

# **APPENDIX A: Civil Site Plans**

## **Cover and Index Sheet**

**C-1 Legend and General Notes**

**C-2 Neighborhood Context Map**

**C-3 Layout and Materials Plan**

**C-4 Grading, Drainage, and Erosion Control Plan**

**C-5 Utility Plan**

**C-6 Site Details**

**C-7 Site Details**

**C-8 Site Details**

**C-9 Site Details**

**C-10 Site Details**

**Sv-1 Existing Conditions Plan of Land**

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# Site Plans

Issued for	Amended PUD-PMP
Date Issued	March 19, 2020
Latest Issue	March 19, 2020

## XMBLY

5 Middlesex Avenue  
Somerville, Massachusetts



101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770

#### Architect

Spagnolo Gisness &  
Associates (SGA)  
200 High Street, 2nd Floor  
Boston, MA 02110  
Phone: (857) 300-2610

Perkins & Will  
225 Franklin Street, Suite 1100  
Boston, MA 02110  
Phone: (617) 478-0300

#### Landscape Architect

Copley-Wolff  
Design Group (CWDG)  
10 Post Office Square  
Suite 1315  
Boston, MA 02109  
Phone: (617) 654-9000

#### Owner/Applicant:

CDNV Assembly, LLC  
c/o John Baxter & Ed Nardi  
Cresset Development  
120 Water Street  
Boston, MA 02109  
Phone: (617) 624-9100

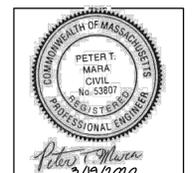
**Assessor's Map: 88 and 99**  
**Lot: 88-A-1 and 99-A-15**  
**Zoning District: Assembly Square Mixed-Use District (ASMD)**

#### Sheet Index

No.	Drawing Title	Latest Issue
C-1	Legend and General Notes	March 19, 2020
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C-3	Layout and Materials Plan	March 19, 2020
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C-9	Site Details	March 19, 2020
C-10	Site Details	March 19, 2020

#### Reference Drawings

No.	Drawing Title	Latest Issue
Sv-1	Existing Conditions Plan of Land	November 28, 2017





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Legend

Legend table with columns for 'Exist.' and 'Prop.' symbols and descriptions for various site features like property lines, easements, curbs, and utilities.

Abbreviations

Abbreviations table with columns for 'General' and 'Utility' symbols and descriptions for items like ABAN (Abandon), ACR (Accessible Curb Ramp), and CB (Catch Basin).

Notes

- Notes 1-14 detailing construction requirements, safety protocols, and site management instructions.

Layout and Materials

- Layout and Materials notes 1-6 regarding dimensions, curbing, and architectural details.

Demolition

- Demolition notes 1-5 detailing removal of existing structures and utilities.

Utilities

- Utilities notes 1-4 detailing the location and handling of existing utilities.

Erosion Control

- Erosion Control notes 1-5 detailing measures to prevent soil erosion during construction.

Existing Conditions Information

- Existing Conditions Information notes 1-3 detailing site survey and topography data.

Document Use

- Document Use notes 1-3 detailing the use of CADD documents and electronic versions.

Saved Tuesday, March 17, 2020 1:16:27 PM ABRONK Plotted Friday, March 20, 2020 2:52:01 PM Mara, Peter

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Table with columns: No., Revision, Date, Apprd.

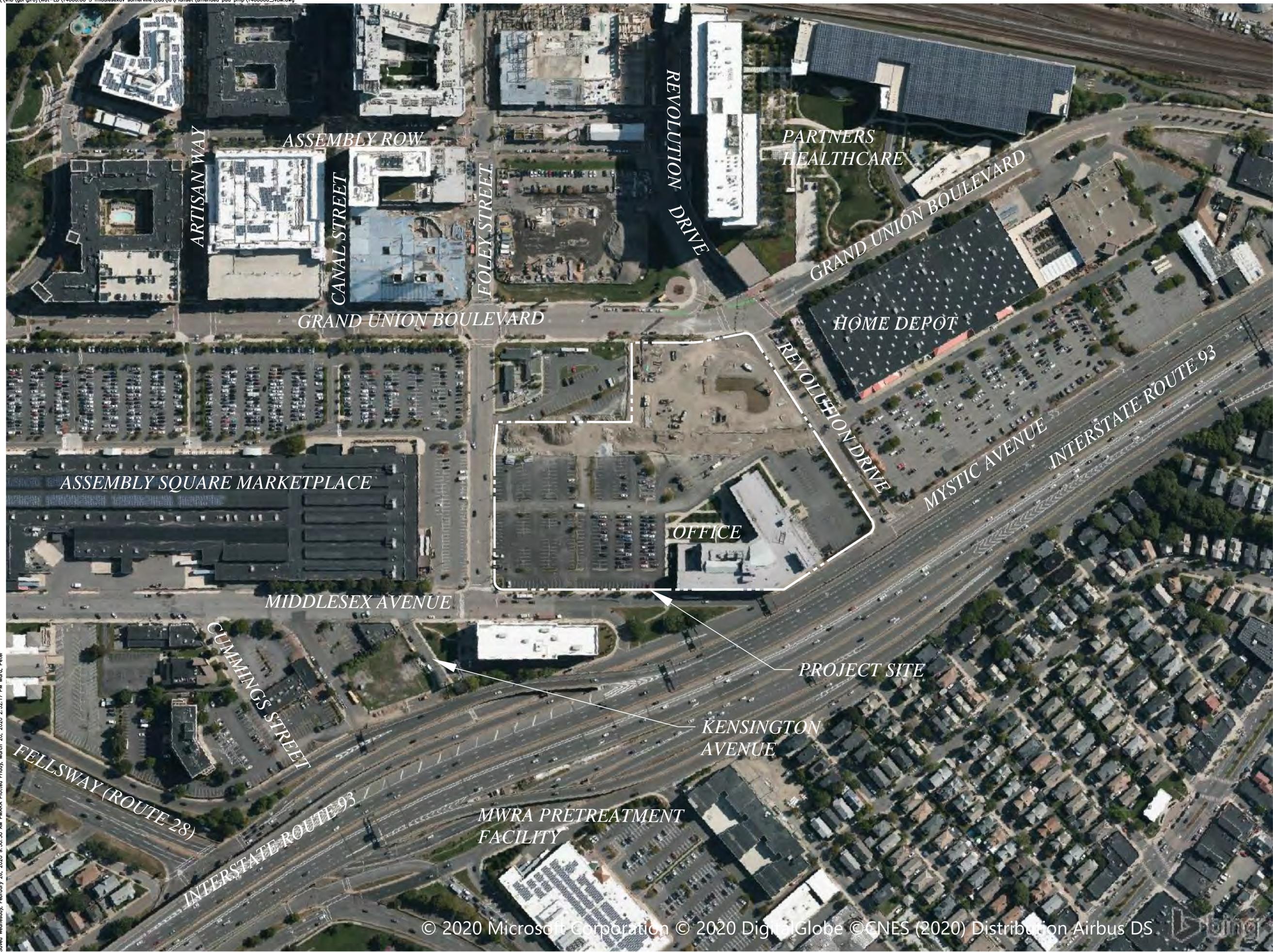
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Issued for: March 19, 2020

Amended PUD-PMP March 19, 2020

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Legend and General Notes section with drawing title and sheet information.

Professional Engineer seal for Peter T. Mara, No. 53807, dated 3/19/2020. Sheet C-1 of 10.



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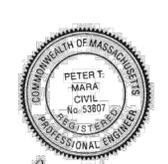


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C-2

Sheet 02 of 10

Project Number 14000.00

**GRAND UNION BLVD**  
(VARIABLE WIDTH PUBLIC ROADWAY)

**GRAND UNION BLVD**  
(VARIABLE WIDTH PUBLIC ROADWAY)

**Parking Summary Chart**

Description	Required	Provided	Residential Required	Office/LAB /R&D Required	Retail Required	Restaurant Required	Total Required	Provided
STANDARD SPACES (20% MAX. ALLOWED)*	9 x 18	9 x 18	321	1,197	19	8	1,545	1,866
COMPACT SPACES (20% MAX. ALLOWED)**	8 x 16	8 x 18	66	240	3	2	311	53
STANDARD ACCESSIBLE SPACES **	8 x 18	9 x 18	7	19	0	0	26	26
VAN ACCESSIBLE SPACES **	8 x 18	9 x 18	1	3	1	1	6	7
<b>TOTAL SPACES</b>			<b>329***</b>	<b>1,219</b>	<b>20</b>	<b>9</b>	<b>1,577</b>	<b>1,899****</b>

\* REQUIRED NUMBER OF COMPACT SPACES IS NOT INCLUDED IN THE TOTAL REQUIRED SPACES SUMMATIONS  
 \*\* ADA/STATE/LOCAL REQUIREMENTS  
 \*\*\* A WAIVER HAS BEEN REQUESTED AND GRANTED FOR THE ALTA XMBLY SPR APPLICATION FOR THE RESIDENTIAL PARKING SINCE THE PUD TOTAL WILL NOT MEET THE REQUIRED PARKING FOR RESIDENTIAL USE. HOWEVER, THE PROJECT IS PROPOSING A TOTAL PARKING SPACES COUNT THAT IS MORE THAN THE REQUIRED TOTAL PARKING SPACES.  
 \*\*\*\* THE PROPOSER IS REFINING THE TOTAL PARKING PROVIDED TO BE 0.6 PARKING SPACE PER UNIT FOR RESIDENTIAL USES AND 1.5 PARKING SPACES PER 1,000 SF FOR THE OFFICE/LAB/R&D USES. FURTHER DETAIL WILL BE PROVIDED IN THE SPECIAL PERMIT FOR EACH INDIVIDUAL BLOCK.

**Parking Requirements (Per Use):**

RESIDENTIAL	329 UNIT	x	1 SPACES	/	1,000	=	329 SPACES
OFFICE/LAB/R&D	1,219,172 SF	x	1 SPACES	/	1,000	=	1,219 SPACES
RETAIL	19,544 SF	x	1 SPACES	/	1,000	=	20 SPACES
RESTAURANT	4,489 SF	x	1 SPACES	/	500	=	9 SPACES
<b>TOTAL PARKING REQUIRED</b>							<b>= 1,577 SPACES</b>

**Bicycle Parking Requirements:**

RESIDENTIAL UNITS: RESIDENTIAL UNITS: REMAINING DWELLING UNITS	7 UNITS	x	1 SPACE	/	7 UNITS	=	7 SPACES
NON-RESIDENTIAL UNITS: FIRST REQUIRED NON-RESIDENTIAL 200 VEHICULAR PARKING SPACES	200 SPACES	x	1 SPACE	/	10 SPACES	=	20 SPACES
NON-RESIDENTIAL UNITS: REMAINING REQUIRED NON-RESIDENTIAL VEHICULAR PARKING SPACES	1,048 SPACES	x	1 SPACE	/	20 SPACES	=	53 SPACES
<b>TOTAL BICYCLE PARKING REQUIRED</b>							<b>= 182 SPACES</b>
<b>TOTAL BICYCLE PARKING PROVIDED</b>							<b>= 224 SPACES</b>

**Sign Summary**

M.U.T.C.D. Number	Specification Width	Height	Desc.
R1-1	30"	30"	STOP
R1-2	30"	30"	YIELD
R3-2	24"	24"	NO LEFT TURN
R3-5R	24"	30"	ONLY
R4-7	24"	30"	ONE WAY
R7-8	12"	18"	RESERVED PARKING
W11-2	30"	30"	PEDESTRIAN CROSSING
W16-7P	24"	12"	BIKE SHARE
SP-1	12"	18"	NO PARKING - LOADING ZONE
D3-1	24"	8"	ROAD K
SP-2	12"	18"	NO PARKING - BIKE SHARE



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**Layout and Materials Plan**

Drawing Number: **C-3**

Sheet: **03** of **10**

Project Number: **14000.00**

Date: **3/19/2020**

**Mixed Use Area Loading Requirements:**

RESIDENTIAL:	0 - 30 BEDS	(0)	= 4
	31 - 100 BEDS	(1)	
	EACH ADDL. 100 BEDS	(1)	
OFFICE/LAB/R&D:	0 - 10,000 SF	(0)	= 9
	10,001 - 100,000 SF	(1)	
	EACH ADDL. 150,000 SF	(1)	
RETAIL:	0 - 5,000 SF	(0)	= 1
	5,001 - 20,000 SF	(1)	
	20,001 - 35,000 SF	(2)	
	35,001 - 50,000 SF	(3)	
	EACH ADDL. 50,000 SF	(1)	
RESTAURANT:	0 - 4,000 SF	(0)	= 1
	4,001 - 6,000 SF	(1)	
	6,001 - 16,000 SF	(2)	
	16,001 - 40,000 SF	(3)	
	EACH ADDL. 40,000 SF	(1)	
TOTAL LOADING REQUIRED = 15			
TOTAL LOADING PROVIDED = 13			

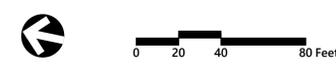
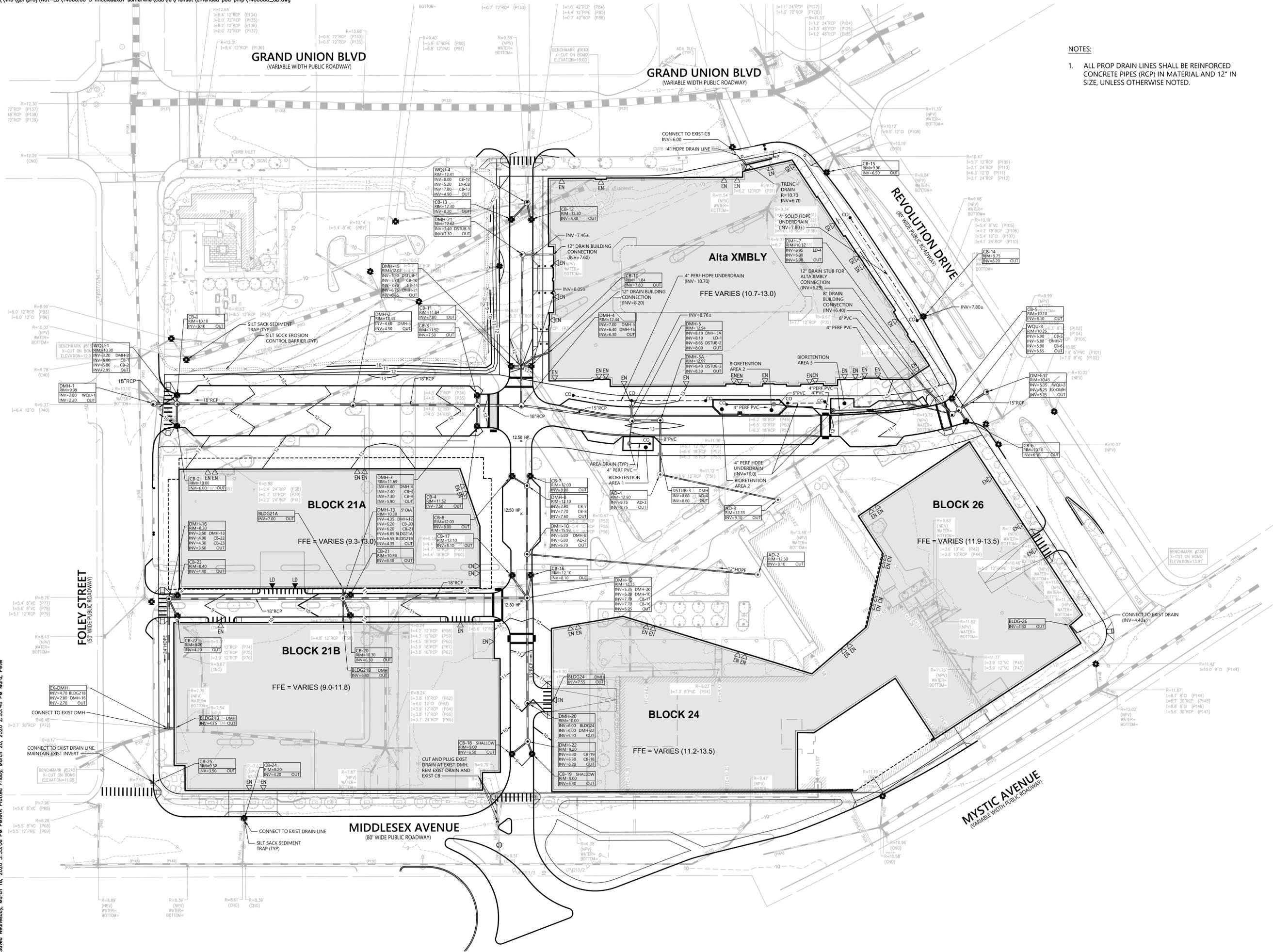
**Zoning Summary Chart**

Zoning Regulation Requirements	Required	Provided
Zoning District(S):	Assembly Square Mixed-Use District (ASMD)	
Overlay District(S):	Planned Unit Development Overlay District A (PUD-A), Medical Marijuana Overlay District	
MINIMUM LOT AREA	20,000 SF	9.4 Acres
FRONT YARD SETBACK	0 Feet	1.3 Feet (Block 24)
SIDE YARD SETBACK	0 Feet	4.3 Feet (Alta XMBLY)
REAR YARD SETBACK	0 Feet	2.2 Feet (Alta XMBLY)
MAXIMUM FLOOR AREA RATIO	10.0	3.8
MAXIMUM BUILDING HEIGHT WITHIN 1,000' OF MBTA ENTRANCE	250 Feet	85 Feet
MAXIMUM BUILDING HEIGHT BEYOND 1,000' OF MBTA ENTRANCE	125 Feet	240 Feet
MINIMUM OPEN SPACE	25.0 %	35.6 %
USEABLE OPEN SPACE	12.5 %	30.0 %



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- NOTES:
- ALL PROP DRAIN LINES SHALL BE REINFORCED CONCRETE PIPES (RCP) IN MATERIAL AND 12" IN SIZE, UNLESS OTHERWISE NOTED.



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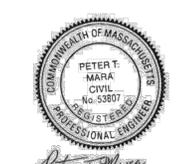
No.	Revision	Date	Aspd.

Designed by **PTM** Checked by **DAH**

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Drawing Title **Grading and Drainage Plan**

Drawing Number



*Peter T. Marra*  
3/19/2020

**C-4**

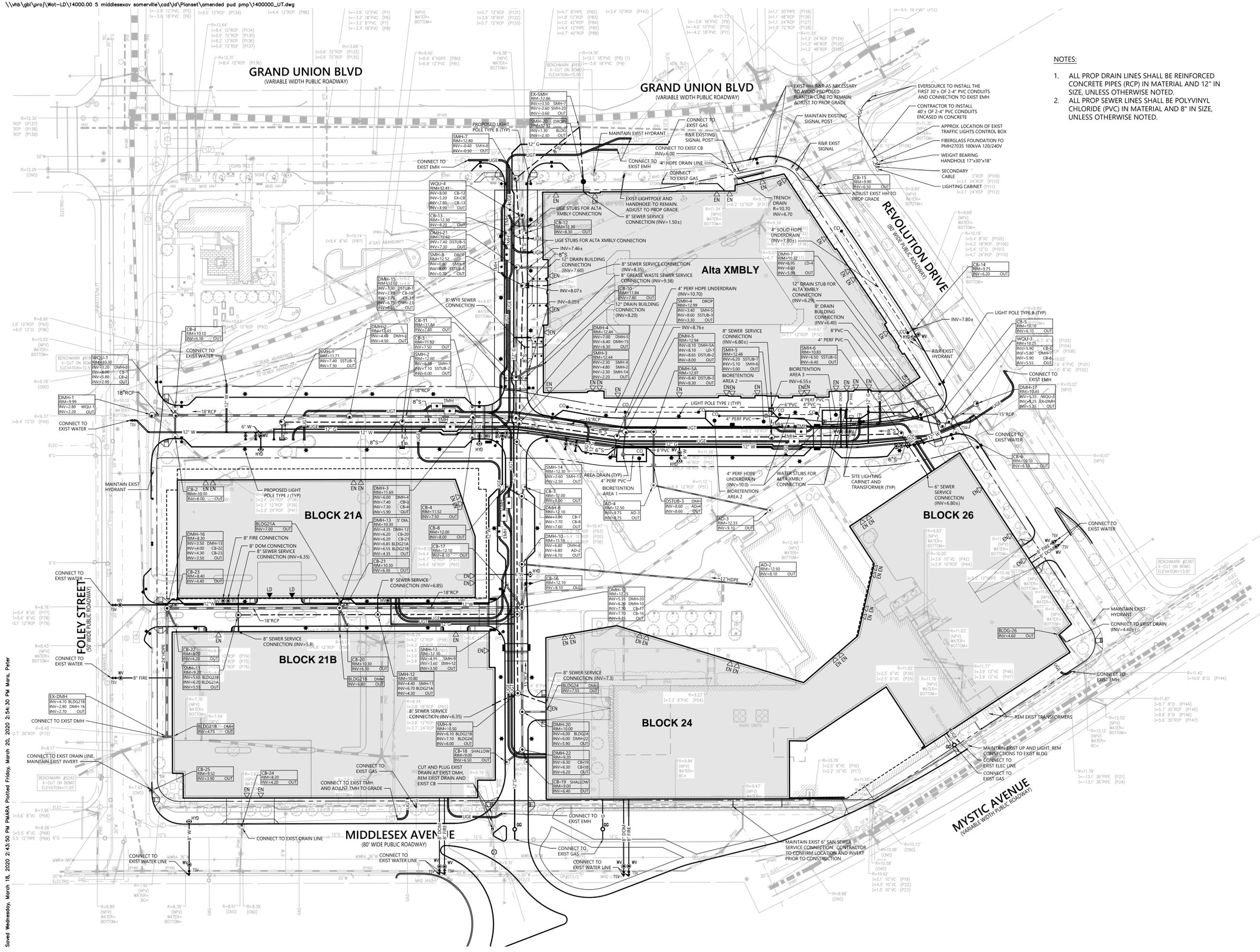
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Project Number **14000.00**

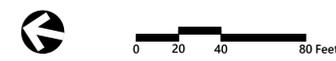
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- NOTES:**
- ALL PROP DRAIN LINES SHALL BE REINFORCED CONCRETE PIPES (RCP) IN MATERIAL AND 12" IN SIZE, UNLESS OTHERWISE NOTED.
  - ALL PROP SEWER LINES SHALL BE POLYVINYL CHLORIDE (PVC) IN MATERIAL AND 8" IN SIZE, UNLESS OTHERWISE NOTED.



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**Utilities Plan**  
 Drawing Number

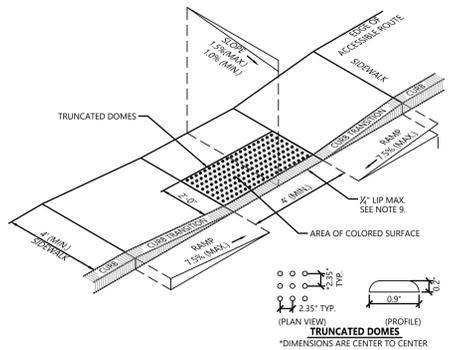
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Sheet **05** of **10**

Project Number **14000.00**

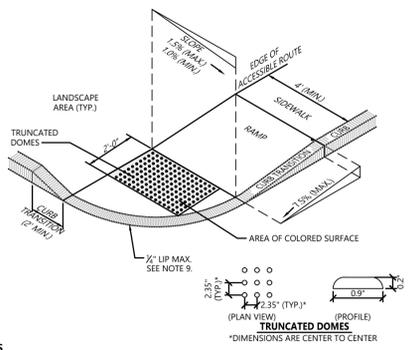
*Peter T. Marra*  
3/19/2020

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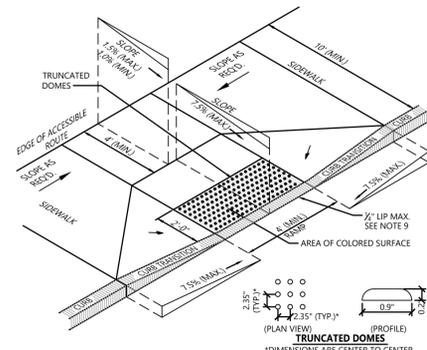
- NOTES**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
  3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
  4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
  6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
  7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
  8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
  9. ELIMINATE CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.
  10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
  11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO ACCESSIBLE ROUTE.

**Accessible Curb Ramp (ACR) Type 'A-D'** 1/16  
N.T.S. Source: VHB LD\_500



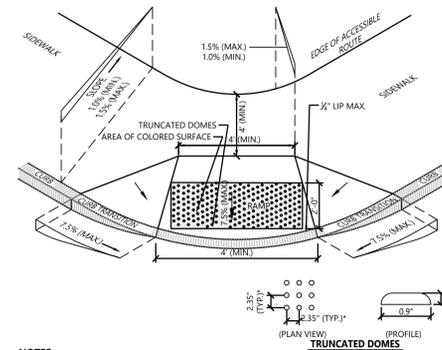
- NOTES**
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  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
  3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
  4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
  6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
  7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
  8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
  9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
  10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
  11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.
  12. CONTRACTOR TO SUBMIT R.F.I. FOR THIS TYPE OF ACCESSIBLE CURB RAMP FOR APEX ROADWAY CROSSINGS.

**Accessible Curb Ramp (ACR) - Type 'B-D'** 1/16  
N.T.S. Source: VHB REV LD\_501



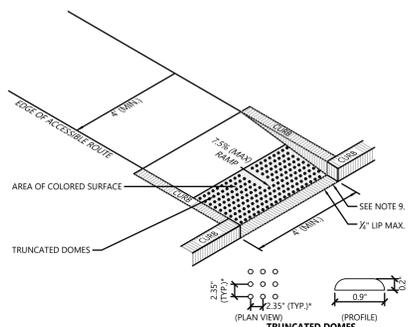
- NOTES**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
  3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
  4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
  6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
  7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
  8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
  9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
  10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
  11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.

**Accessible Curb Ramp (ACR) Type 'D-D'** 1/16  
N.T.S. Source: VHB LD\_503



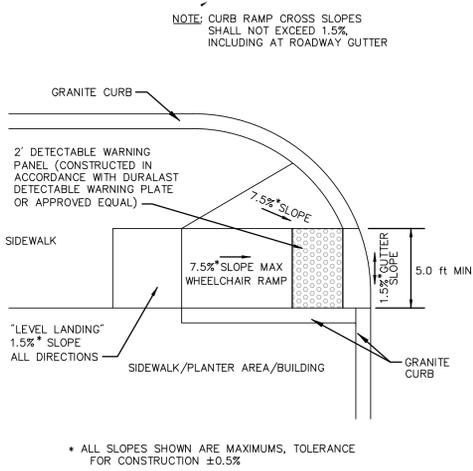
- NOTES**
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  3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
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  5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
  6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
  7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
  8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
  9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
  10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
  11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.
  12. CONTRACTOR TO SUBMIT R.F.I. FOR THIS TYPE OF ACCESSIBLE CURB RAMP FOR APEX ROADWAY CROSSINGS.

**Accessible Curb Ramp (ACR) Type 'E-D'** 1/16  
N.T.S. Source: VHB LD\_504

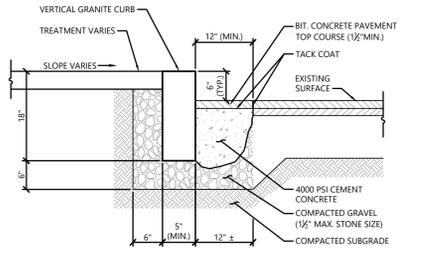


- NOTES**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
  3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMPS SHALL BE 7.5%.
  4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
  5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
  6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
  7. SEE TYPICAL SIDEWALK SECTION FOR RAMP SECTION CONSTRUCTION.
  8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
  9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
  10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
  11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO THE ACCESSIBLE ROUTE.

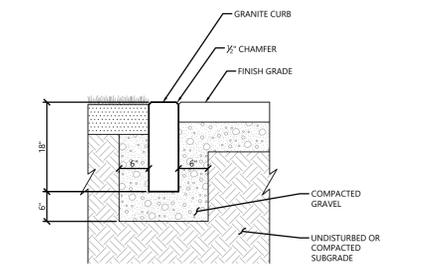
**Accessible Curb Ramp (ACR) Type 'J-D'** 1/16  
N.T.S. Source: VHB REV LD\_509



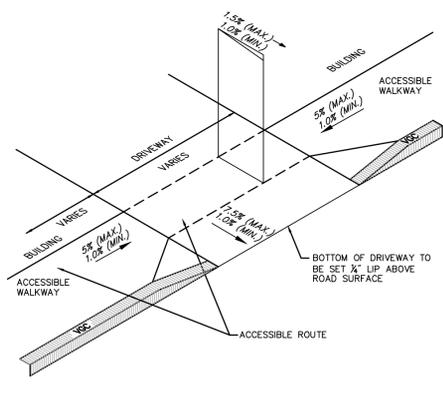
**Accessible Curb Ramp (ACR) Type 'P-D'** 1/16  
N.T.S. Source: VHB LD\_513



**Vertical Granite Curb (VGC) Set in Existing Pavement** 1/16  
N.T.S. Source: VHB LD\_403

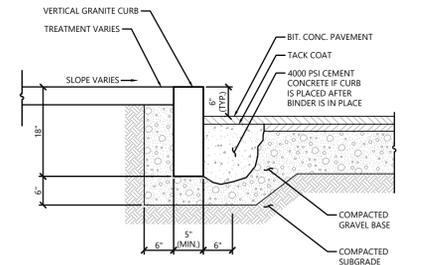


**Flush Granite Curb** 1/16  
N.T.S. Source: VHB LD\_409

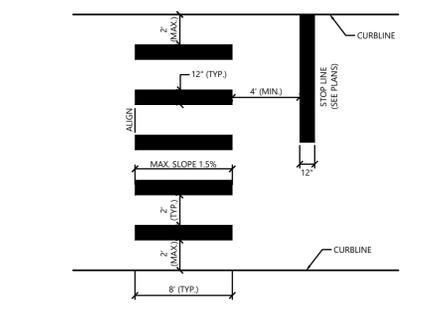


- Notes:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
  3. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.

**Driveway Apron with Sidewalk** 12/04  
N.T.S. Source: VHB



**Vertical Granite Curb (VGC)** 1/16  
N.T.S. Source: VHB LD\_402



- NOTES**
1. TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
  2. LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE.
  3. ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY ALIGNED.
  4. CROSS WALK SIDESLOPE SHALL NOT EXCEED 1.5%.

**Crosswalk** 1/16  
N.T.S. Source: VHB REV LD\_553

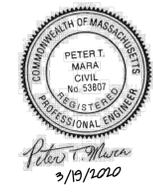
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5 Middlesex Avenue  
Somerville, Massachusetts

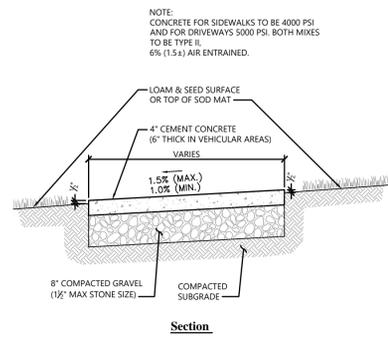
No.	Revision	Date	Appr.

Designed by **PTM** Checked by **DAH**  
Issued for \_\_\_\_\_ Date \_\_\_\_\_  
**Amended PUD-PMP** March 19, 2020

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Drawing Title  
**Site Details**  
Drawing Number

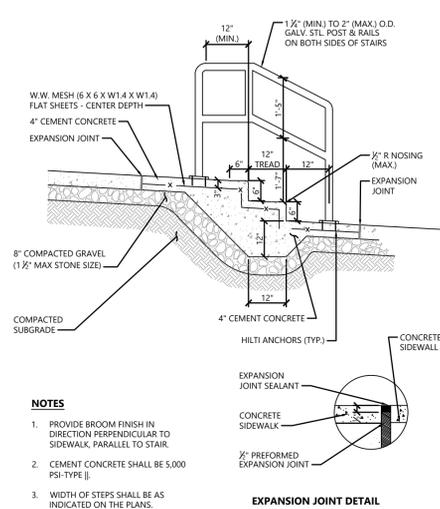
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Sheet \_\_\_\_\_ of \_\_\_\_\_  
**06 10**  
Project Number  
**14000.00**





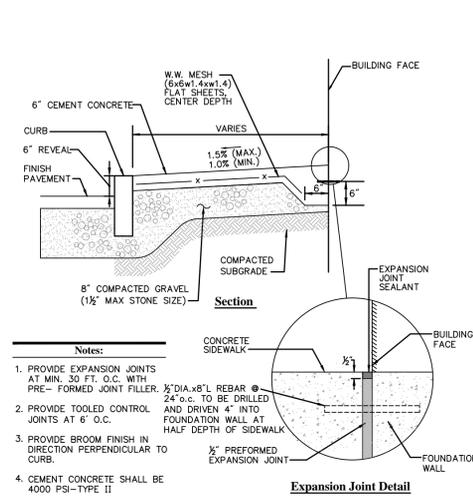
- NOTES**
1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-FORMED JOINT FILLER.
  2. PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
  3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO SIDEWALK DIRECTION.

**Concrete Sidewalk in Landscape Area** 1/16  
N.T.S. Source: VHB REV LD\_426



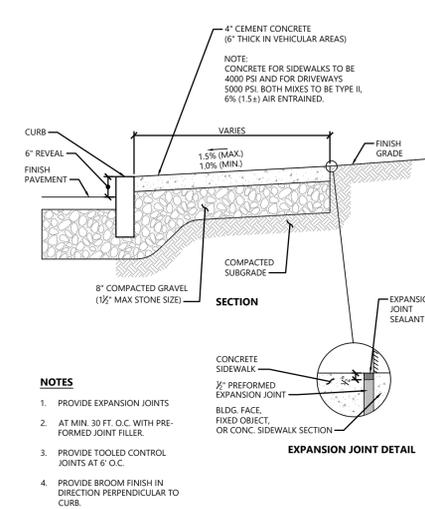
- NOTES**
1. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO SIDEWALK, PARALLEL TO STAIR.
  2. CEMENT CONCRETE SHALL BE 5,000 PSI-TYPE II.
  3. WIDTH OF STEPS SHALL BE AS INDICATED ON THE PLANS.

**Concrete Steps and Sidewalk** 1/16  
N.T.S. Source: VHB REV LD\_766



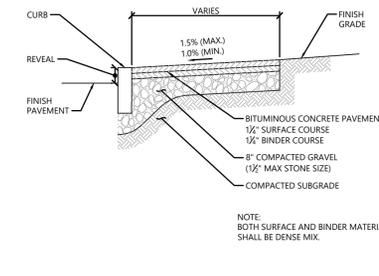
- NOTES**
1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-FORMED JOINT FILLER. 1/2\"/>
  - 2. PROVIDE TOOLED CONTROL AND DRIVEN 4\"/>
  - 3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
  - 4. CEMENT CONCRETE SHALL BE 4000 PSI-TYPE II

**Concrete Sidewalk at Building Face** 6/08  
N.T.S. Source: VHB REV LD\_420



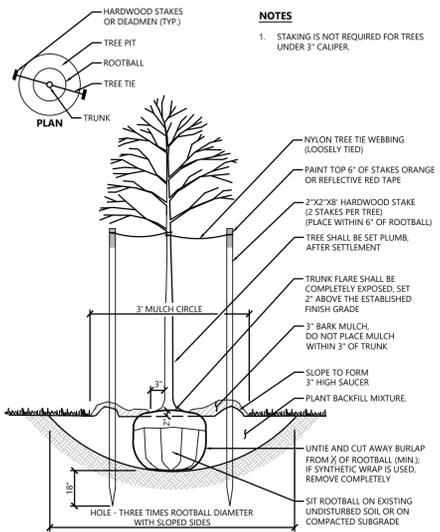
- NOTES**
1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-FORMED JOINT FILLER.
  2. AT MIN. 30 FT. O.C. WITH PRE-FORMED JOINT FILLER.
  3. PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
  4. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

**Concrete Sidewalk** 1/16  
N.T.S. Source: VHB REV LD\_420

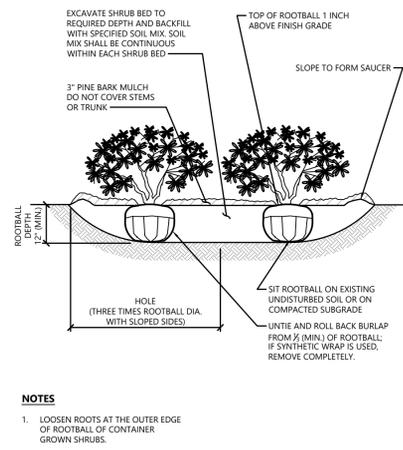


- NOTES**
- NOTE: BOTH SURFACE AND BINDER MATERIAL SHALL BE DENSE MIX.

**Bituminous Concrete Sidewalk** 1/16  
N.T.S. Source: VHB REV LD\_422

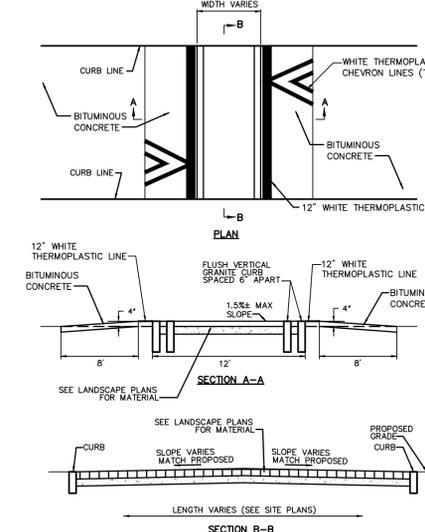


**Tree Planting (For Trees Under 4\"/>**



- NOTES**
1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

**Shrub Bed Planting** 1/16  
N.T.S. Source: VHB REV LD\_601



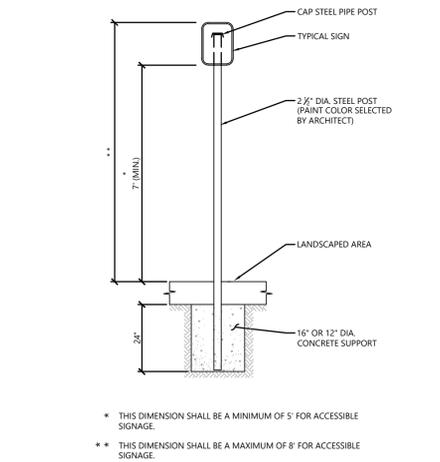
**Raised Roadway** 1/18  
N.T.S. Source: VHB REV LD\_420

- PROPOSED FULL DEPTH PAVEMENT**
- SURFACE:** 4\"/>

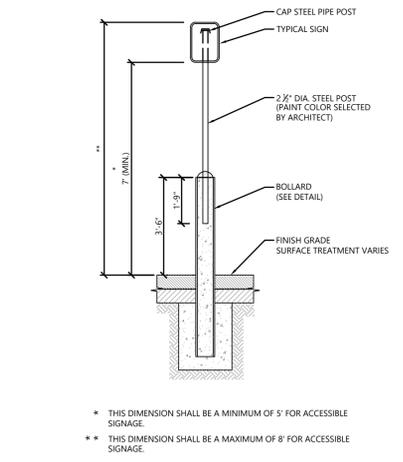
**SUB-BASE:** 4\"/>

**BASE:** 8\"/>

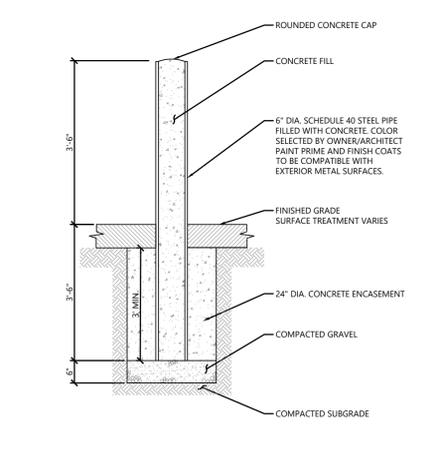
**Bituminous Concrete Pavement Section** 9/16  
N.T.S. Source: VHB REV LD\_422



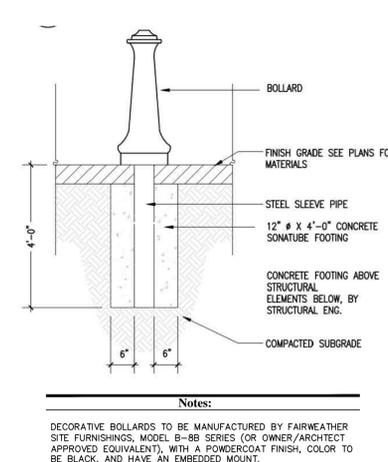
**Sign Post - Type 'A'** 1/16  
N.T.S. Source: VHB REV LD\_701



**Bollard Mounted Sign** 1/16  
N.T.S. Source: VHB REV LD\_703



**Bollard** 9/17  
N.T.S. Source: VHB REV LD\_700



**Decorative Bollard** 1/16  
N.T.S. Source: VHB REV LD\_422

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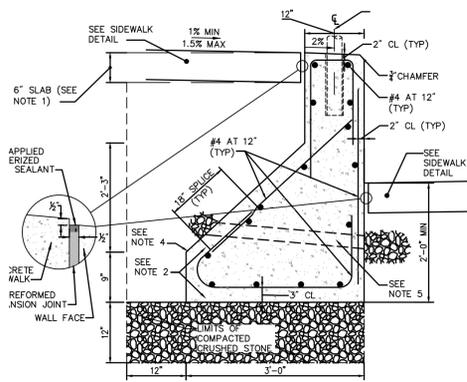
Designed by: PTM Checked by: DAH  
Issued for: Amended PUD-PMP Date: March 19, 2020

Not Approved for Construction  
Drawing Title: Site Details  
Drawing Number: \_\_\_\_\_



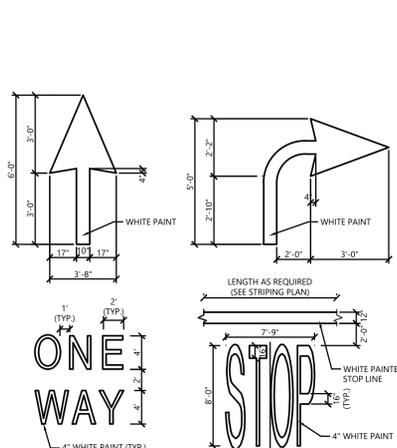
**C-7**  
Sheet 07 of 10

Project Number: 14000.00  
Date: 3/19/2020



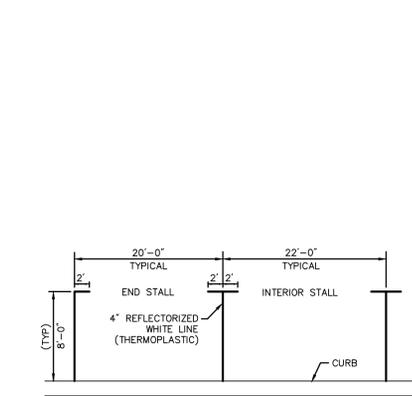
- Notes:**
- CONCRETE FOR THE 6" THICK SLAB SHALL BE 4,000PSI, 2", 610 CEMENT CONCRETE MASONRY.
  - CONCRETE FOR THE WALL/FOUNDATION SHALL BE 4,000 PSI, 2", 565 CEMENT CONCRETE MASONRY.
  - ALL REINFORCED STEEL SHALL BE ASTM A615 GRADE 60, EPOXY COATED.
  - APPLY BITUMINOUS DAMPROOFING ON BACKSIDE OF WALL.
  - 4" Ø PVC DRAIN AT 8" MAX ON CENTER WITH 1 CUBIC YARD OF CRUSHED STONES WRAPPED IN FILTER FABRIC AT EACH END. POSITION DRAIN 12" ± ABOVE BOTTOM OF WALL.

**Retaining Wall** 4/11  
N.T.S. Source: VHB

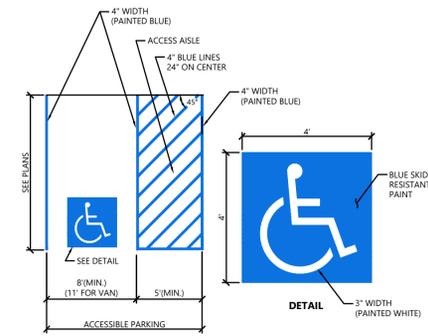


- NOTES**
- PAVEMENT MARKINGS TO BE INSTALLED FOR ON SITE WORK IN LOCATIONS SHOWN.

**Painted Pavement Markings - On Site** 1/16  
N.T.S. Source: VHB LD\_554

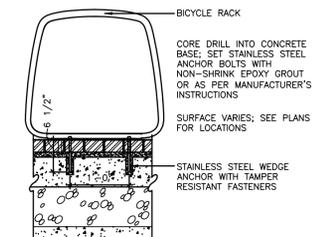


**Parking Stall Markings** 4/03  
N.T.S. Source: VHB PM-01



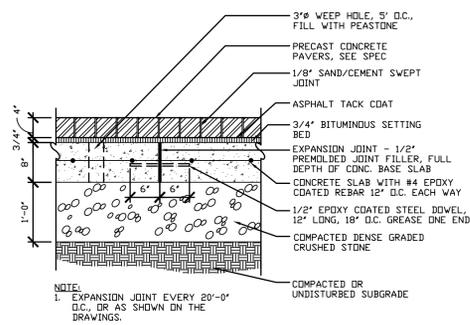
- NOTES**
- ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
  - 8' STALL WIDTH REFERS TO 8' CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.
  - ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.

**Accessible Parking Space** 1/16  
N.T.S. Source: VHB LD\_552

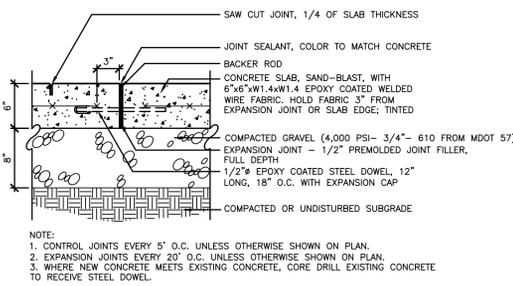


- NOTES**
- OWNER TO SELECT MANUFACTURER AND PURCHASE BICYCLE RACK.
  - THE LOCATION OF SITE FURNITURE SHALL BE STAKED IN THE FIELD AND APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.

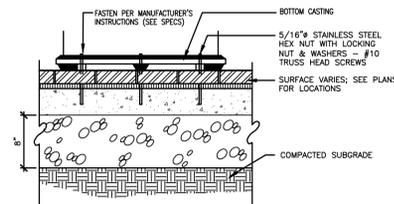
**BICYCLE RACK MOUNTING**  
SCALE: 1" = 1'-0"



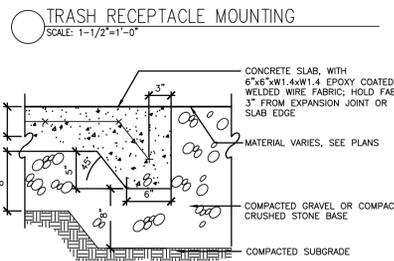
**UNIT PAVERS ON VEHICULAR BASE**  
SCALE: 1"=1'-0"



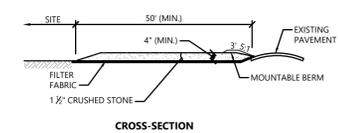
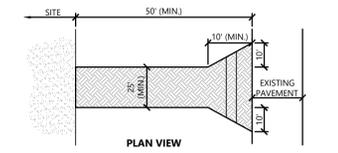
**6" CONCRETE PAVEMENT**  
SCALE: 1-1/2"=1'-0"



- NOTES**
- BENCH MANUFACTURER TO PROVIDE ANCHOR TEMPLATE TO CONTRACTOR.
  - OWNER TO SELECT MANUFACTURER AND PURCHASE TRASH RECEPTACLE.
  - THE LOCATION OF SITE FURNITURE SHALL BE STAKED IN THE FIELD AND APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.

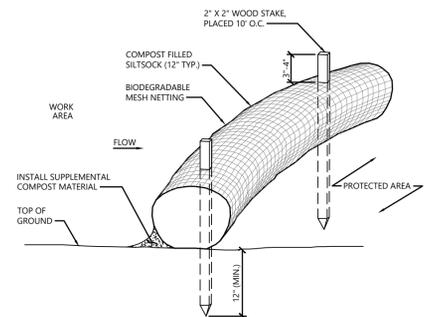


**CONCRETE PAVEMENT THICKENED EDGE**  
SCALE: 1-1/2" = 1'-0"



- NOTES**
- EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
  - THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
  - STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

**Stabilized Construction Exit** 1/16  
N.T.S. Source: VHB LD\_682



- NOTES**
- SILT SOCK SHALL BE FILTREXX SILT SOCK OR APPROVED EQUAL.
  - SILT SOCKS SHALL OVERLAP A MINIMUM OF 12 INCHES.
  - SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
  - COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
  - IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

**Siltsock - Erosion Control Barrier** 1/16  
N.T.S. Source: VHB LD\_658

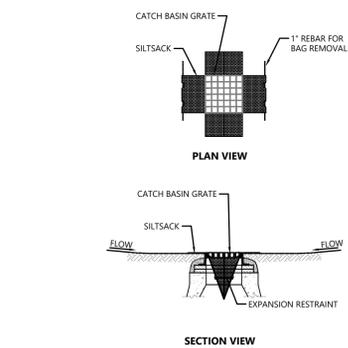
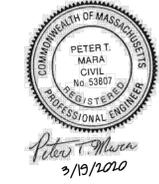
**XMBLY**  
5 Middlesex Avenue  
Somerville, Massachusetts

No.	Revision	Date	Appr.

Designed by **PTM** Checked by **DAH**  
Issued for \_\_\_\_\_ Date \_\_\_\_\_  
**Amended PUD-PMP** March 19, 2020

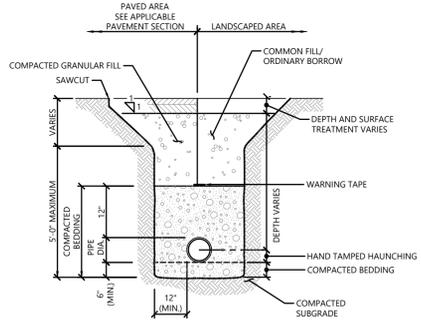
Not Approved for Construction  
Drawing Title  
**Site Details**  
Drawing Number

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Sheet 08 of 10  
Project Number 14000.00



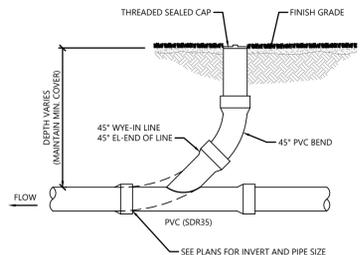
- NOTES**
- INSTALL SILT SACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
  - GRATE TO BE PLACED OVER SILT SACK.
  - SILT SACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

**Siltsock Sediment Trap** 1/16  
N.T.S. Source: VHB LD\_674

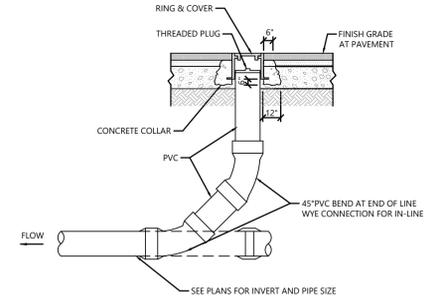


- NOTES**
- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
  - USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.

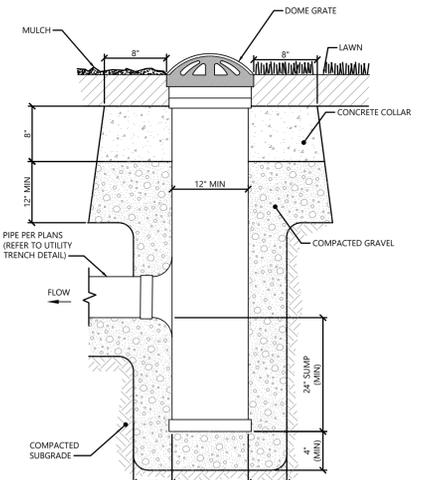
**Utility Trench** 1/16  
N.T.S. Source: VHB LD\_300



**Cleanout - Landscape Area** 1/16  
N.T.S. Source: VHB REV LD\_302



**Cleanout - Paved Area** 1/16  
N.T.S. Source: VHB REV LD\_303

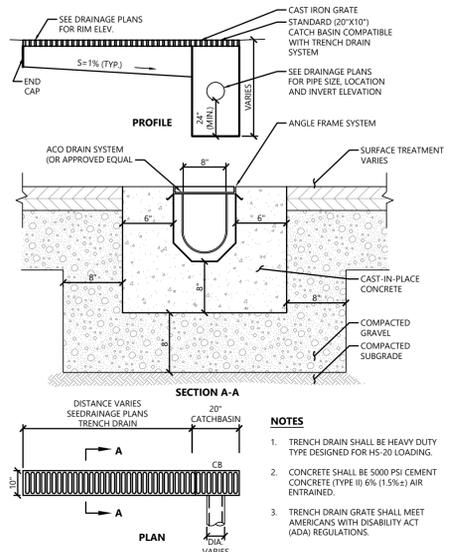


- NOTES**
- LANDSCAPE DRAINS SHALL BE NYLOPLAST 12" DRAIN BASIN, OR APPROVED EQUAL.
  - GRATES SHALL BE NYLOPLAST, 12" DOME GRATE MODEL 1299CGD, OR APPROVED EQUAL AS SHOWN ON PLANS.

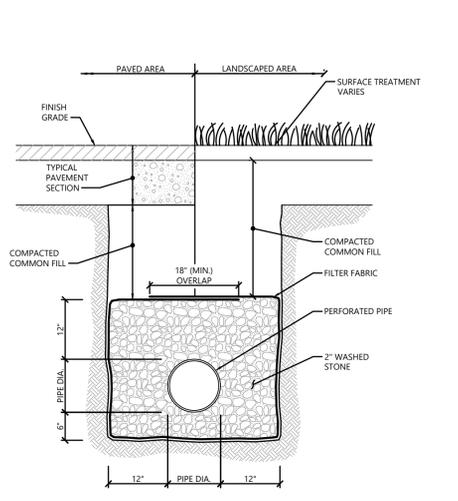
**Area Drain (AD)** 9/17  
N.T.S. Source: VHB LD\_197



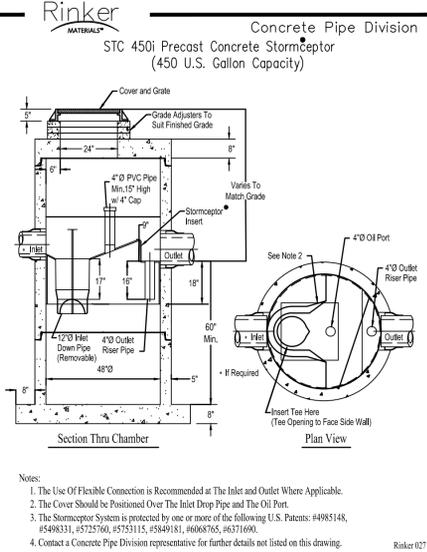
101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770



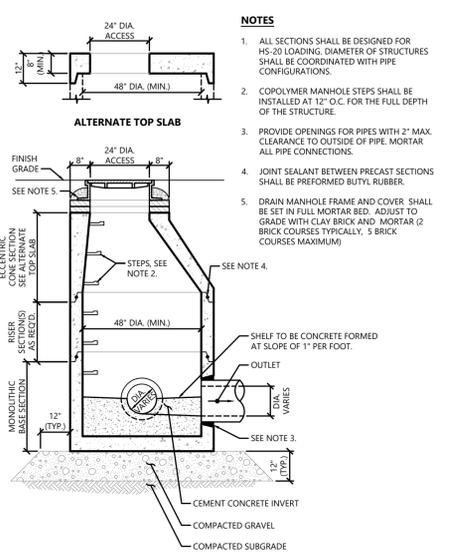
**Trench Drain (Type A)** 1/16  
N.T.S. Source: VHB LD\_190-A



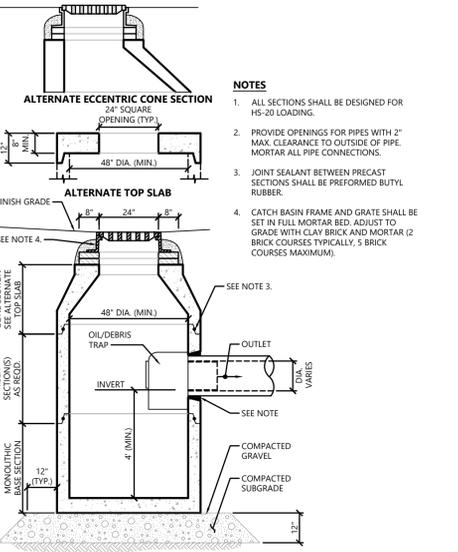
**Underdrain (UD)** 1/16  
N.T.S. Source: VHB REV LD\_184



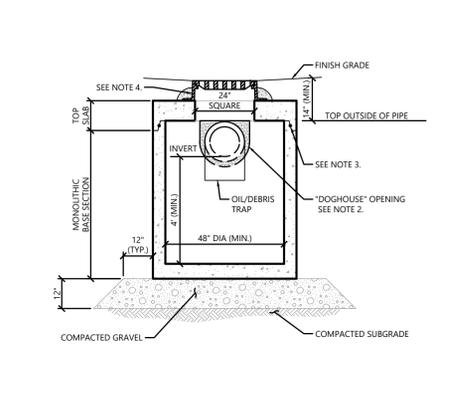
**WQU - Stormceptor 450i (or Approved Equal)** 1/16  
N.T.S. Source: RINKER LD\_184



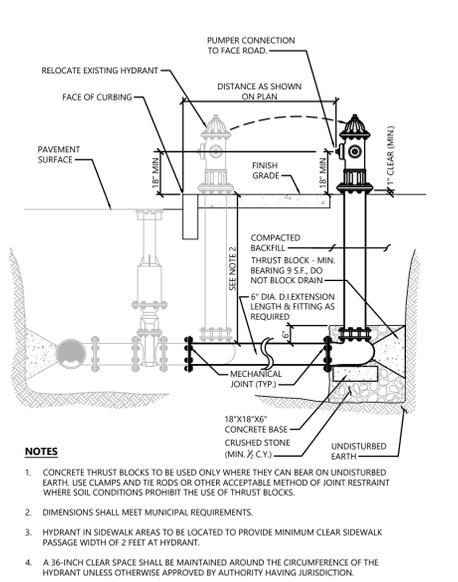
**Drain Manhole (DMH)** 1/16  
N.T.S. Source: VHB LD\_115



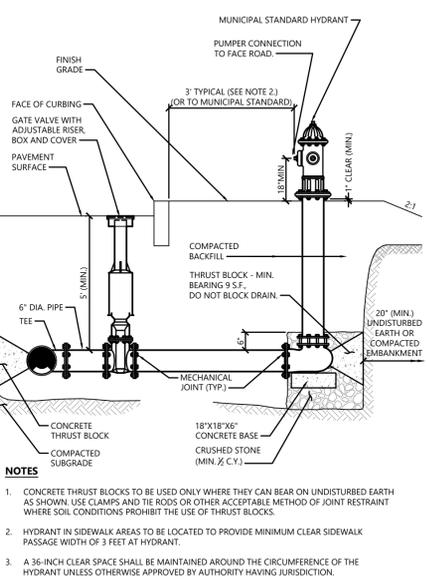
**Catch Basin (CB) With Oil/Debris Trap** 1/16  
N.T.S. Source: VHB LD\_101



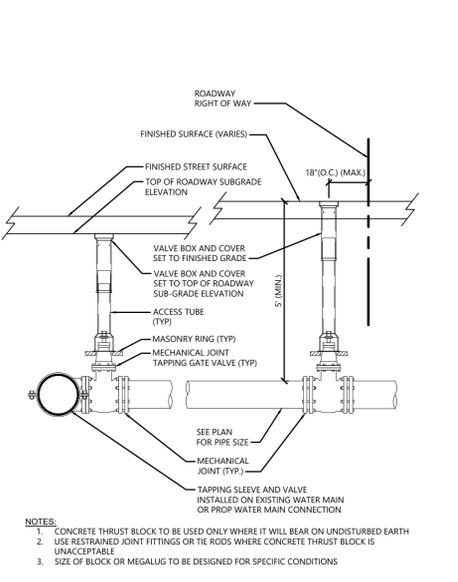
**Catch Basin (CB) Shallow Cover with Oil/Debris Trap** 1/16  
N.T.S. Source: VHB LD\_105



**Hydrant Relocation Detail** 1/16  
N.T.S. Source: VHB LD\_251



**Hydrant Construction** 12/18  
N.T.S. Source: VHB LD\_250



**Water Gate Valve Configuration** 09/18  
N.T.S. Source: VHB LD

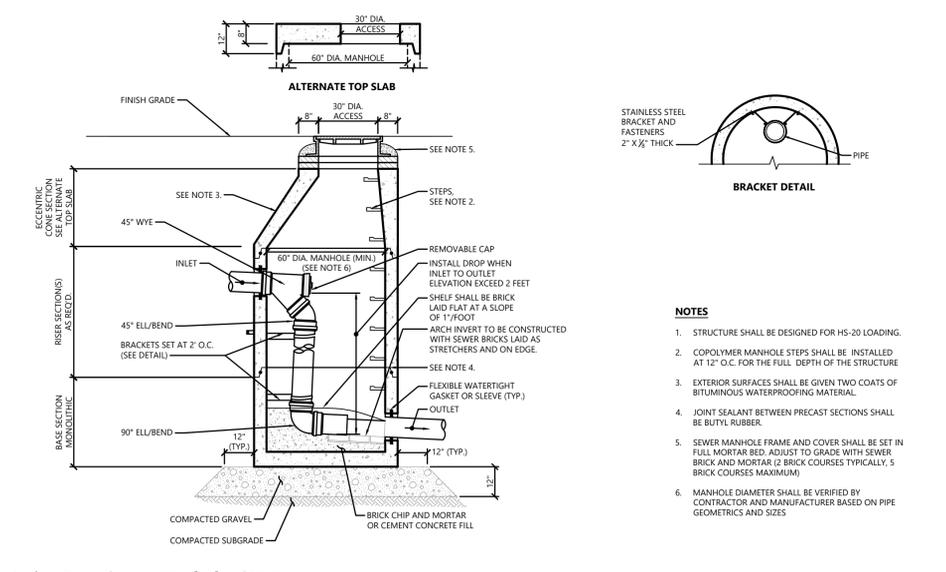
**TABLE OF DIMENSIONS**

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F
6" 11 1/2"	8"	15"	12"	24"	12"	6" 45"	8"	30"	12"	24"	14"
6" 22 1/2"	-	19"	-	-	13"	6" 90"	-	30"	-	-	27"
8" 11 1/2"	-	20"	-	-	12"	8" 45"	-	30"	-	-	24"
8" 22 1/2"	-	22"	-	-	17"	8" 90"	-	38"	-	-	36"
12" 11 1/2"	-	30"	-	-	15"	12" 45"	-	40"	-	-	40"
12" 22 1/2"	-	35"	-	-	25"	12" 90"	-	60"	-	-	52"

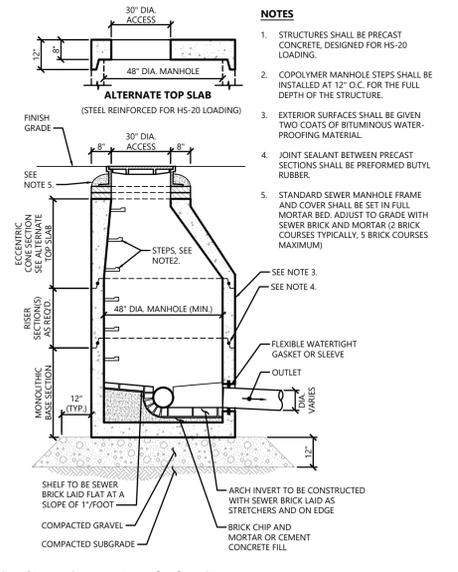
**TEES**

TEES	G	H	I	J	TEES	G	H	I	J
6"x6"x6"	12"	24"	24"	18"	12"x12"x6"	12"	24"	24"	18"
8"x8"x6"	-	-	-	-	12"x12"x8"	-	-	-	24"
8"x8"x8"	-	-	-	24"	12"x12"x12"	-	-	36"	36"

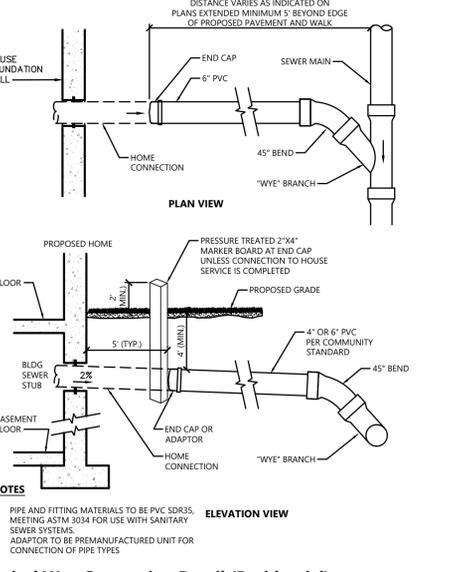
**Concrete Thrust Block** 1/16  
N.T.S. Source: VHB LD\_260



**Interior Drop Sewer Manhole (SMH)** 1/16  
N.T.S. Source: VHB LD\_205



**Sanitary Sewer Manhole (SMH)** 1/16  
N.T.S. Source: VHB LD\_200



**Typical Wye Connection Detail (Residential)** 1/16  
N.T.S. Source: VHB REV LD\_223

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No.	Revision	Date	Appr.

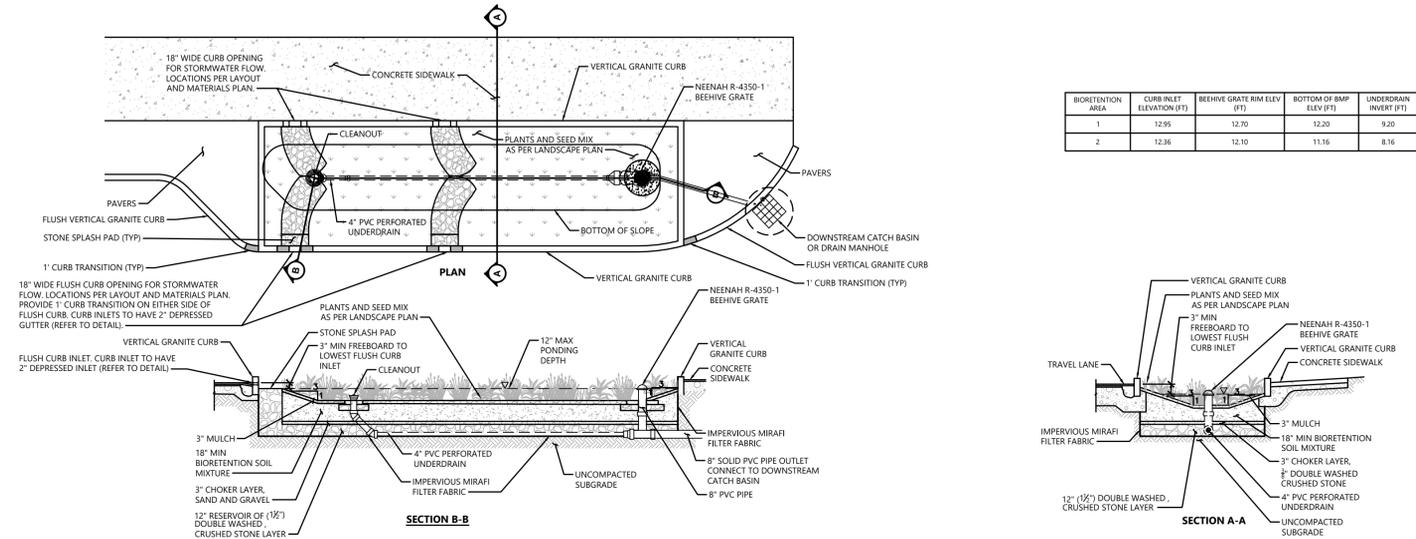
Designed by **PTM** Checked by **DAH**  
Issued for **Amended PUD-PMP** Date **March 19, 2020**

Not Approved for Construction  
Drawing Title **Site Details**  
Drawing Number

**C-9**  
Sheet **09** of **10**

Project Number **14000.00**

Saved Thursday, March 19, 2020 9:25:28 AM PIMARA Plotted Friday, March 20, 2020 2:55:27 PM Mara, Peter

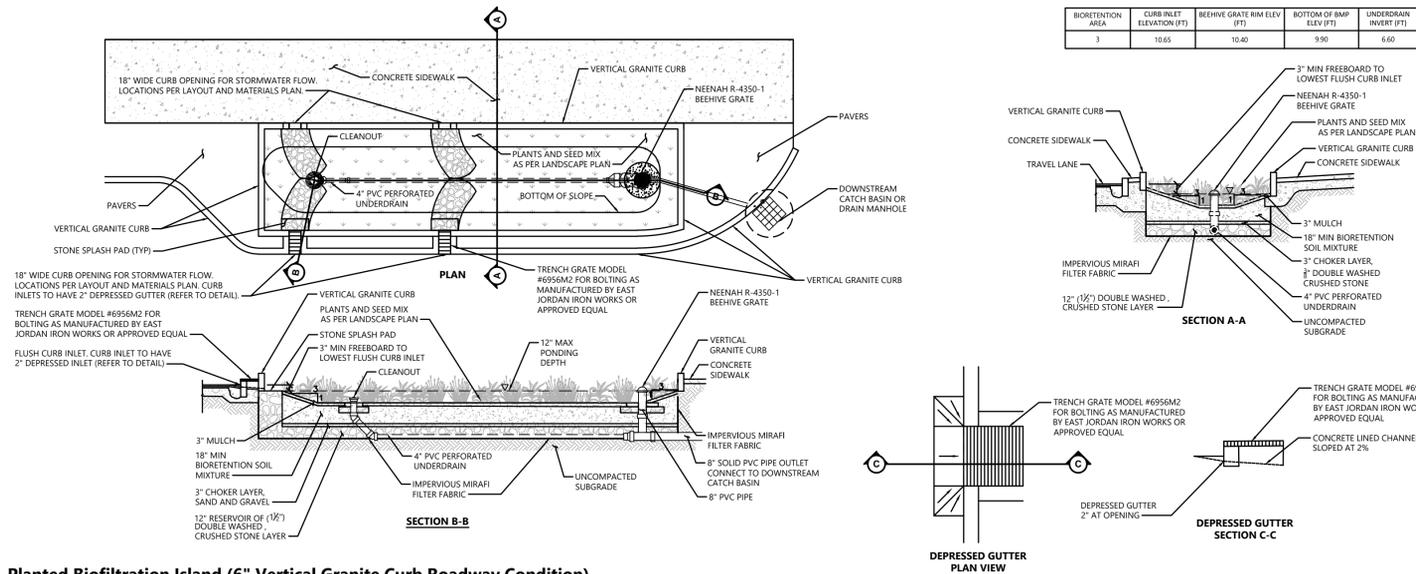


**Planted Biofiltration Island (Flush Vertical Granite Curb Roadway Condition)**

N.T.S.

Source: VHB/City of Philadelphia

1/19  
14000.00



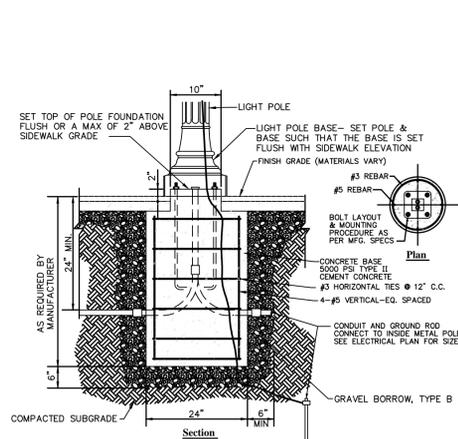
**Planted Biofiltration Island (6" Vertical Granite Curb Roadway Condition)**

N.T.S.

Source: VHB/City of Philadelphia

1/19  
14000.00

Saved Thursday, March 19, 2020 9:25:28 AM PMARA Plotted Friday, March 20, 2020 2:55:38 PM Mara, Peter

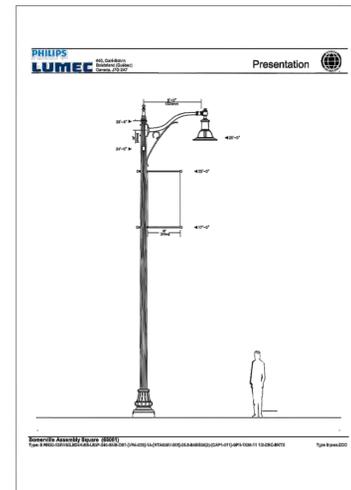


**Notes:**  
1. LIGHT POLE FOUNDATION DESIGN IS SUBJECT TO CHANGE BASED ON FINAL POLE AND FIXTURE SELECTION AND GEOTECHNICAL SITE INVESTIGATION.

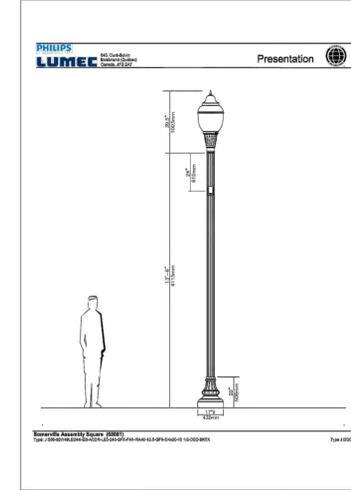
**Light Pole Foundation Detail**

N.T.S.

Source: VHB



TYPE "B" POLE & FIXTURE  
NOT TO SCALE



TYPE "A" POLE & FIXTURE  
NOT TO SCALE

**XMBLY**  
5 Middlesex Avenue  
Somerville, Massachusetts

No.	Revision	Date	Appr.

Designed by **PTM** Checked by **DAH**  
Issued for **Amended PUD-PMP** Date **March 19, 2020**

Not Approved for Construction  
Drawing Title **Site Details**

Drawing Number  
Sheet **C-10** of **10**

Project Number **14000.00**  
Professional Engineer Seal: PETER T. MARA, CIVIL, No. 53807, 3/19/2020



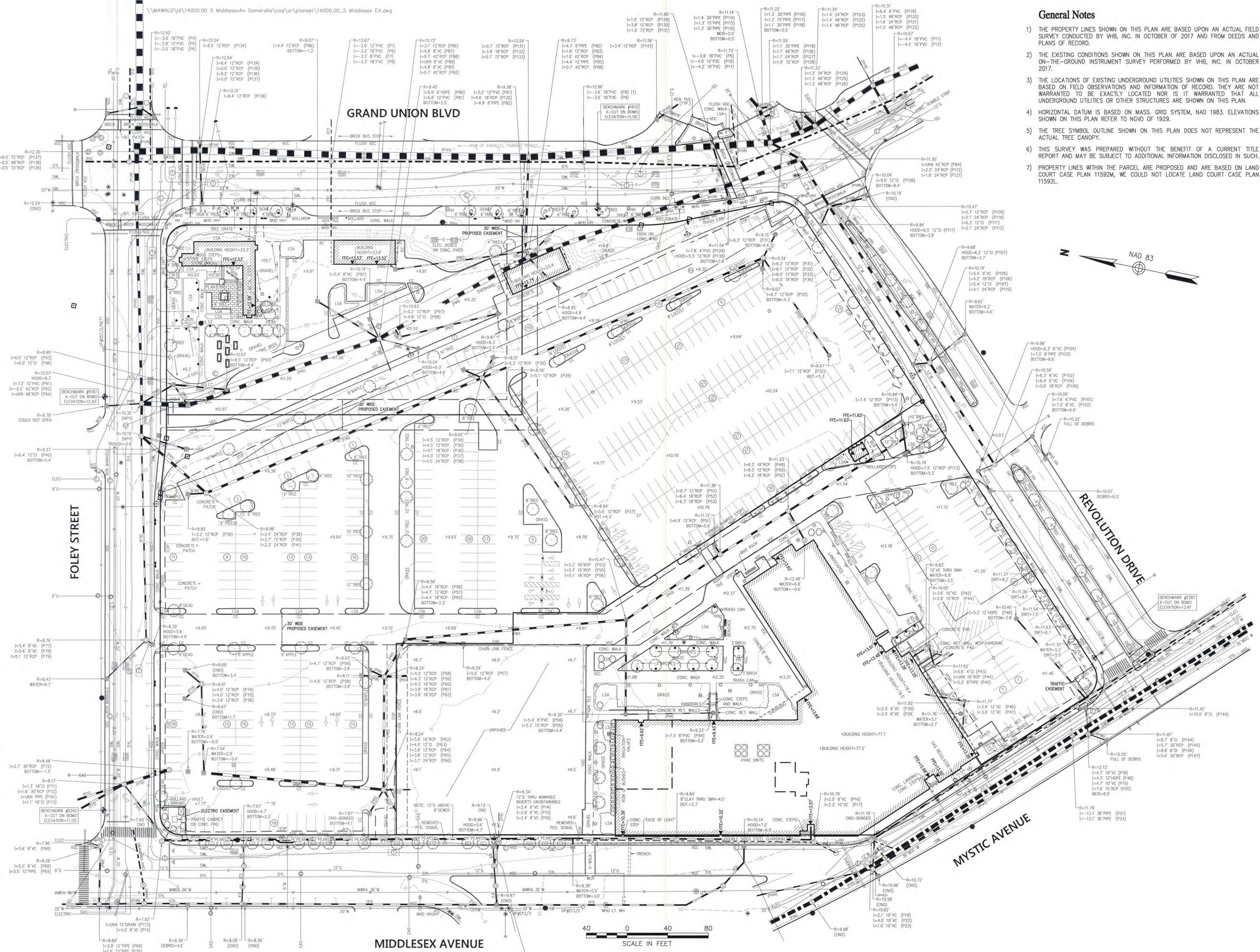
101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770

### General Notes

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN OCTOBER OF 2017 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB, INC. IN OCTOBER 2017.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NGVD OF 1929.
- 5) THE TREE SYMBOL OUTLINE SHOWN ON THIS PLAN DOES NOT REPRESENT THE ACTUAL TREE CANOPY.
- 6) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY BE SUBJECT TO ADDITIONAL INFORMATION DISCLOSED IN SUCH.
- 7) PROPERTY LINES WITHIN THE PARCEL ARE PROPOSED AND ARE BASED ON LAND COURT CASE PLAN 11592M, WE COULD NOT LOCATE LAND COURT CASE PLAN 11592L.

### Legend

- ⊕ DRAIN MANHOLE
- ⊕ CATCH BASIN
- ⊕ SEWER MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊕ TELEPHONE MANHOLE
- ⊕ MANHOLE
- ⊕ HANDHOLE
- ⊕ ELECTRIC BOX
- ⊕ ELECTRIC W/ PLUG BOX
- ⊕ WATER GATE
- ⊕ FIRE HYDRANT
- ⊕ GAS GATE
- ⊕ WATER IRRIGATION VALVE
- ⊕ BOLLARD w/LIGHT
- ⊕ PARKING METER
- ⊕ STREET SIGN
- ⊕ PEDESTRIAN LIGHT SIGNAL
- ⊕ LIGHT POLE
- ⊕ UTILITY POLE
- ⊕ GUY POLE
- ⊕ GUY WIRE
- ⊕ MONITORING WELL
- ⊕ FLOOD LIGHT
- ⊕ BOLLARD LIGHT
- ⊕ WELL
- ⊕ MARSH
- ⊕ DOOR/ENTRANCE
- FFE FINISHED FLOOR ELEVATION
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- LNK ELEVATION UNKNOWN
- DYL DOUBLE YELLOW LINE
- DWL DASHED WHITE LINE
- SYL SINGLE WHITE LINE
- LSA LANDSCAPED AREA
- EDGE OF PAVEMENT
- CONC CURB
- VCC VERTICAL GRANITE CURB
- SSE SLOPED GRANITE EDGE
- BC BITUMINOUS BERM
- BC BITUMINOUS CURB
- MG METAL GUARDRAIL
- WG WOOD GUARDRAIL
- WF WOOD FENCE
- CLF CHAIN LINK FENCE
- WIF WROUGHT IRON FENCE
- DLN DRAINAGE LINE
- SLW SEWER LINE
- OWH OVERHEAD WIRE
- E UNDERGROUND ELECTRIC
- TEL TELEPHONE LINE
- G GAS LINE
- W WATER LINE
- SMW STONE WALL
- TL TREE LINE



### Project Title

5 Middlesex Avenue  
Somerville, Massachusetts

No.	Revision	Date	Appr.

Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_

Issued for: \_\_\_\_\_ Date: **November 28, 2017**

### Existing Conditions Plan of Land

Drawing Number

Sv-1

Sheet 1 of 1

Project Number  
**14000.00**

*Selby L. Turner III*  
3/15/2018