1 BASEMENT FLOOR PLAN
 SCALE: 1/8" = 1'-0"

PETER QUINN ARCHITECTS ARCHITECTS COMMUNITY DESIGN 200 WEST WASHINGTON ST. CHICAGO, IL 60604 PH: 312.467.1000 WWW.PQARCHITECTS.COM	50% 20-24 RUSH STREET, SOMERVELL, ILLINOIS 60474 REVISIONS: 01	PROJECT: 20-24 RUSH STREET SOMERVELL, ILLINOIS 60474 REVISIONS: 01	SHEET: A-1
DRAWN BY: JG	CHECKED BY: PQ	DATE: 17 OCT 2017	REVISIONS: 01
REVISION: 01 DATE:	APPROVED	BASEMENT FLOOR PLAN	APPROVED



PROPOSED
1 BASEMENT FLOOR PLAN
 SCALE: 1/8" = 1'-0"

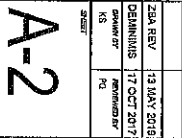
DATE	DESCRIPTION
20A REV	13 MAY 2016
20A REV	17 OCT 2017
1/8"	1/8"
1/8"	1/8"

SCALE	1/8" = 1'-0"
REVISION	DATE

PROPOSED
 DRAWING TITLE
BASEMENT FLOOR PLAN

PROJECT
 20-24 RUSH STREET
 PHOENIX, AZ 85016
 PROJECT NO. 15-001

ARCHITECT
PETER QUINN ARCHITECTS
 ARCHITECT
 209 EAST WASHINGTON STREET
 PHOENIX, AZ 85004
 PH: 602-254-0000



OPERATION
 20-24 RUSH STREET
 PHOENIX, AZ 85016

DATE
 13 MAY 2016

SCALE
 1/8" = 1'-0"

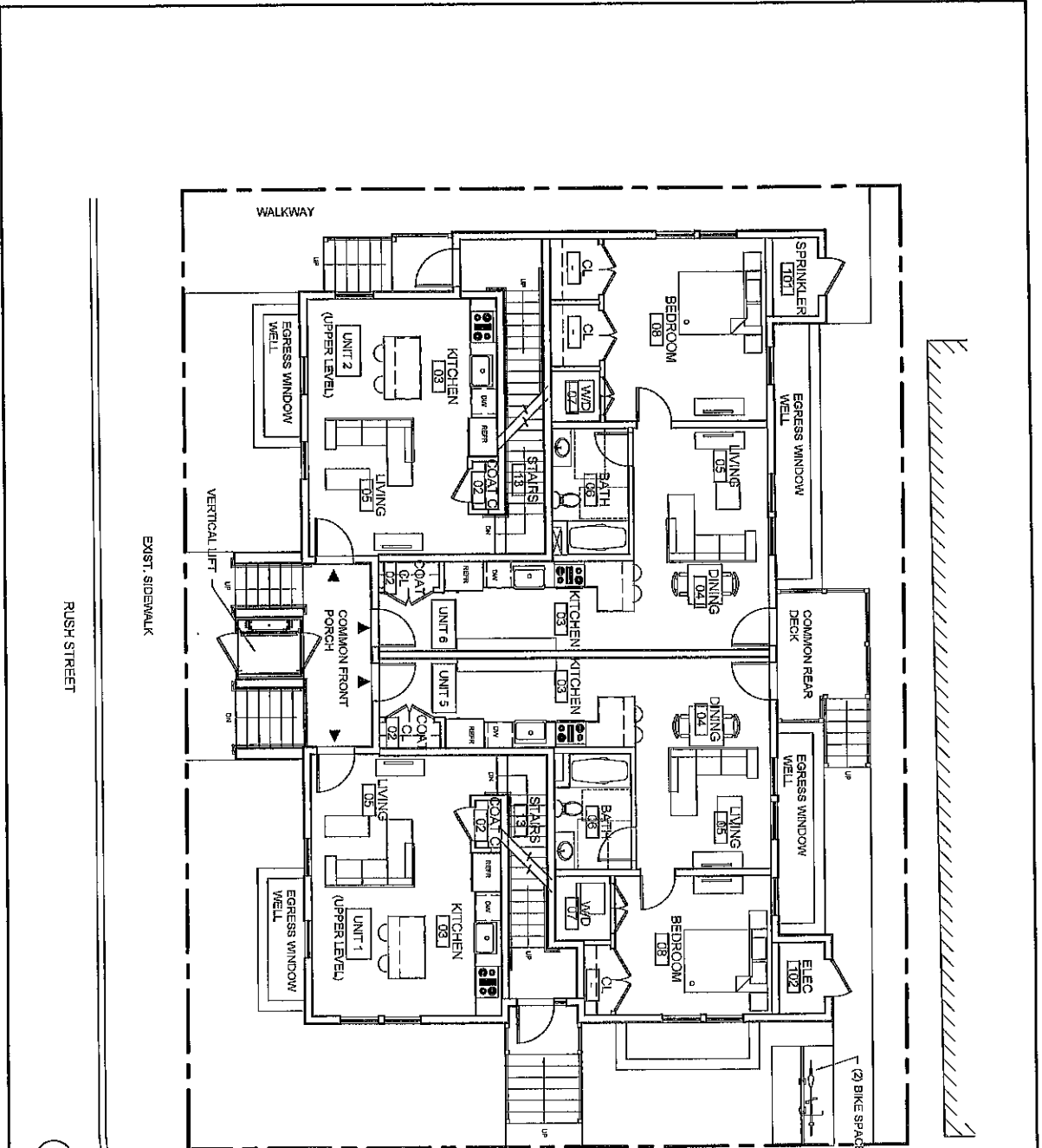
PROJECT NO.
 15-001

DATE
 17 OCT 2017

SCALE
 1/8"

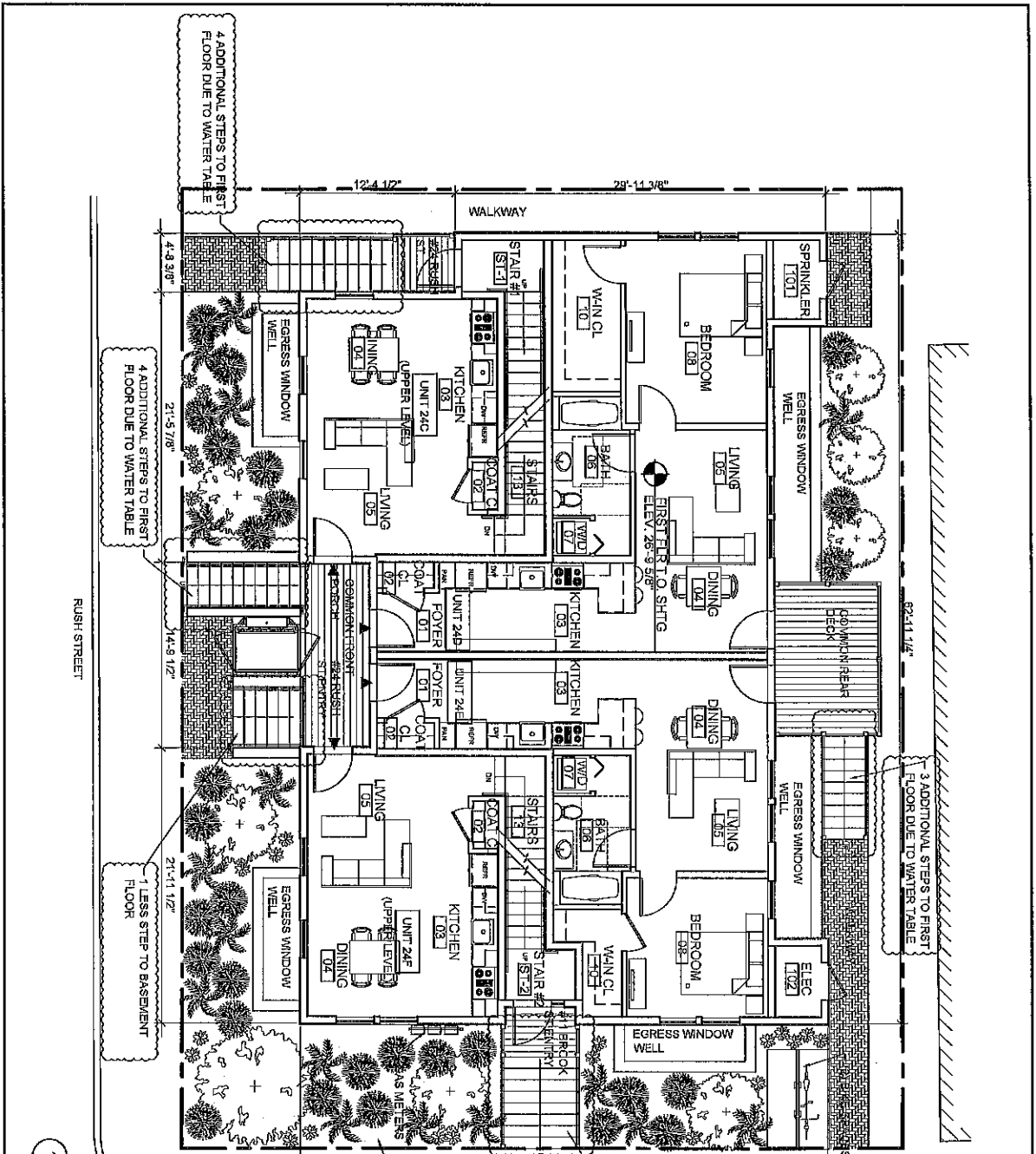
SCALE
 1/8"

SCALE
 1/8"



AS APPROVED
1 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

	PETER QUINN ARCHITECTS ARCHITECTURE PLANNING COMMUNITY DESIGN PETER QUINN ARCHITECTS LLC 200 W. 41ST STREET, SUITE 201 NEW YORK, NY 10018 PH: 212-693-1111
	PROJECT: 20-24 RUSH STREET DATE: 11/16/16
DRAWN BY: APPROVED	DATE: 13 MAY 2016 REVISIONS: 17 OCT 2017 18
SHEET: A-3	SHEET:



1 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

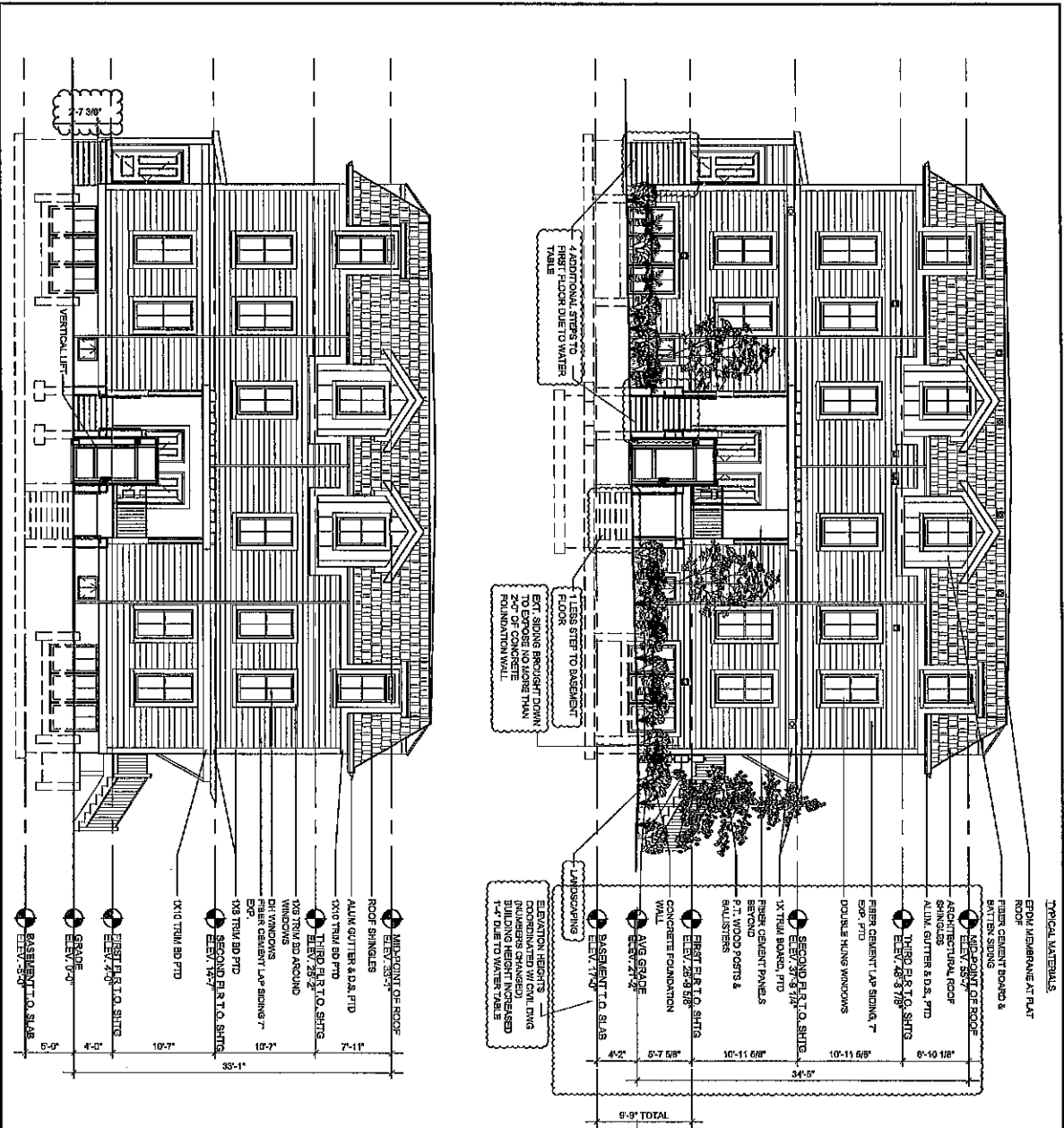
PROPOSED
 A-4

REVISION	DATE
1	13 MAY 2015
2	17 OCT 2017

PROPOSED
 20-24 RUSH STREET
 FIRST FLOOR PLAN

20-24 RUSH STREET
 20-24 RUSH STREET
 20-24 RUSH STREET
 20-24 RUSH STREET

PETER QUINN ARCHITECTS
 ARCHITECTURE
 PLANNING
 COMMUNITY DESIGN
 PETER QUINN ARCHITECTS LLC
 288 BLK STREET, SUITE 301
 SPOKANE, WA 99201
 PH: 509.325.1111



PROPOSED
1 RUSH ST ELEVATION
 SCALE: 1/8" = 1'-0"

AS APPROVED
1 RUSH ST ELEVATION
 SCALE: 1/8" = 1'-0"

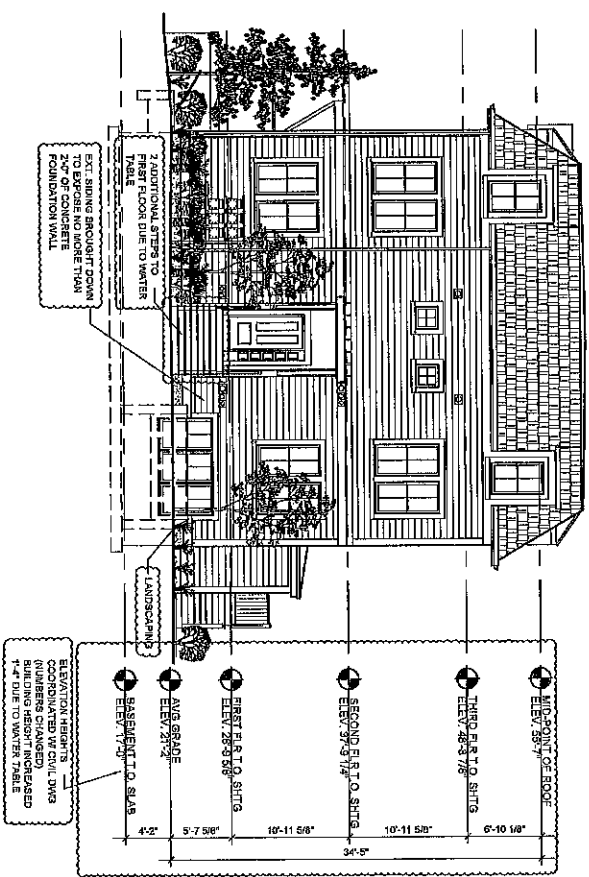
PETER QUINN ARCHITECTS
 ARCHITECTS
 200 SOUTH WASHINGTON ST
 SUITE 201
 BOSTON, MA 02111
 PH: 617.552.3000

20-24 RUSH STREET
 PROPOSED
 20-24 RUSH STREET
 BOSTON, MA 02114
 PROJECT NO. 1700000002

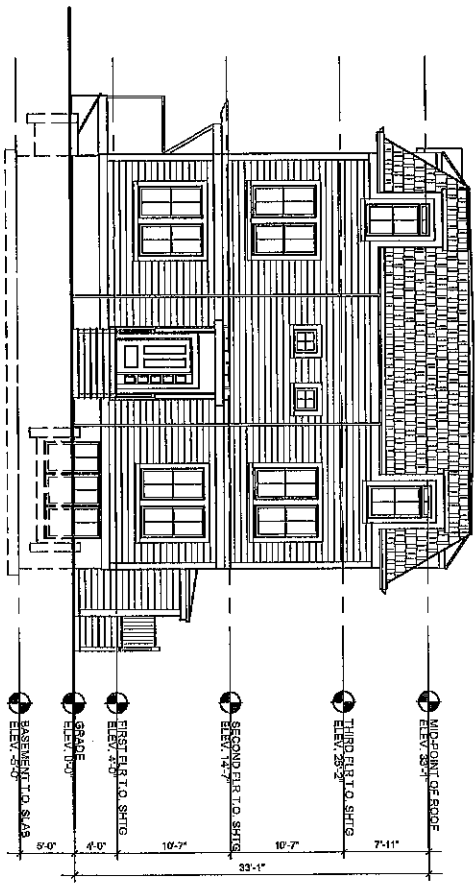
NO.	REVISION	DATE

DESIGNED BY: ZMA NEW
 DRAWN BY: DEANIKINS
 CHECKED BY: NS
 DATE: 13 MAY 2016
 17 OCT 2017
 06

A-5



PROPOSED
BROOK ST ELEVATION
 1 SCALE: 1/8" = 1'-0"



AS APPROVED
BROOK ST ELEVATION
 1 SCALE: 1/8" = 1'-0"

PETER QUINN ARCHITECTS
 ARCHITECTURE
 PLANNING DESIGN
 PETER QUINN ARCHITECTS LLC
 2000 W. 10TH STREET, SUITE 100
 SPOKANE, WA 99204
 P: 509.325.1111
 F: 509.325.1112
 WWW.PQARCHITECTS.COM

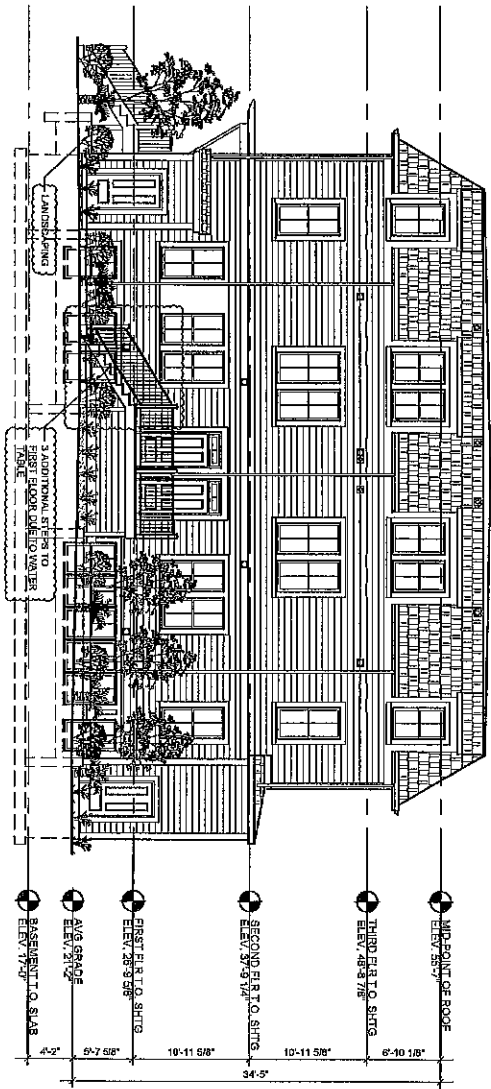


PROJECT: 20-24 RUSH STREET
 DRAWING NO: P20-24-RUSH-01
 DATE: 10/17/2018
 DRAWN BY: [Name]
 CHECKED BY: [Name]

DRAWING TITLE: BROOK ST ELEVATION
 SHEET: A-6

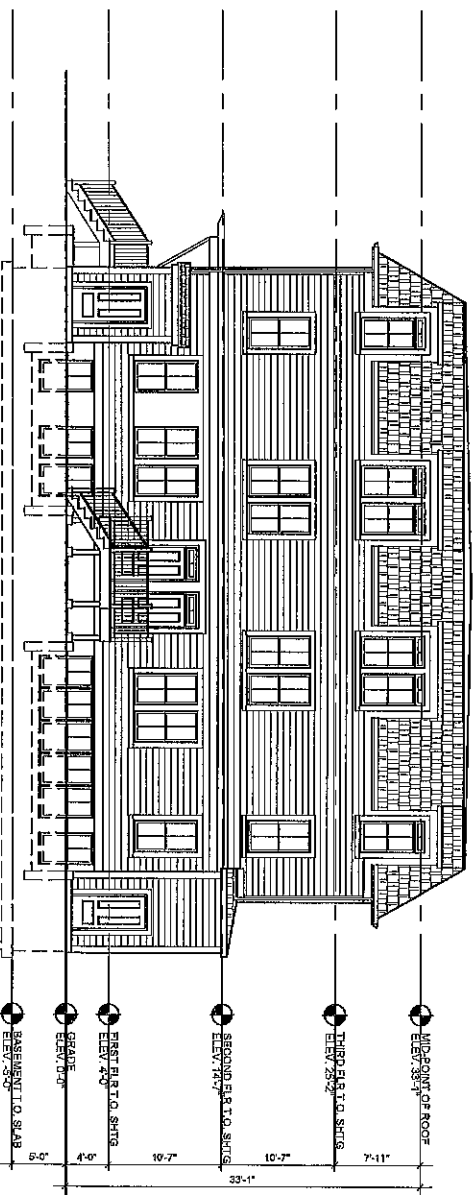
REVISION	DATE	BY	DESCRIPTION
ZBA REV	13 MAY 2018	[Name]	[Description]
DEFININGS	17 OCT 2017	[Name]	[Description]

DATE PLOTTED: 10/17/2018
 PLOT SCALE: 1/8" = 1'-0"



1 REAR ELEVATION
SCALE: 1/8" = 1'-0"

PROPOSED



1 REAR ELEVATION
SCALE: 1/8" = 1'-0"

AS APPROVED

PETER QUINN ARCHITECTS
ARCHITECTURE PLANNING COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC
250 BROADWAY, SUITE 200
BOSTON, MA 02108
PH: 617-552-8888

PROJECT: 20-24 RUSH STREET

30-04 RUSH STREET, SOMERVILLE, MA 02145

CONSULTANT: [Seal]

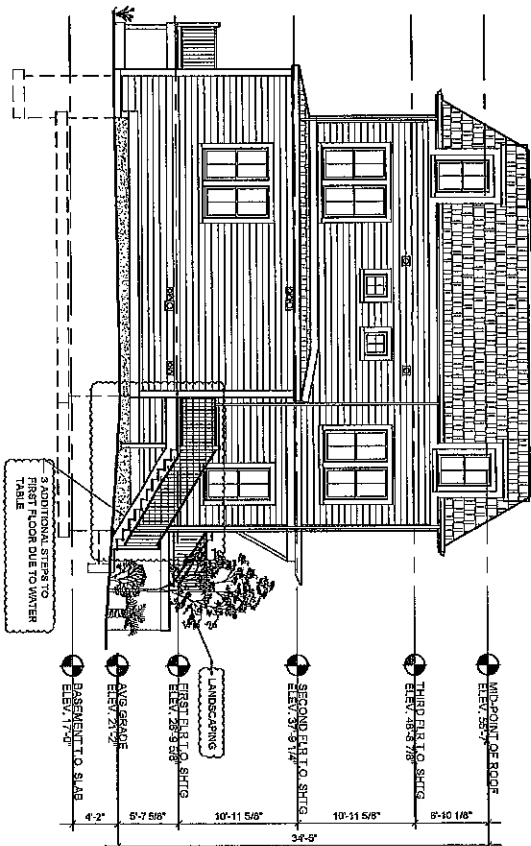
DATE: 13 MAY 2018

DESIGNER: DEANINIUS 17 OCT 2017

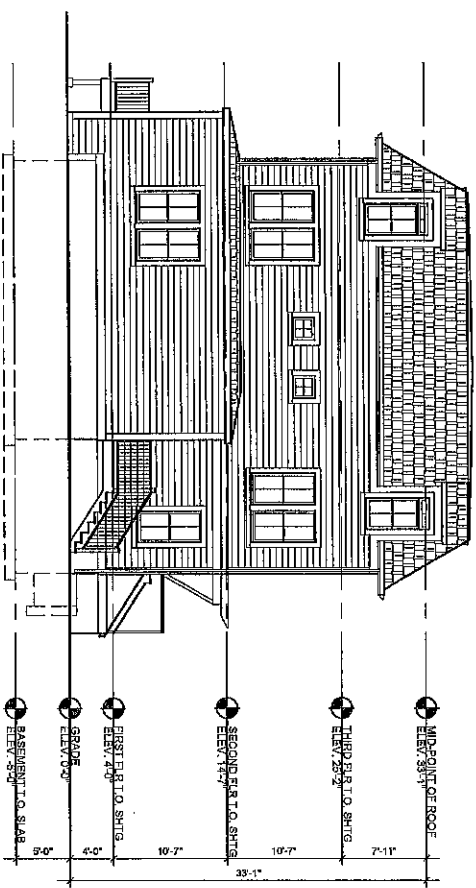
CHECKER: [Signature]

DATE: 13

SCALE: A-7



PROPOSED
1 LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



AS APPROVED
1 LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

PETER QUINN ARCHITECTS
 ARCHITECTURE
 PLANNING
 COMMUNITY DESIGN
 PETER QUINN ARCHITECTS LLC
 204 BALA STREET, 7TH FLOOR
 PHILADELPHIA, PA 19106
 TEL: 215.562.1111
 WWW.PQUINNARCHITECTS.COM



CONSULTANT
 PROJECT
 20-24 RUSH STREET

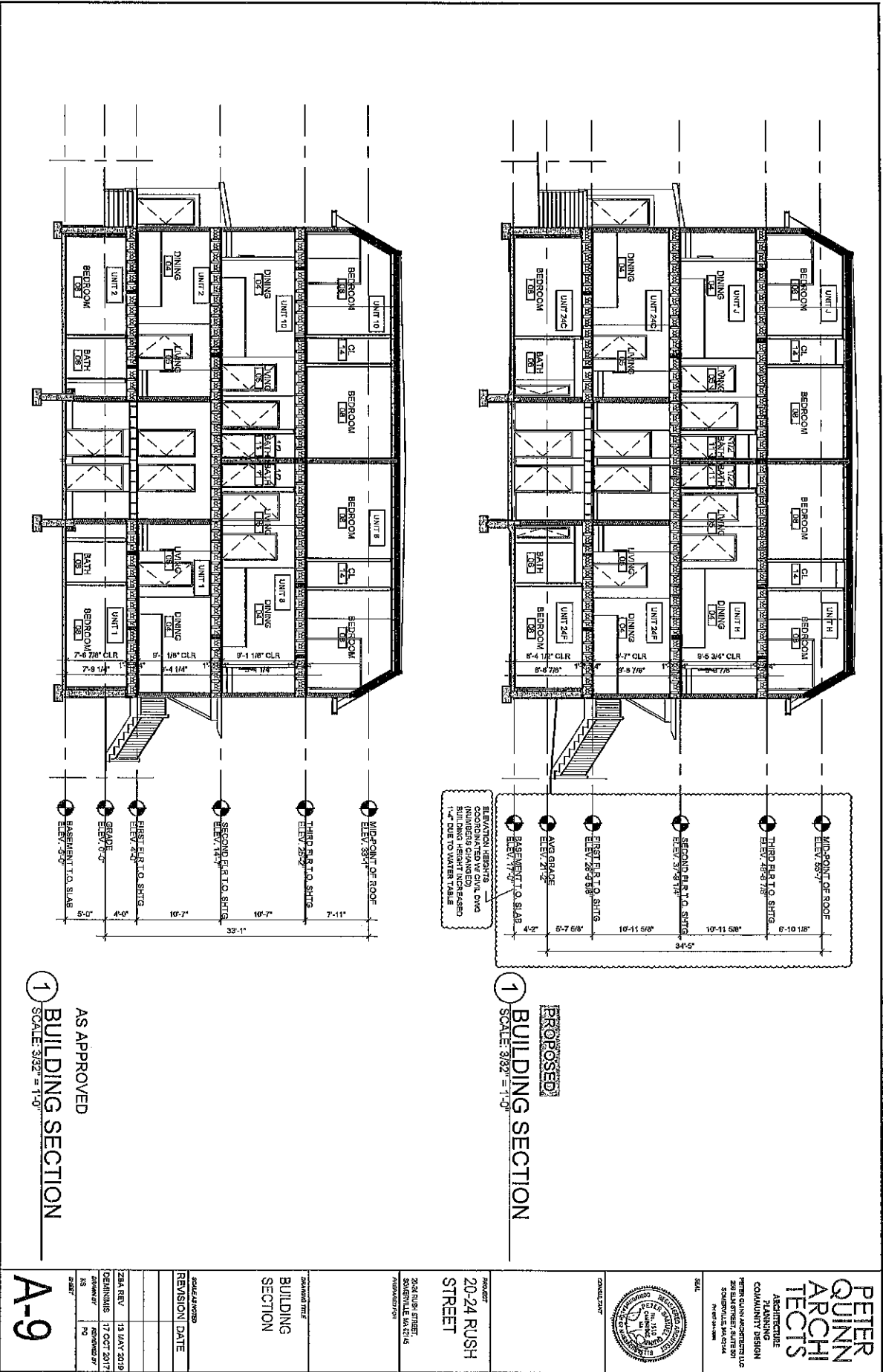
20-24 RUSH STREET
 SPRINGDALE, VA 22153
 APPROVED FOR

DRAWING TITLE
 LEFT SIDE ELEVATION

REVISION	DATE

ZONA REV. 13 MAY 2019
 DENMINNIS 17 OCT 2017
 COMENY 10
 RS
 DWG

A-8



AS APPROVED
 BUILDING SECTION
 SCALE: 3/32" = 1'-0"

PROPOSED
 BUILDING SECTION
 SCALE: 3/32" = 1'-0"

		PETER QUINN ARCHITECTS ARCHITECTURE PLANNING COMMUNITY DESIGN PETER QUINN ARCHITECTS LLC 208 ELM STREET, SUITE 201 SPRINGFIELD, ILLINOIS 62760 PH: 217-243-9999
PROJECT 20-24 RUSH STREET	SCALE RUSH STREET 3/24/2017 11:15 AM	SHEET A-9
REVISION NUMBER REVISION DATE	DRAWN BY CHECKED BY DATE	2284 REV. 13 MAY 2019 06/08/18 17 OCT 2017 06/08/18 19