



JOSEPH A. CURTATONE  
MAYOR



**CITY OF SOMERVILLE, MASSACHUSETTS**  
**COMMUNITY PRESERVATION COMMITTEE**  
**FY21 FUNDING CYCLE**  
**APPLICATION COVER PAGE**

**1. PROJECT INFORMATION**

PROJECT NAME: Grace Baptist Church

PROJECT LOCATION: 59 Cross Street, Somerville, MA 02145

LEGAL PROPERTY OWNER OF RECORD: Somerville Hispanic Association for Community Development (SHA4CD)

ONE SENTENCE DESCRIPTION OF PROJECT: Repair of existing slate roof & replacement of related flashing & gutters; repointing of brick masonry; replacement of entry doors & hardware; new accessible exterior entry ramp to lower level.

*Please indicate (X) all categories that apply to this project (minimum of one) in the chart.*

	Open Space	Recreational Land	Historic Resources	Community Housing (blended projects only)
Acquisition				
Creation				
Preservation			X	
Support				
Rehabilitation/ Restoration			X	

ESTIMATED START DATE: April 15, 2021

ESTIMATED COMPLETION DATE: July 15, 2021

CPA FUNDING REQUEST: \$419,750

TOTAL BUDGET FOR PROJECT: \$347,000

**2. APPLICANT INFORMATION**

APPLICATION NAME / ORGANIZATION: Somerville Hispanic Association for Community Development

CO-APPLICATION NAME / ORGANIZATION: N/A

CONTACT PERSON: Salvador Demallistre

MAILING ADDRESS: 59 Cross Street, Somerville, MA 02145

PHONE: (781) 244-7324

EMAIL: sdemallistre@sha4cd.org

**3. SIGNATURES**

I (we) certify that all information provided in this entire submission is true and correct to the best of my (our) knowledge and that no information which might reasonably affect funding has been excluded. I (we) authorize the Community Preservation Committee and/or the City of Somerville to obtain verification from any source provided.

Name (printed) Salvador Demallistre

Signature

Date September 15, 2020

Name (printed) \_\_\_\_\_

Signature \_\_\_\_\_

Date \_\_\_\_\_



JOSEPH A. CURTATONE  
MAYOR



**CITY OF SOMERVILLE, MASSACHUSETTS**  
**COMMUNITY PRESERVATION COMMITTEE**  
**FY21 FUNDING CYCLE**  
**SUBMISSION REQUIREMENTS CHECKLIST**

Please check (✓) each item included in your submission, which should include the applicable items in the order listed below.

**GENERAL:**

- ☒ Application Cover Page (form provided)
- ☒ Submission Requirements Checklist (this form)
- ☒ Narratives (prompts provided in instruction packet)
- ☒ Project timeline: a project schedule showing all major milestones (i.e., study, design, environmental, permitting, construction, etc.), including receipt of other funding sources
- ☒ Grant and Trust Funds Disclosure Form (form provided)
- ☒ Campaign Contribution Mandatory Disclosure and Certification Form (form provided- only needed if requesting \$50,000 or more in CPA funds)
- ☒ Ordinance to Safeguard Vulnerable Road Users Acknowledgement (form provided)

**FINANCIAL:**

- ☒ Budget Summary (form provided- construction projects must include cost for permanent CPA dedication sign)
- ☒ Itemized budget of all project costs, including the proposed source for each cost
- ☒ Three written quotes for project costs. If quotes cannot be secured, detailed cost estimates may be used if a thorough explanation of the estimates is included.
- ☐ Proof of secured funding (e.g., commitment letters or bank statements), if applicable. If providing bank statements, please redact identifying information such as account numbers.

**VISUAL:**

- ☒ Map of the property location showing all features pertinent to the project, including current or future rapid transit stations
- ☒ Photos of the project site (not more than 4 views per site); include digital copies

**OWNERSHIP/OPERATION (NON-CITY):**

- ☐ Documentation of site control or written consent of the property owner to undertake the project, if the owner is not the applicant
- ☐ City has signed on as a co-applicant for community projects proposed on City land.
- ☐ Certificates of Good Standing from the City and the State, if applicable
- ☒ 501(c)(3) certification, if operating as a non-profit
- ☒ Purchase and sale agreement or copy of current recorded deed, if applicable

**COMMUNITY SUPPORT (RECOMMENDED):**

- ☐ Letters of support from residents, community groups, other City boards, commissions, or departments, or from City, state, or federal officials

**HISTORIC RESOURCES PROJECTS:**

- ☒ Documentation that the project is listed on the State Register of Historic Places or a written determination from the Somerville Historic Preservation Commission that the resource is significant in the history, archeology, architecture, or culture of Somerville.
- ☒ Photos documenting the condition of the property
- ☒ Report or condition assessment by a qualified professional describing the current condition of the property, if available.

**PLANS AND REPORTS (IF AVAILABLE; SUBMIT DIGITAL COPIES ONLY)**

- ☒ Renderings, site plans, engineering plans, design and bidding plans, specifications, and any MAAB variance requests
- ☐ Applicable reports (e.g., 21E, historic structure report, appraisals, survey plans, feasibility studies).

City of Somerville, Massachusetts  
Community Preservation Committee  
FY21 Funding Cycle

**Application Narrative**

Project Description

1. Project Location:

Somerville Hispanic Association for Community Development  
59 Cross Street  
Somerville, MA 02145

The property is the former Grace Baptist Church, which was constructed in 1892 and is listed by the Massachusetts Historical Commission as a contributing historic resource to the *"Somerville Single Building Local Historic District."*

2. Project Benefits:

The property is heavily used by the surrounding community and largely functions as a community social service center. Services include a day care center, a homeless shelter for single mothers, a food pantry, the providing of clothes, books and toys to children, and a venue for social activities for residents of the surrounding community.

The Mission of the Somerville Hispanic Association *"is to provide supportive services to our diverse and cultural Somerville Community and neighborhood. We are committed in developing programs that build strong kids, strong families, and strong communities."*

The Romanesque Revival building is a landmark for the community and has a strong, visual street presence. The two, tall, brick masonry towers are visible markers for the neighborhood.

It is vital for the various roofs and related flashing and gutters of the building to be durable and intact. Weather-resistant roof surfaces protect the historic structure and guarantee the continued use of the building as a community center providing essential services.

It is also important to provide accessibility to the building's main entrances. Currently, individuals with disabilities find it very difficult, or impossible, to navigate the current steep grades and stairs that lead to the various building entries.

The existing main entry doors are difficult to close and lock, due to the deteriorated condition of the doors, doorframes and related hardware. This security situation puts the



residents and users of the building at risk. New doors and hardware are required at the primary entrances.

### 3. Conformance with CPC Priorities:

As a designated and listed historic resource, this building incorporates much embodied energy originally used in the production of its brick exterior walls, timber framing and slate roofing.

Historic preservation of a structure heavily used for community uses, including the feeding and housing of its citizens, meets one of the primary goals of the Somerville Community Preservation Act.

The building serves long-standing and urgent needs of the surrounding community. It will undoubtedly adapt to future needs of the community as they arise and change.

The various programs offered within the building can act as *"catalysts for transformative change"* within the surrounding Somerville community.

CPA priorities also provide for support in making historic resources accessible to all members of the Somerville community.

## Measuring Success

### 1. Project Goals:

The primary goal of this project is to provide repairs to the roofing slate and associated flashing that will keep water from damaging structure and finishes within the building. This work will protect a historic resource and allow existing programs to continue uninterrupted within the building.

Another goal is to initiate a longer-term goal of providing full accessibility to all major areas of the building. The first phase of that work will be to create site access to the lower level of the building.

The lower level contains the Social Hall & Dining Room, as well as the Kitchen. It is also the storage and distribution point of the SHA4CD Food Pantry, and is heavily visited by neighborhood residents. A new exterior sidewalk ramp, fully compliant with all MAAB regulations, is proposed to connect to the building from the public sidewalk along Cross Street.

This phase of accessibility work also proposes to raise the level of the lower level Social Hall & Dining Room to match the level of the adjoining kitchen and stage levels. The new accessible entrance and exterior sidewalk will match the new, higher floor elevation of the interior space. These improvements will allow full accessibility to the current kitchen and its food pantry services. In future phases of work, accessible rest rooms and an elevator for access to all floors are planned.

Another goal is to provide more secure access at all of the primary entries to the building. Existing doors and all related hardware need to be replaced with fully functional panic hardware and locking devices to protect the users and residents of the building.

2. Measurements of Success:

One measurement is to have new roof and flashing systems in place that have been properly installed and detailed to provide approximately another 75-100 years of service.

Another measurement is to have a new accessible sidewalk that replaces the existing stairs and steps that are currently a barrier to accessibility from the public sidewalk.

The successful completion of the first phase of accessibility work will show a strong commitment to further accessibility programs within the building, such as accessible rest rooms and an elevator to serve all floors.

New entry doors and hardware at the primary entries will provide increased security to the building and its occupants.

## Financial

1. Project Funding & Cost-Saving Measures:

The Somerville Hispanic Association for Community Development has previously been successful in obtaining two funding grants from the Massachusetts Historical Commission and the Somerville CPC. The first phase of work was for the replacement of the semi-circular slate roof and its radius gutter at the east end of the building. This work also included the rebuilding of flat window arches within the day care level of the building, and the strengthening of the roof and ceiling structure within that space.

The second phase of CPC and MHC funded work included the recently finished brick masonry repointing and replacement of damaged brick at the base of the southeast tower. The repairs to the main roofing slate and related flashing and gutters are about to commence after delays related to the Covid-19 pandemic.

The low bidder for the main roofing work is the same general contractor who completed the first phase of work on the semi-circular portion of the building. They are familiar with the building and will be using many of the same materials and details that were required for the first phase of work.

2. Determination of Total CPA Funding:

The total request for CPA funding was determined by an in-house cost estimate prepared by the architecture and preservation consultant Spencer, Sullivan and Vogt. In addition, a more formal cost estimate was prepared by the general contractor currently completing the first phase of work at the east end of the building. The total request represents a combining of the two cost estimate efforts.

3. Multiple-Year Funding:

The project will require funding over multiple years, due to the size of the building and the goal of providing full accessibility as follows:

2021: \$419,7500 total hard and soft costs

2022: \$500,000 total hard and soft costs

The 2022 project scope will conclude the multi-year work program. It will include the restoration of the many stained glass window sashes and frames along the north and south sides of the building, as well as those within the semi-circular east wall.

The other focus of the 2022 work scope would be the installation of an elevator serving all three floors, and the addition of new accessible restrooms to serve all building users.

4. Effect on Project If Not Funded:

If full funding is not provided, the project scope will be scaled back to include only the most pressing work items. The overall proposed work scope has already been scaled back to offer a more reasonable budget for CPC consideration.

The accessibility improvements are a critical component of a proposed work. Currently, anyone with a disability must ascent a series of steep steps, steep slopes, and a steep ramp to enter from the south side of the building. This is the side of the building that has the driveway. Individuals with disabilities typically are driven to this side of the building, where they can be assisted up an existing non-MAAB-compliant ramp, and into the south Sanctuary entrance.

## Project Management

1. Applicant Description:

The Somerville Hispanic Association for Community Development is a non-profit entity that purchased the building in June of 2006. A board of directors governs the Association.

2. Co-Applicant Management:

The Somerville Hispanic Association for Community Development is not applying for CPC funding as a co-applicant.

3. Successful Completion of Similar Projects:

The applicant has previously worked with the architecture and preservation firm of Spencer, Sullivan and Vogt on two other projects. The first CPA-funded work phase restored the eastern, semi-circular roof and its associated copper gutter, brick masonry dentil cornice and flat window arches. As part of that project, interior work included the

replacement of the plaster ceiling in the day care center occupying the space below the roof, and the reinforcement of the roof and attic floor framing directly above.

Spencer, Sullivan and Vogt is about to start the second phase of CPA-funded work on the building, which focuses on the replacement of the slate roof, and related flashing, that is associated with the cross gables of the main roof. The general contractor for the current work, Cenaxo, would be interested in bidding on the proposed work described in this application. Cenaxo performed well in completing the first CPA-funded scope of work.

During the bidding process for the proposed work, Spencer, Sullivan & Vogt would identify and invite additional qualified bidders to submit bids as well.

4. Project Participants and Roles:

Salvador Demallistre:	Project Manager representing SHA4CD, of which he is the CEO
Lynne Spencer:	Principal for Preservation at Spencer, Sullivan and Vogt, Inc.
John Hecker, RA:	Project Architect for Spencer, Sullivan and Vogt, Inc.

5. Feasibility of the Project Within Timeline and Budget:

Our proposed budget is based upon a cost estimate prepared by the general contractor currently working on the project. We have estimated the accessibility improvements based upon our own assessment of the work scope. We have confirmed with Cenaxo that the proposed timeline of three months would be adequate for this project.

6. Barriers to On-Time Project Commencement and Completion:

We do not anticipate any known or potential barriers to the successful commencement and completion of the project. However, long periods of rain are always a concern when one is undertaking roofing work.

7. Ongoing Maintenance and Programming Required:

Salvador Demallistre will be responsible for the coordination of any other on-going maintenance on other portions of the building, as well as the coordination of use of the building's entrances or interior spaces by tenants or user groups.

8. Permits, Approvals, Variance Requests and Restrictions:

The proposed roofing and site accessibility scope of work will necessitate a regular building permit. The site accessibility improvements were designed following the guidelines of the MAAB. We do anticipate the need for any variances for either work scope. The roofing work would be considered routine repairs.

#### 9. Impact of Previously Received CPA Funds:

The building previously utilized CPA funds (Phase I) in the reroofing of the eastern, semi-circular slate roof, its radius (curved) gutters, and new base and counter-flashing. Within the Day Care area, structural deficiencies were corrected in the ceiling and roof framing that were discovered during the roofing work. The flat arches over the window openings were rebuilt with new brick and embedded steel lintels, after they were discovered to be near failure. The building owner is grateful for being able to utilize CPA funds for the required emergency repairs that were completed during the first phase of the work.

Phase II of the scheduled MHC and CPA-funded work is currently underway. The MHC portion included brick masonry cutting and repointing, replacement of spalled bricks, and the restoration of six upper windows and the large semi-circular window within the eastern gable facing Cross Street.

The base of the southeast town was significantly repointed during MHC Phase II. The repointing mortar was matched to a protected wall area near the day care entry door. This mortar color will be the basis for all future brick masonry restoration.

An additional allocation from the MHC will allow new storm windows to be placed on all of the windows of the semi-circular wing facing Cross Street. The new storm windows will help to protect the beautiful "cracked ice" stained glass windows within the day care center.

The Phase II CPA grant is now being utilized to repair the slate roof and flashing of the two cross gables on the main roof. The upper portion of the main chimney will also be partially disassembled and reconstructed. New copper gutters and downspouts will be installed below both cross gable roof areas.

#### Historic Resources Rehabilitation Projects

##### 1. Compliance of Proposed Work with Secretary of the Interior's Standards for Rehabilitation:

All proposed work will conform to applicable sections of the NPS Guidelines. Slate roofing will be removed and salvaged for re-use, where possible. New replacement slate will match the existing slate as closely as possible, with respect to color, size, texture and exposure. All flashing will be red copper.

##### 2. Historic Preservation Decisions:

Decisions during construction concerning historic materials and details will be made by Lynne Spencer and John Hecker of Spencer, Sullivan and Vogt, Inc.

## Accessibility Requirements

### 1. Compliance with ADA/MAAB Regulations:

The long-term goal of providing full accessibility to all major areas of the building will conform to all MAAB rules and regulations. The first phase of the accessibility work will be to create site access to the basement of the building from the public sidewalk via a new exterior ramp.

The first phase of accessibility work will also raise the level of the basement Social Hall to be consistent with the kitchen and stage levels, as well as the new accessible entrance that is part of the currently planned work. These improvements will allow full accessibility to the Social Hall, current kitchen and its food pantry services.

Future improvements, scheduled for 2022, if funding is available, would provide accessible rest rooms and an elevator for access to all floors.



Proposed Project Timeline

City of Somerville, MA / CPA Application FY21

Grace Baptist Church  
59 Cross Street  
Somerville, MA 02145

September 15, 2020

<u>Bid Documents Completed:</u>	February 12, 2021
<u>Public Bid Advertisement:</u>	March 10, 2021
<u>Site Visit for Bidders:</u>	March 17, 2021
<u>Bids Due:</u>	April 2, 2021
<u>Project Awarded:</u>	April 9, 2021
<u>Commencement of Work:</u>	April 19, 2021
<u>Final Project Completion:</u>	July 16, 2021



**GRANT AND TRUST FUNDS DISCLOSURE FORM**  
**PURSUANT TO CITY OF SOMERVILLE CODE OR ORDINANCES SEC. 15**

(copies of the Ordinance are available upon request)

**Instructions:** All applicants for grant and/or trust funds administered by the City must complete this form as part of its application submission to the City of Somerville. Complete all sections of this form.

**Section 1**

Legal Name of Applicant:

Indicate whether the applicant had any grant, contract, or agreement with a federal, state or local agency terminated within the last three (3) years.

**Check One:**

☐

Yes

(If yes, please identify the grant, contract, or agreement including parties, term, and cause of termination on an additional page.)

☒

No

**Section 2**

**Applicants are required to disclose any circumstances constituting a conflict of interest or potential conflict of interest arising from or relating to the proposed grant or trust disbursement, whether real or apparent.**

**Conflict of Interest Prohibited.** No employee, officer or agent of the grantee shall participate in any particular matter, including but not limited to, the selection, or in the award or administration of a contract, grant or subgrant, or employment agreement administered by way of funds received by the City of Somerville if a conflict of interest, real or apparent, would arise. Such a conflict would arise when:

- 1) an employee, officer or agent, or
- 2) any member of his or her immediate family, or
- 3) a business organization in which he or she is serving as officer, director, trustee, partner, or employee; or
- 4) any person or organization with whom he or she is negotiating or has any arrangement concerning prospective employment,

has a financial or other interest in the person or entity selected for an award, or a contract, grant, subgrant, or employment agreement of the grantee or the funds for which originate from or are awarded through the city.

**Check One:**

☒

**No Conflict Of Interest**

☐

**Potential or Actual Conflict of Interest** (If checked, disclose in detail all relevant facts, including names of individuals or organizations, relevant contract, grant, subgrant or employment agreement, and source of funding on an additional page.)

### **Section 3**

Attach a copy of applicant's policy addressing conflicts of interest that may arise involving management, employees and the members of its board of directors or other governing body. See the *City of Somerville Code of Ordinances Section 15-42(c)* for complete requirements. Should the policy be revised during the grant term, a copy of the revised policy must be submitted to the City within thirty (30) days of being revised.

### **Section 4**

Identify all officers, employees, contractors, subgrantees or other persons providing any type of service in relation to the proposed grant activity, in the following format. Use additional page(s) as necessary.

Name (Individual or Entity)	Association	Service Provided	Value of Service (\$)	Amount of City Funds Supporting Service (\$)	Mark "X" if individual or entity has had any grant, contract, or agreement with a federal, state or local agency terminated within the last 3 years.*
Not Applicable					

\*If yes, please identify the grant, contract, or agreement including parties, term, and cause of termination on an additional page.

### **Section 5**

This form is hereby completed on behalf of the applicant named above. Through the undersigned individual, the applicant hereby certifies that the completed form is true and accurate. The applicant acknowledges that it has read, understands, and agrees to comply with, the requirements of *City of Somerville Code of Ordinances Section 15*.

During the term of any grant, grantees have a continuing obligation to submit an updated Disclosure Form to the City of Somerville immediately as to any circumstances which constitute a potential or actual conflict of interest.

Signature: 

Print Name of Authorized Individual: Salvador Demallistre

Title: Chief Executive Officer

Date: 9/15/2020



**CITY OF SOMERVILLE CAMPAIGN CONTRIBUTION ORDINANCE SEC. 15-72\***  
**MANDATORY DISCLOSURE AND CERTIFICATION FORM**

**INSTRUCTIONS:** APPLICANTS, PLEASE COMPLETE THE ENTIRE FORM AND FILE WITH THE SAME CITY OFFICE OR AGENCY WITH WHOM YOU FILED OR WILL FILE BELOW APPLICATION.

**PART I. APPLICATION FOR ITEM**

**Describe the item** you have, or will apply for, relating to this disclosure:

ITEM:	
TYPE (X):	<input type="checkbox"/> Contract <input type="checkbox"/> Zoning Relief <input type="checkbox"/> Real Estate <input checked="" type="checkbox"/> Financial Assistance
CITY DEPT. OR AGENCY:	City of Somerville Community Preservation Committee - FY21 CPA Grant

**PART II. APPLICANT INFORMATION**

Provide the following information for the Applicant:

NAME:	Salvador Demallistre
ADDRESS:	59 Cross Street
TELEPHONE NO.:	(781) 244-7324
E-MAIL:	sdemallistre@sha4cd.org

**On Schedule A**, you must also provide the same information for the Applicant's principals, chief executive officer, president, chief financial officer, treasurer, chief operating officer, chief procurement officer, directors, or persons performing similar functions, or shareholders in excess of ten percent and managing agent to the extent applicable. **Please complete Schedule A. If not applicable, please check N/A on Schedule A.**

**PART III. CAMPAIGN CONTRIBUTION DISCLOSURE**

**On Schedule B**, Applicants must disclose all contributions made by the applicant during the 12 months prior to the application (identified in Part I), to any person who was a candidate for elective office of the City of Somerville (mayor, board of aldermen, and school committee). The attribution rules in Section 15-73 of the Somerville Code of Ordinances shall apply to the contributions that must be disclosed. **On Schedule B**, applicants must also disclose such contributions made by persons attributed to the applicant under the ordinance. If the applicant is an individual, any such contributions made by the individual, any spouse of the individual, and any children of the individual must be disclosed. If the applicant is not an individual but a corporation, partnership or limited liability corporation, then any contributions made by any of its chief executive officer, president, chief financial officer, treasurer, chief operating officer, chief procurement officer, directors, members, managers, principals, or persons performing similar functions, or shareholders in excess of ten percent, and their spouses and children, must be disclosed. **Please complete Schedule B. If disclosure is not required, please check N/A on Schedule B.** *Note: Contributions made before January 1, 2017 are not required to be disclosed.*

\* Please see the Pay to Play and Campaign Contribution Ordinance for definitions and all requirements

**PART IV. SUBCONTRACTOR INFORMATION**

Have you applied for a Contract and intend to use a subcontractor on this Contract? ☐ Yes ☒ No

If "Yes", complete Schedule C. If "No", proceed to Part V.

**PART V. SIGNATURE, CERTIFICATION, AND ATTESTATION:**

I, the undersigned applicant, hereby further certify as follows: If awarded the item that is applied for (as identified above) under subsections (a), (b), (c), or (d) in Section 15-72 of the Somerville Code of Ordinances, the Applicant, and anyone attributed to the Applicant, and if the application is for a contract any subcontractor used on the contract, will not make any contribution in any calendar year in an amount in excess of \$500.00 to any individual incumbent or to any individual candidate for elective office of the City of Somerville for the next four (4) calendar years following the award of the item, or for the duration of the term of the contract, whichever is longer.

Signed under the pains and penalties of perjury:

Signature of Affiant: [Signature] Title: Chief Executive Officer

Printed Name of Affiant: Salvador Demallistre Date: 9/15/2020

Subscribed and sworn before me this 15<sup>th</sup> day of September, 2020.

My Commission expires: 03-02-2023

[Signature] (Witnessed or attested by)  
(Seal)  
RYAN J. BANKS  
Notary Public  
Commonwealth of Massachusetts  
My Commission Expires Mar. 02, 2023

**THIS FORM SHALL BE OPEN TO PUBLIC INSPECTION**



## SCHEDULE A – APPLICANT INFORMATION

**INSTRUCTIONS:** FOR EACH OF APPLICANT’S PRINCIPALS, CHIEF EXECUTIVE OFFICER, PRESIDENT, CHIEF FINANCIAL OFFICER, TREASURER, CHIEF OPERATING OFFICER, CHIEF PROCUREMENT OFFICER, DIRECTORS, OR PERSONS PERFORMING SIMILAR FUNCTIONS, OR SHAREHOLDERS IN EXCESS OF TEN PERCENT AND MANAGING AGENT TO THE EXTENT APPLICABLE, COMPLETE THE FOLLOWING. ATTACH ADDITIONAL PAGES IF REQUIRED.

IF NOT APPLICABLE, CHECK HERE: ☒.

<u>NAME</u>	<u>POSITION</u>	<u>E-MAIL ADDRESS</u>	<u>PHONE NO.</u>	<u>ADDRESS</u>
Not Applicable				



## SCHEDULE B- CONTRIBUTION DISCLOSURE INFORMATION

**INSTRUCTIONS:** FOR EACH CONTRIBUTION, YOU MUST DISCLOSE THE FOLLOWING INFORMATION. ATTACH ADDITIONAL PAGES IF REQUIRED.

*Note: Contributions made before January 1, 2017 are not required to be disclosed.*

**IF NOT APPLICABLE, CHECK HERE:** ☒

[illegible]

## SCHEDULE C – SUBCONTRACTOR INFORMATION

**INSTRUCTIONS:** LIST THE NAME, BUSINESS ADDRESS, AND PHONE NUMBER OF EACH SUBCONTRACTOR AND THE AMOUNT OR PERCENTAGE TO BE PAID TO EACH SUBCONTRACTOR. ATTACH ADDITIONAL PAGES IF REQUIRED.

[illegible]



**SOMERVILLE ORDINANCE TO SAFEGUARD VULNERABLE ROAD USERS**  
**CITY OF SOMERVILLE CODE OF ORDINANCES ARTICLE VIII, SEC. 12-117 et seq.**

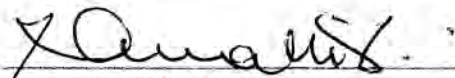
Prospective contractors must familiarize themselves with the City of Somerville's Ordinance to Protect Vulnerable Road Users. The full text of this local law can be found [here](#).

1. **Request for Inspection:** Inspections are conducted on Thursdays from 4pm-7pm at the Somerville Department of Public Works, located at 1 Franey Road. Each inspection takes approximately 20 minutes.
  - a. Any vendor covered by this Ordinance shall complete an inspection request form and email it to [fleetinspections@somervillema.gov](mailto:fleetinspections@somervillema.gov).
  - b. Please submit request form no later than 3pm on the Tuesday before the requested inspection date.
2. **Fee:** The fee for the initial inspection is \$100. The fee for a renewal inspection (every two years) is \$50.
  - a. Payment of the fee is due upon scheduling of the inspection. The fee can be paid via check or credit card. Checks should be made out to the City of Somerville and include the vendor's phone number.
3. **Approval:** Vehicles inspected and approved by the Fleet Division will have an inspection approval sticker affixed to the windshield of the vehicle. A copy of the inspection report and certificate of inspection shall be issued to the vendor.
  - a. Inspection stickers are not transferable.
  - b. Any major overhaul of safe guard equipment shall be required to be re-inspected.
4. **Rejection:** If a vehicle is rejected for failing to comply with any of the technical specifications outlined in the ordinance, it shall be corrected and henceforth re-inspected within 30 days at no additional fee.
  - a. If a second inspection results in a rejection, a fee of \$50 will be required for any subsequent inspections.
  - b. Any vendor who fails to comply within 60 days of their first inspection may be subject to having their contract cancelled.
5. **Questions:** Please direct questions about vehicle inspections to Fleet Superintendent Ron Bonney at [rbonney@somervillema.gov](mailto:rbonney@somervillema.gov) or at (617) 625-6600, ext. 5524.

**Acknowledgement**

In accordance with Sec. 12-119 "Requirements" in the Ordinance, bidders must sign the following:

Unless certified that the Ordinance is not applicable to this contract or otherwise waived by the City, I acknowledge that my company has installed (or will install prior to commencing work for the contract) side guards, cross-over mirrors or equivalent blind spot countermeasures, convex mirrors or equivalent blind spot countermeasures, side-visible turn signals, and appropriate warning signage, in accordance with SCO Chapter 12, Article VII on all large vehicles it uses or will use within the City of Somerville in connection with any contract.

  
Authorized Signatory's Name

9/15/2020

Date

Somerville Hispanic Association for Community Development

Company Name

I certify that the Ordinance does not apply to this contract for the following:

- ☐ Vehicles do not meet or exceed Class 3 GVWR   ☐ Vehicles do not exceed 15 MPH   ☒ No vehicles on project  
☐ Other: \_\_\_\_\_



JOSEPH A. CURTATONE  
MAYOR



# CITY OF SOMERVILLE, MASSACHUSETTS COMMUNITY PRESERVATION COMMITTEE

## FY21 FUNDING CYCLE

### BUDGET SUMMARY

Grace Baptist Church, 59 Cross Street, Somerville, MA 02145

PROJECT NAME: \_\_\_\_\_

Somerville Hispanic Association for Community Development

APPLICANT: \_\_\_\_\_

### SUMMARY OF PROJECT COSTS

Please include a complete itemized budget of all project expenses, including the proposed funding source for each expense, in your submission. **Budget needs to include cost of permanent CPA dedication sign-if requesting construction funds.**

PROPOSED SOURCE	EXPENSES				
	STUDY	SOFT COSTS*	ACQUISITION	CONSTRUCTION**	TOTAL
1 Somerville CPA		\$54,500		\$363,250	\$417,750
2 Somerville CPA				\$2,000 sign	\$2,000
3					
4					
5					
6					
<b>TOTAL PROJECT COSTS</b>		<b>\$54,500</b>		<b>\$365,250</b>	<b>\$419,750</b>

\*Soft costs include design, professional services, permitting fees, closing costs, legal, etc.

\*\* Construction includes new construction, preservation, rehabilitation, restoration work, and/or accessibility related expenses

### EXPLANATION OF FUNDING SOURCES

Please explain the status of each funding source (i.e., submitting application on X date, applied on X date, received award notification on X date, funds on hand, etc.). For sources where funding has been awarded or funds are on hand, please include documentation from the funding source (e.g., commitment letter, bank statement) in application packet

	SOURCE	SECURED? (YES/NO)	STATUS OF FUNDING SOURCE
1			
2			
3			
4			
5			

Somerville Hispanic Church Proposed Work Scope & Cost Estimate  
59 Cross Street, Somerville, MA

City of Somerville CPA FY21 Application

September 15, 2020

The following scope of work was assembled by architect John Hecker of Spencer, Sullivan & Vogt. The cost estimate was prepared with the assistance of Mark Seddon, project manager of Cenaxo, Inc., a general contractor, who is currently beginning his second phase of masonry repointing, roofing and flashing work on the building.

**Item 'A:'** Cut and repoint brick masonry at designated spandrel panels between main floor and upper floor windows, at north and south exterior walls.

350 SF @ \$70/SF = \$24,500

**Item 'B:'** Cut and repoint designated portions of brick masonry dentil course, below roof gutters, at north and south exterior walls.

100 SF @ \$100/SF = \$10,000

**Item 'C:'** Remove and replace existing gutters with new copper gutters and edge flashing, including partial removal and replacement of 3 to 4 courses of adjacent slate roofing shingles. Provide new peel-and-stick underlayment.

90 LF @ \$375/LF = \$33,750

**Item 'D:'** Remove and replace existing base and counter-flashing along west and north sides of southeast tower. Work to also include removal and replacement of adjoining two feet of slate roofing shingles, and installation of new peel-and-stick underlayment

30 LF @ \$500/LF = \$15,000

**Item 'E:'** Remove and replace existing exterior wood doors with new 2-1/4" thick monumental wood doors and frames. Work to also include new panic hardware, hinges, weather-stripping, door closers, kick plates and semi-circular transom lights at two locations.

(2) pairs of exterior double-doors @ \$15,000 each = \$30,000



**Item 'F:'** Demolish existing concrete sidewalk along north side of building, and excavate for new sloping accessible sidewalk. Work to also include new retaining wall, enlarged exterior entry door opening into lower level Social Hall and Dining Room. Assume approximately 750 SF of 4" concrete sidewalk on crushed stone drainage bed, and including accessible handrails at adjoining concrete stairs and adjacent retaining wall.

1 Line Item Cost of \$75,000

**Item 'G:'** Disassemble and rebuild existing granite slab stairs at north entrance to Sanctuary cross-hall (at base of northwest tower). Provide new sidewalk to connect to new accessible entry to lower level Dining Hall. Work to also include new, simple, metal-framed roof structure over rebuilt entry stairs.

1 Line Item Cost of \$70,000

**Item 'H:'** Within lower level Social Hall/Dining Room, apply 20-mil vapor barrier to existing depressed floor area, including sidewalls, approximately 22 inches high. Infill depressed area with 12" of "Foam Control" EPS Geofoam (1.15 lbs/cubic foot). Cover Geofoam with 5" of crushed stone, followed by a 5" thick reinforced concrete slab. Paint finished floor slab and adjoining floors in Kitchen and at Stage platform.

1 Line Item Cost of \$60,000

**Item 'I:'** Provide new 2-1/4" thick monumental wood door and frame (similar in style to double doors in Item 'E'). Work to also include new panic hardware, hinges, weather-stripping, door closer, kick plate, etc. Enlarge existing door opening downward approximately 8" to align new interior floor elevation within Social Hall/Dining Room with new elevation of exterior landing of accessible entry ramp.

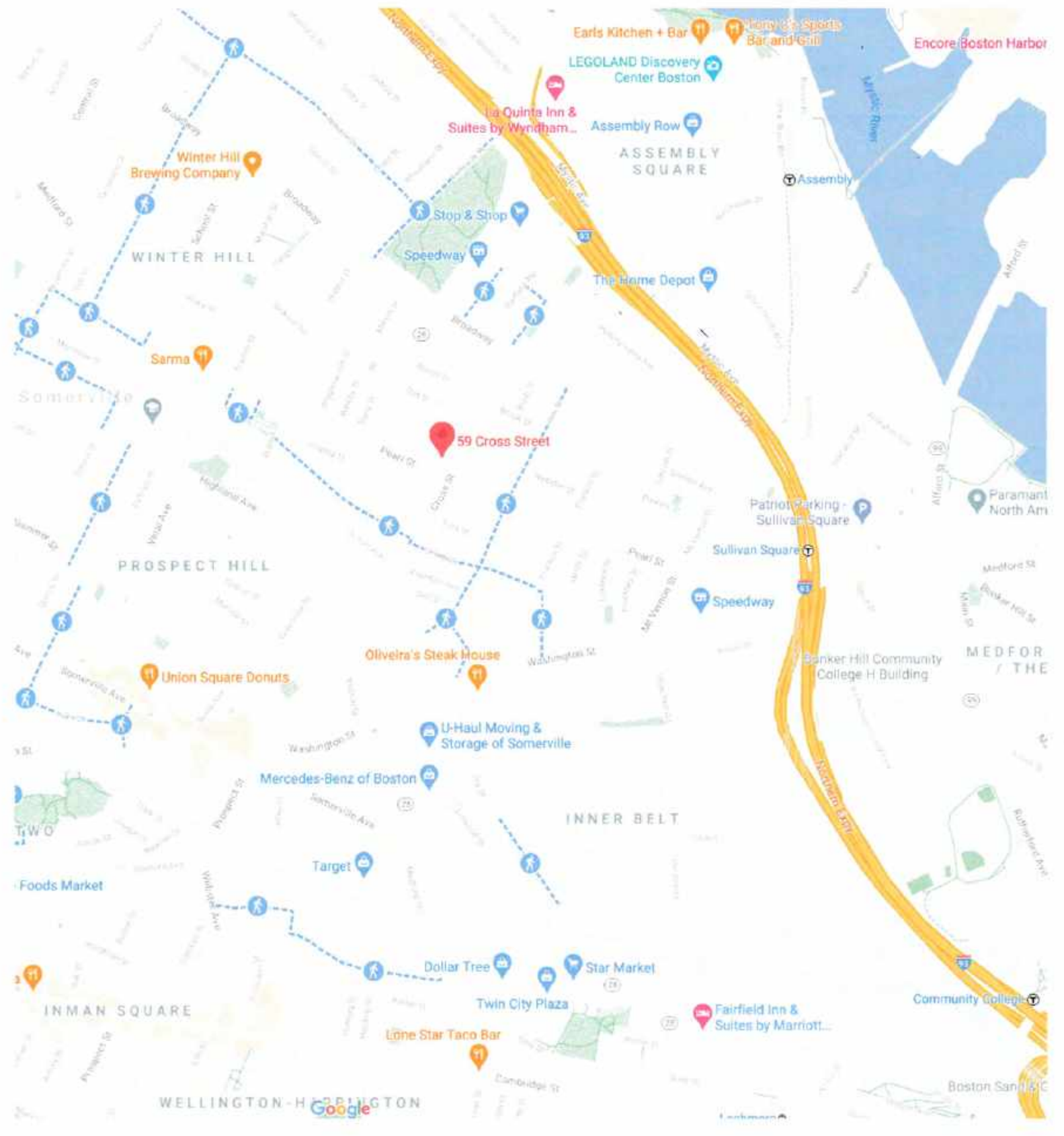
1 Line Item Cost of \$10,000

**Item 'J:'** Provide 12" thick concrete slab, reinforced within rebar in both directions, to act as foundation for future elevator pit and hoistway walls. Assume elevator pit depth of 4 feet, or 2 feet below existing floor slab. Size of slab is to be approximately 10 feet by 12 feet. Turn-up two sides approximately 2 feet to support existing floor slab. Slab to be located in southwest corner of lower level Social Hall/Dining Room. Provide wood-framed ledger, joists and plywood sheathing as temporary finished flooring.

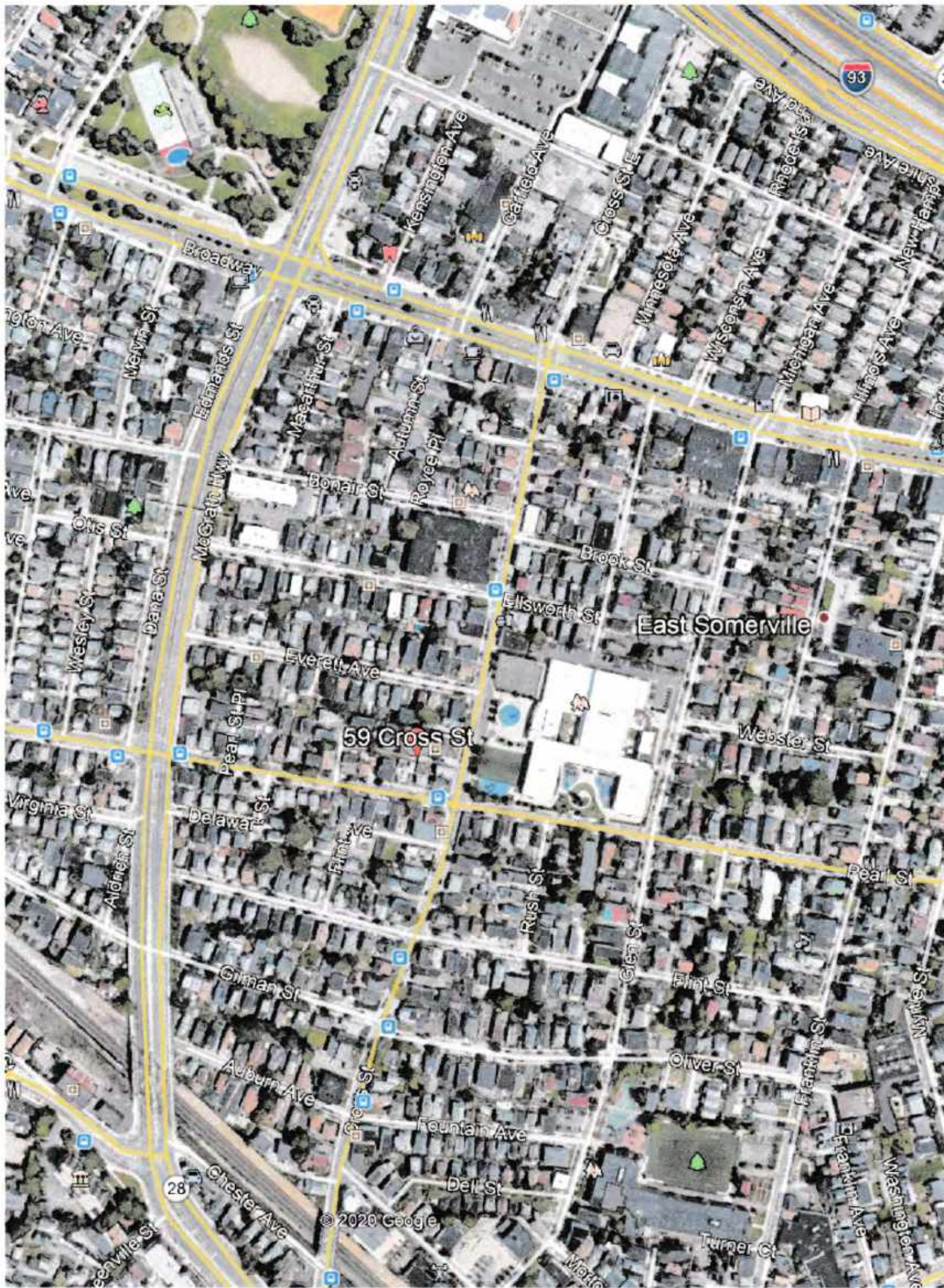
1 Line Item Cost of \$35,000

**TOTAL COST OF PROPOSED WORK = \$363,250**











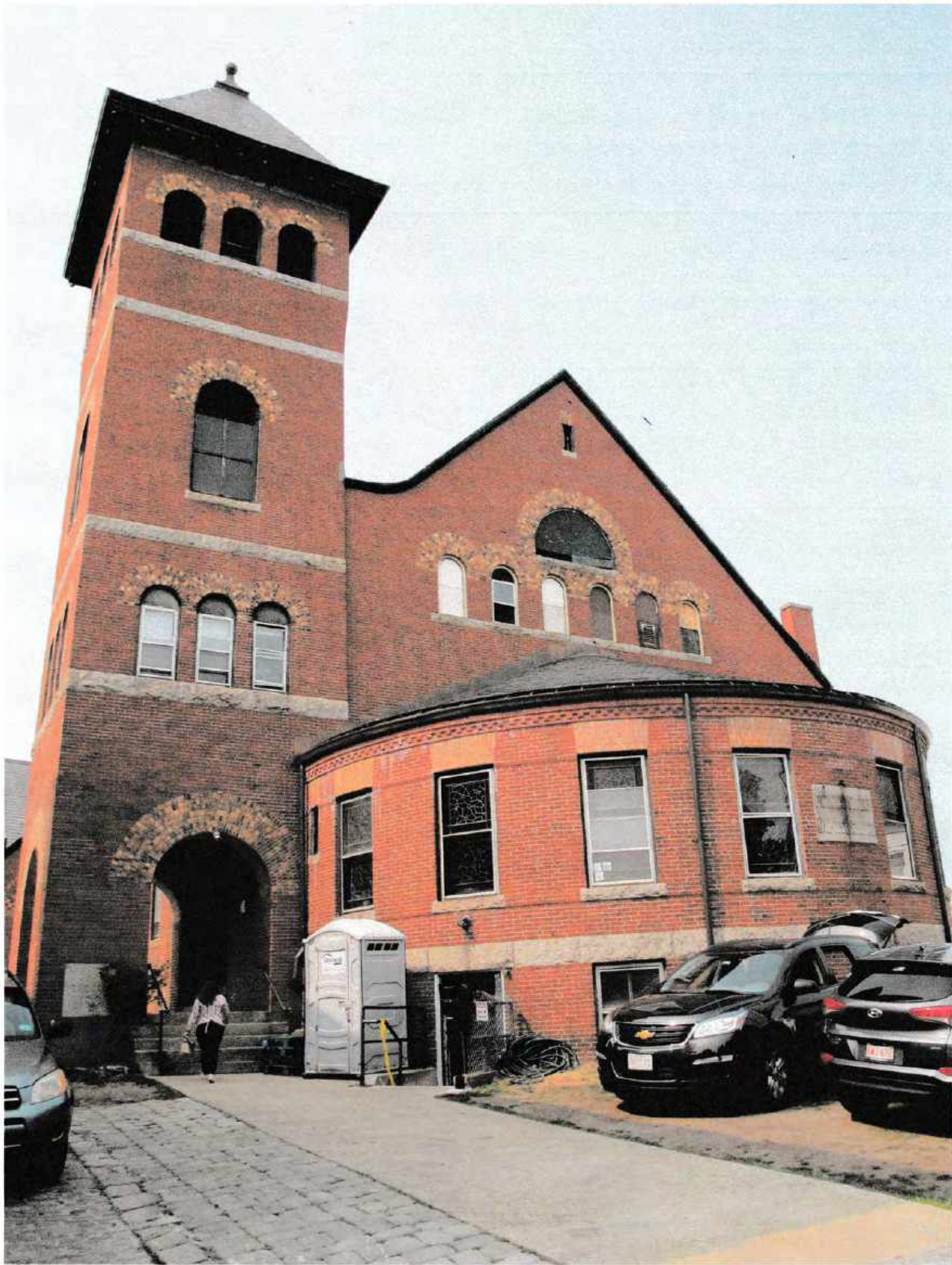
Site Photographs

City of Somerville, MA / CPA Application FY21

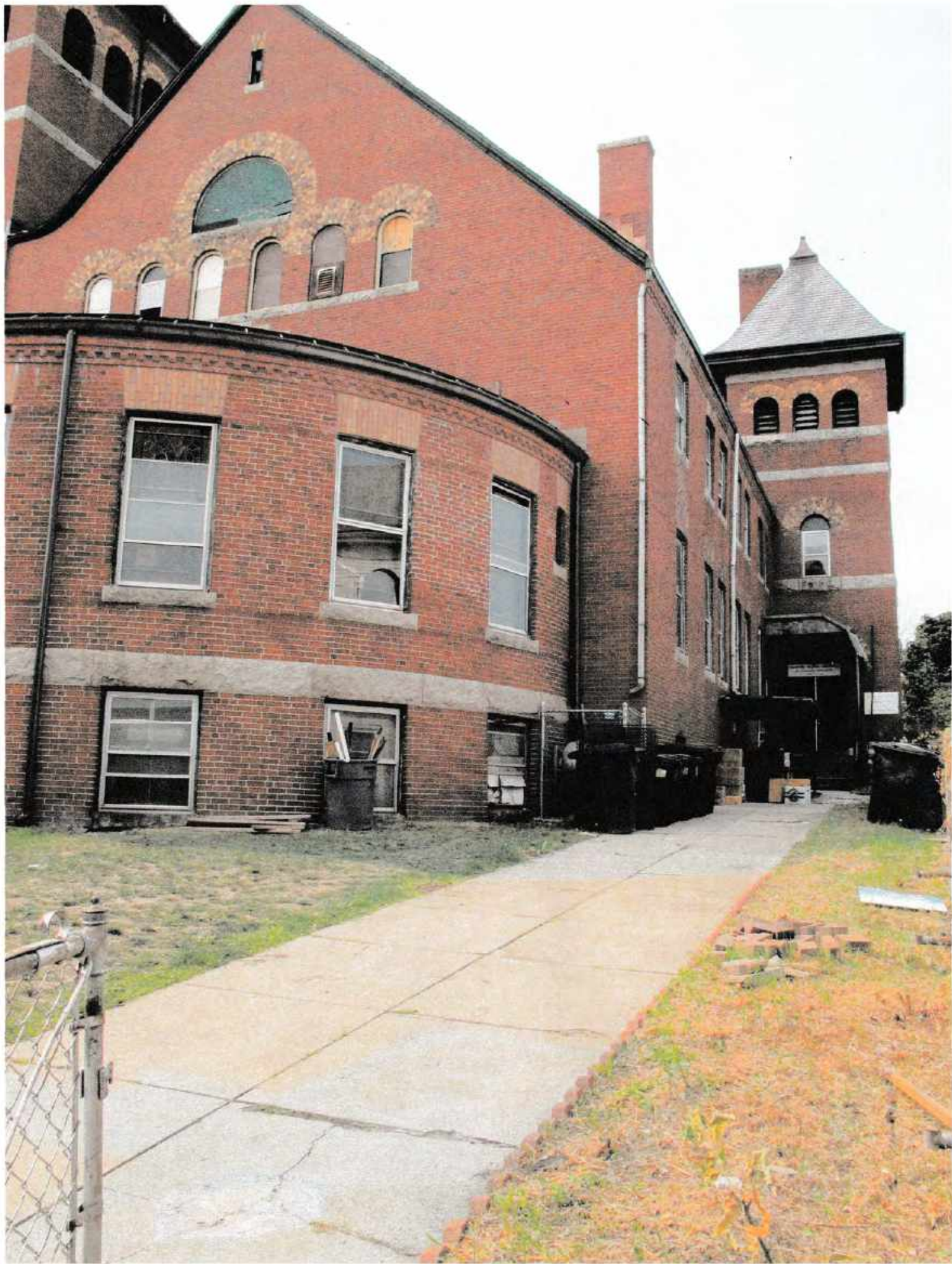
Grace Baptist Church  
59 Cross Street  
Somerville, MA 02145

September 15, 2020

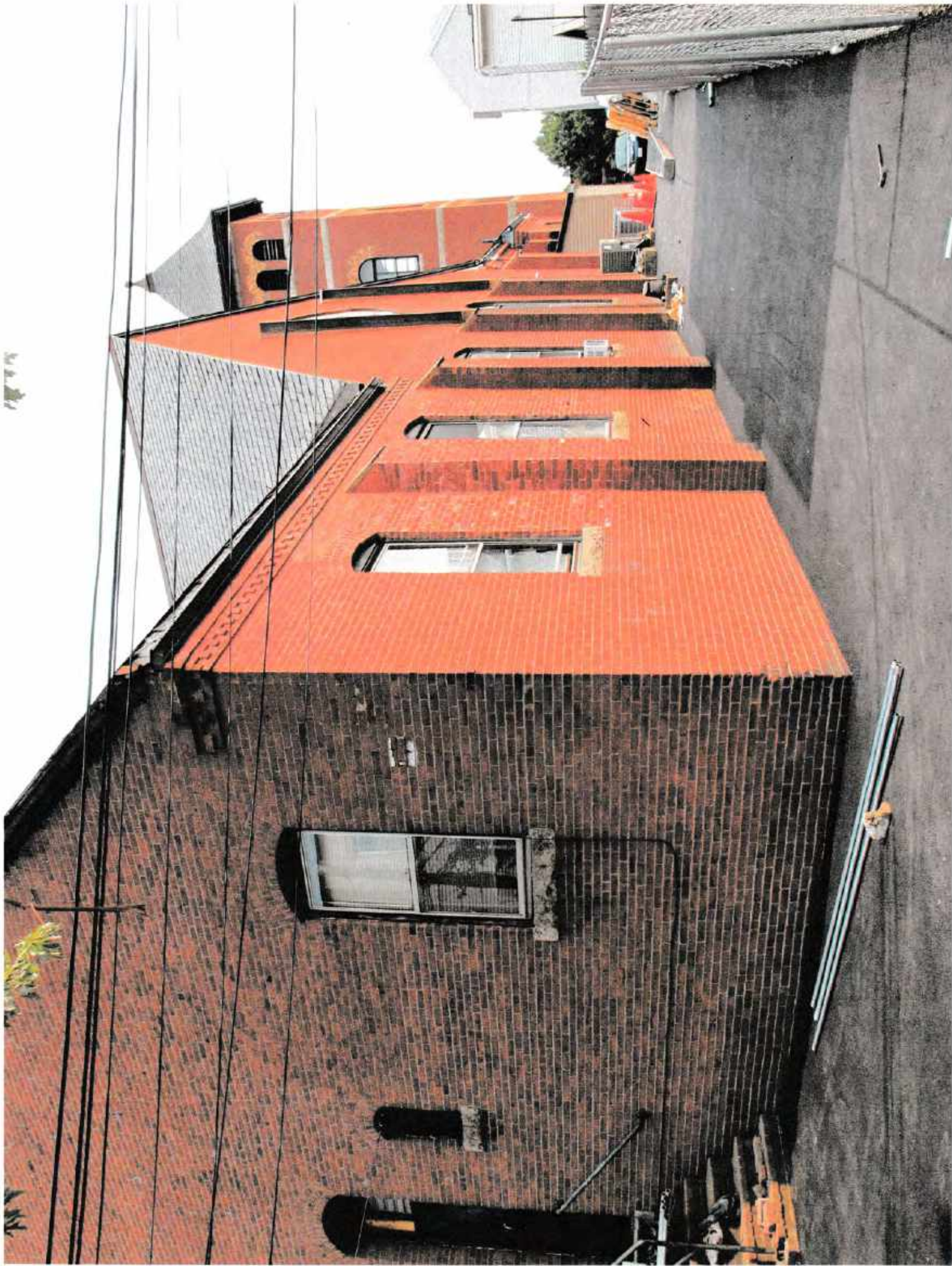
1. Photo from Cross Street sidewalk looking at southeast tower, eastern gable of the main roof, and the semi-circular projecting wing that houses the day care center on the upper floor and the kitchen at the lower level.
2. Photo from Cross Street sidewalk looking at northwest tower, eastern gable of the main roof, and the semi-circular projecting wing. The existing sidewalk at this location would be removed, and a new sloping ramp provided that would slope gradually toward the existing entry door to the lower level.
3. Photo taken at the southwest corner of the building, and looking east along the south elevation of the building.
4. Photo taken at the southwest corner of the building, looking north along the rear (west wall) of the building.



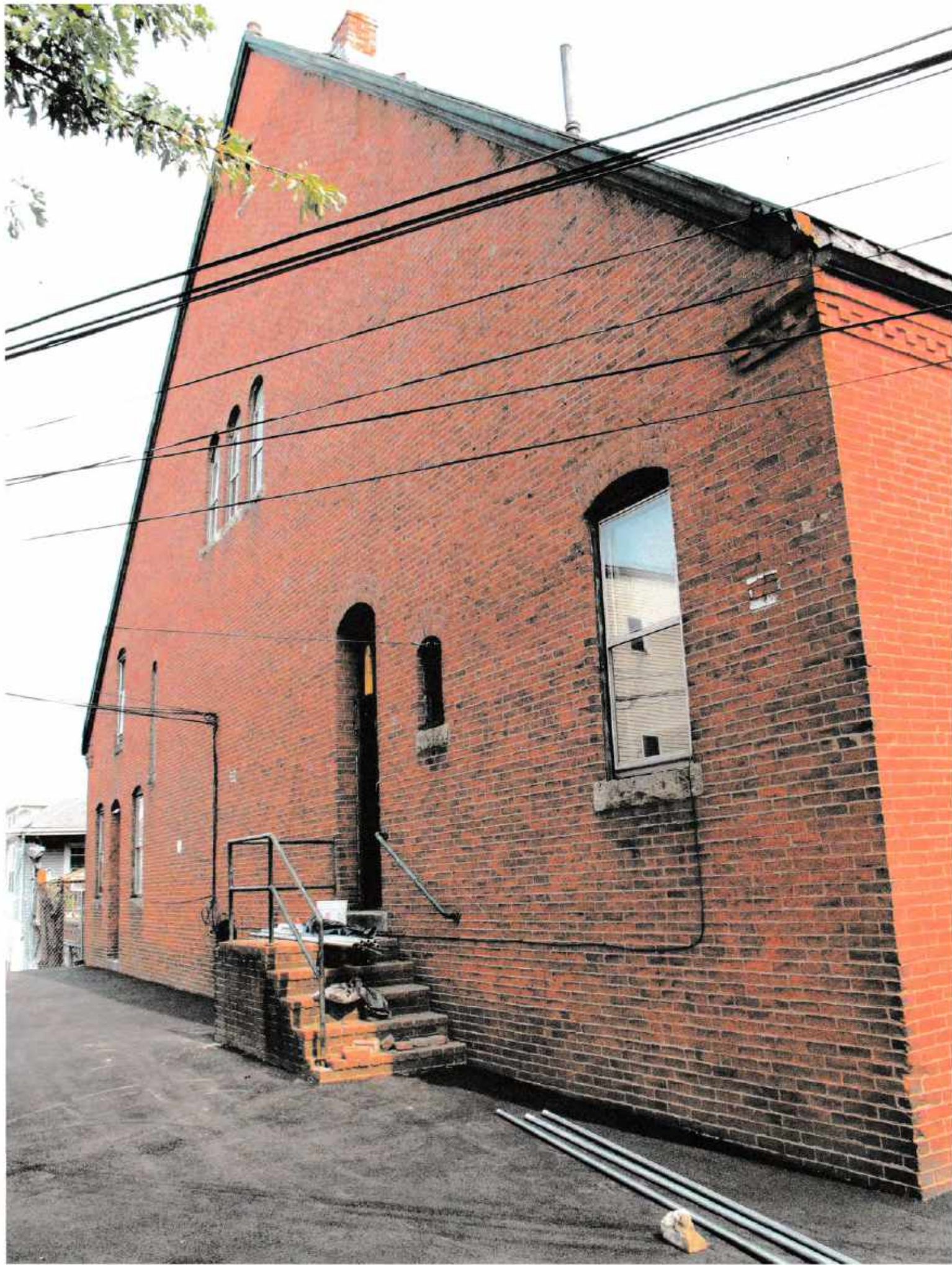














INTERNAL REVENUE SERVICE  
P. O. BOX 2508  
CINCINNATI, OH 45201

DEPARTMENT OF THE TREASURY

Date: **APR 20 2009**

SOMERVILLE HISPANIC ASSOCIATION FOR  
COMMUNITY DEVELOPMENT INC  
59 CROSS ST  
SOMERVILLE, MA 02145-3244

Employer Identification Number:  
43-2083625  
DLN:  
108301000  
Contact Person: GERALD MINK ID# 31228  
Contact Telephone Number:  
(877) 829-5500  
Accounting Period Ending:  
JUNE 30  
Public Charity Status:  
170(b)(1)(A)(vi)  
Form 990 Required:  
YES  
Effective Date of Exemption:  
AUGUST 8, 2005  
Contribution Deductibility:  
YES  
Addendum Applies:  
NO

Dear Applicant:

We are pleased to inform you that upon review of your application for tax exempt status we have determined that you are exempt from Federal income tax under section 501(c)(3) of the Internal Revenue Code. Contributions to you are deductible under section 170 of the Code. You are also qualified to receive tax deductible bequests, devises, transfers or gifts under section 2055, 2106 or 2522 of the Code. Because this letter could help resolve any questions regarding your exempt status, you should keep it in your permanent records.

Organizations exempt under section 501(c)(3) of the Code are further classified as either public charities or private foundations. We determined that you are a public charity under the Code section(s) listed in the heading of this letter.

Please see enclosed Publication 4221-PC, Compliance Guide for 501(c)(3) Public Charities, for some helpful information about your responsibilities as an exempt organization.

Letter 947 (DO/CG)

SOMERVILLE HISPANIC ASSOCIATION FOR

We have sent a copy of this letter to your representative as indicated in your power of attorney.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert Choi". The signature is fluid and cursive, with the first name "Robert" and last name "Choi" clearly distinguishable.

Robert Choi  
Director, Exempt Organizations  
Rulings and Agreements

Enclosures: Publication 4221-PC



Bk: 47708 Pg: 261 Doc: DEE  
Page: 1 of 1 06/28/2006 09:29 AM

## QUITCLAIM DEED

Grace Baptist Church, a nonprofit corporation duly organized originally under the name of The Perkins Street Baptist Church, under Ch. 180 of the General Laws of the Commonwealth of Massachusetts on September 2, 1890, with its principal place of business at 59 Cross Street, Somerville, Middlesex County, Massachusetts 02145

for consideration of Seven Hundred Thousand and 00/100 Dollars (\$700,000.00)

grant to Somerville Hispanic Association For Community Development, Inc., a nonprofit corporation duly organized under the laws of the Commonwealth of Massachusetts and having its principal place of business at 49 Grant Street, Lynn, Essex County, Massachusetts 01902

## with quitclaim covenants

A certain parcel of land, with the buildings thereon situate in Somerville in the County of Middlesex and Commonwealth of Massachusetts, bounded and described as follows:

Beginning at the Northeasterly corner on Cross Street, by land now or late of one Doane; thence running

SOUTHWESTERLY: by Cross Street, five rods and five links; thence

NORTHWESTERLY: in a line parallel with said Doane's land by land formerly of Samuel S. and George S. Runey, twenty three rods and seventeen links; thence

NORTHEASTERLY: by land now or late of Luther B. Bell and Columbus Tyler, five rods and five links to land now or late of said Doane; thence

SOUTHEASTERLY: by land now or late of Doane twenty-three rods and seventeen links to said Cross Street to the point of beginning.

Containing thirty three thousand, five hundred and three square feet, more or less.

The Grantor, **Grace Baptist Church**, was originally known as **Perkins Street Baptist Church**, organized on September 2, 1890 with the Secretary of the Commonwealth of Massachusetts. On February 9, 1914 by Articles of Amendment filed with the Secretary of the Commonwealth of Massachusetts, it changed its name to **Grace Baptist Church**.

FOR TITLE REFERENCE SEE DEEDS RECORDED WITH MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS AT BOOK 2016, PAGE 333 AND BOOK 2016, PAGE 335.

Witness the hand and seal of said Grace Baptist Church this 22<sup>nd</sup> day of June, 2006.

GRACE BAPTIST CHURCH

BY: Florence A. Lewis  
Florence A. Lewis  
Title: Clerk

BY: Maureen Donnolly  
Maureen Donnolly  
Title: Treasurer

[Signature]  
Notary Public

MASSACHUSETTS EXCISE TAX  
Southern Middlesex District  
Date: 06/28/2006 09:29 AM  
Crt# 075580-02401 Doc# 00120332  
Fee: \$3,182.00 Com: \$700,000.00

Commonwealth of Massachusetts

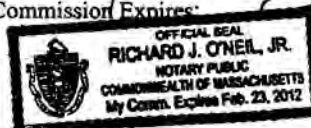
Middlesex, ss:

June 22, 2006

On this day before me, the undersigned notary public, personally appeared Florence A. Lewis, Clerk, and Maureen Donnolly, Treasurer, of said Grace Baptist Church, proved to me through satisfactory evidence of identification, which were Massachusetts Drivers' Licenses, to be the person whose name is signed above, and acknowledged to me that they signed it voluntarily on behalf of Grace Baptist Church for its stated purpose.

[Signature]  
Notary Public:  
My Commission Expires:

SILVERSTEIN & O'NEIL, LLP  
391 Broadway  
Everett, MA 02149-3470



59 Cross Street, Somerville

## FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION  
MASSACHUSETTS ARCHIVES BUILDING  
220 MORRISSEY BOULEVARD  
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

99732110

Boston  
North

BA

SMV.316

LHD 10/31/1989; PR 08/28/2018

**Town/City:** Somerville

**Place:** (*neighborhood or village*): East Somerville

**Address:** 59 Cross Street

**Historic Name:** Grace Baptist Church (formerly Perkins Street Baptist Church)

**Uses:** Present: Social Services/Religious

Original: Religious

**Date of Construction:** 1892

**Source:** Samuels/Oral History

**Style/Form:** Richardsonian Romanesque

**Architect/Builder:** Edward Melville Bridge (1949 renovations)

**Exterior Material:**

Foundation: Stone and brick masonry

Wall/Trim: Brick and stone masonry/Wood

Roof: Slate Shingles with copper flashing

**Outbuildings/Secondary Structures:** None

**Major Alterations** (*with dates*):

Interior greatly remodeled in late 20<sup>th</sup> Century

**Condition:** Fair

**Moved:** no ☒ yes ☐ **Date:**

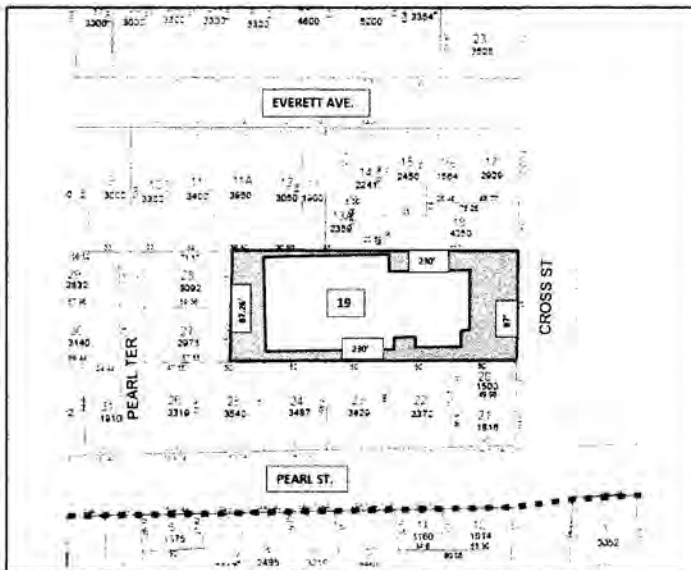
**Acreage:** 20,065 sq. ft.

**Setting:** Urban mix of residential and commercial, across the street from a school.

**Photograph**



**Locus Map**



**Recorded by:** John Hecker, RA

MHC edit, 4/2019

**Organization:** Spencer, Sullivan & Vogt

**Date** (*month / year*): March/2019

RECEIVED  
MAR 07 2019

MASS. HIST. COMM.



**INVENTORY FORM B CONTINUATION SHEET**

SOMERVILLE

59 CROSS STREET

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

BA

SMV.316

☐ Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.**Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.***ARCHITECTURAL DESCRIPTION:***Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.*

The church on Cross Street ~~was designed by Edward Melville Bridge and~~ was erected in 1892.[\*] The red brick church is built in the Richardsonian Romanesque style, with stone string courses and window sills, and arches constructed of contrasting colored bricks. The church has a slate roof, with gables at the front and back and cross gables on the sides closer to the back, which mark the former transepts of the sanctuary, and contain round windows that originally lit the balconies. A four-story tower rises from the left (south) side of the gabled front façade. This tower has a hipped roof and rests on three open arches. A large curved bay projects like an apse from the front (east elevation), but is actually not connected to the inner Sanctuary, which is located at the opposite (west) end of the building. A brownstone plaque in the middle of this curved bay is engraved with the former name of the church, the Perkins Street Baptist Church. A shorter, three-story tower, also crowned by a hipped roof, is located on the right (north) side, just in front of the northern cross gable and has an arched doorway facing Cross Street.

The interior of the church has been greatly changed. A smaller Sanctuary has been constructed within the original, larger space. Only the woodwork and organ at the front of the Sanctuary gives a hint of the original design. It is possible to view original wall and ceiling surfaces, as well as original decorative ceiling framing and the stained glass rose windows above a dropped, acoustical ceiling located along the south and north walls of the original Sanctuary. The side balconies and the spaces below them have been turned into offices. Original oak woodwork still marks many of the doors and stairways. Various stained glass windows are still in place throughout the building, but are mostly in deteriorated condition.

*\* [MHC edit: The original architect has not been identified. The architect Edward Melville Bridge (1890-1979) was associated with renovations to the church in 1949, according to a Building Inspection record card for the building.]*

**HISTORICAL NARRATIVE***Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.*

The Neck Village Baptist Church was organized in 1845, by the Rev. John R. Grow. It was located in East Somerville, which was undergoing rapid growth as a center for pottery making and brickworks. The church was later known as the Charlestown and Somerville Baptist Church, before being renamed the Perkins Street Baptist Church in 1853. The meetinghouse on Perkins Street burned in 1866 and was rebuilt and later enlarged in 1873 to seat 1000. The church split in the 1880s, and the new parish used the Franklin Street Congregational Church for meetings, until they built the current building on Cross Street. The congregation later changed its name to Grace Baptist Church. The building was taken over by the Somerville Hispanic Association for Community Development (SHACD), which runs various ventures from this location. The Sanctuary is used by several churches. In 2017, SHACD received a \$350,000 grant from Somerville's Community Preservation Act fund, to be used towards vital roof repairs. Also in 2017, they received a \$50,000 grant from Round 23 of the Massachusetts Preservation Projects fund, to be used towards re-roofing the large semi-circular bay on Cross Street. This latter project got started first, and in the course of the work, part of the exterior wall of the bay

*Continuation sheet 1*

# INVENTORY FORM B CONTINUATION SHEET

SOMERVILLE

59 CROSS STREET

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

BA

SMV.316

collapsed, and it was discovered that the roofing and floor structure were failing. Somerville allowed a large portion of its grant to be used towards making the vital repairs needed in this area. This work was completed in 2018.

## BIBLIOGRAPHY and/or REFERENCES

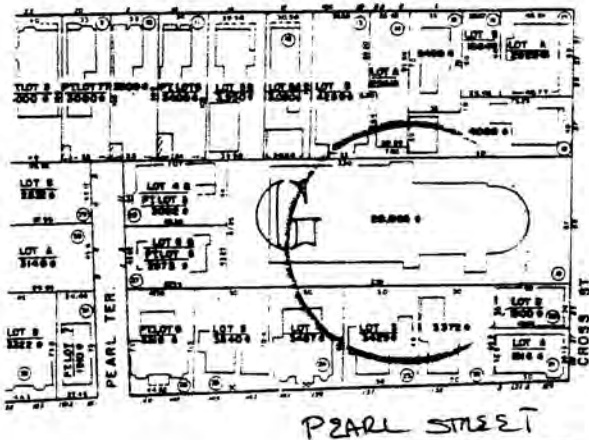
1. Atlas of Middlesex County, Somerville: 1884, 1895
2. City of Somerville, Beyond the Neck: The Architecture and Development of Somerville, Massachusetts, 1983.
3. City Directories: 1880s – 1890s.
4. Samuel, Edward, Somerville: Past and Present, 1897.
5. Smiledge, Lynn, PROJECT COMPLETION REPORT, Project: Grace Baptist Church Roof Repairs, Location: Somerville, MPPF #: 4142, Round: 23, FY: 2018, 2018.

FORM B - BUILDING

MASSACHUSETTS HISTORICAL COMMISSION  
80 BOYLSTON STREET



Location  
or  
Buildings



PEARL STREET

UTM REFERENCE \_\_\_\_\_

USGS QUADRANGLE \_\_\_\_\_

SCALE \_\_\_\_\_

AREA

FORM NO.

East  
Somerville

316

Town SOMERVILLE

Address 59 Cross Street

Historic Name Grace Baptist Church

formerly Perkins St. Baptist Church

Use: Present religious/social serv

Original religious

DESCRIPTION

Date 1892

Source Samuels / oral history

Style Romanesque Revival

Architect \_\_\_\_\_

Exterior Wall Fabric brick

Outbuildings \_\_\_\_\_

Major Alterations (with dates) \_\_\_\_\_

Condition good

Moved \_\_\_\_\_ Date \_\_\_\_\_

Acreage 20,065 sq. ft.

Setting West side of Cross, near

Pearl, edge of East Somerville, mixed

surrounds, residential, commercial

Recorded by \_\_\_\_\_

Organization \_\_\_\_\_

Date \_\_\_\_\_

**NATIONAL REGISTER CRITERIA STATEMENT (if applicable)**

The property is significant for :

- A - its association with the development of religious activities in East Somerville and its reflection on the life styles.
- C - its representation of a well conserved example of a Romanesque building, one of the only local religious structures in the style.

**ARCHITECTURAL SIGNIFICANCE Describe important architectural features and evaluate in terms of other buildings within the community.**

The brick Romanesque building is one of only a few masonry buildings that is truly reminiscent of the Richardsonian Romanesque style of architecture. The main block is a gable end structure with a wide and rounded projecting bay and a squared corner tower. Variety and interest are created by the use of contrasting stone string courses, rounded, arched windows, a corbelled cornice, and a squared hipped roof on the four story tower.

**HISTORICAL SIGNIFICANCE Explain the role owners played in local or state history and how the building relates to the development of the community.**

East Somerville was one of the most densely settled parts of Somerville by the mid to late 1800s in part due to its topography and fine soil for drainage and clay for brick and pottery making. Broadway and Washington Street were main thoroughfares from the 18th century connecting Charlestown with Medford and Cambridge. Several farms cropped up in the East Somerville area and by the mid 1800s there were shops, taverns and industries with brick yards and pottery enterprises. In the mid 1800s most residents were Boston businessmen and from the 1870s many multi-family buildings were built to accommodate the increasing number of workers in the area due to the expanding brickyards, spike factories, and potteries.

In 1845 the Neck Village Baptist Church was organized under the Reverend John R. Gow. It soon became known as the Charlestown and Somerville Baptist Church and by 1853 was named the Perkins Street Baptist Church. There was a meeting house on Perkins Street that burned in 1866, was rebuilt and then enlarged to seat 1000 in 1873. This is an indicator of the rapidly increasing local population. The congregation split in the 1880s and the new parish used the Franklin Street Congregational Church until this building was built in 1892 for \$46,000. There were 373 resident members at that time.

**BIBLIOGRAPHY and/or REFERENCES**

1. Atlas of Middlesex County, Somerville: 1884 , 1895
2. City of Somerville, Beyond the Neck: The Architecture and Development of Somerville, Massachusetts, 1983.
3. City Directories: 1880s-1890s.
4. Samuel, Edward, Somerville: Past and Present, 1897.

# INVENTORY FORM CONTINUATION SHEET

MASSACHUSETTS HISTORICAL COMMISSION  
MASSACHUSETTS ARCHIVES BUILDING  
220 MORRISSEY BOULEVARD  
BOSTON, MASSACHUSETTS 02125

Town

Somerville

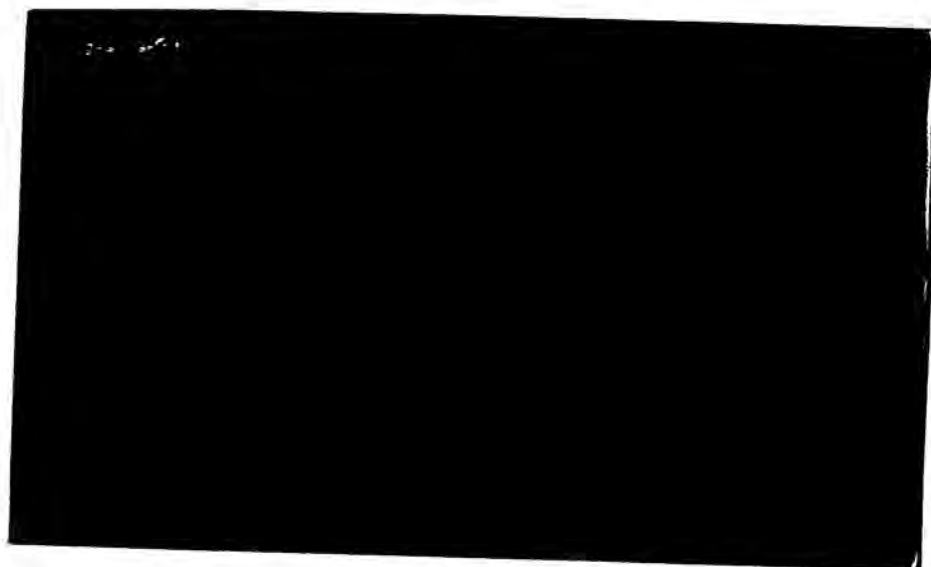
Property Address

59 Cross St

Area(s)

Form No.

5th Fl 3rd





Existing Conditions Photographs

City of Somerville, MA / CPA Application FY21

Grace Baptist Church  
59 Cross Street  
Somerville, MA 02145

September 15, 2020

1. Please refer to the Architectural Drawing Set included with this Application, for relevant existing conditions photographs.
2. In particular, see Photo #5 on Sheet A-201 for flashing and counter-flashing at intersection of main roof with southeast tower.
3. See Photos #3 and #4 on Sheet A-202 for existing double doors at south entry.
4. See Photos #1, #2, #3, #4, #5 and #6 on Sheet A-500 for existing entry to lower level Social Hall and existing stairs to northwest tower; also, for interior photos of existing conditions within lower level Social Hall.
5. These photos show the proposed location for a new accessible entry ramp to provide full access from the Cross Street sidewalk, into the building. This entry would become the prime access point for disabled individuals to take advantage of the various programs within the building.
6. With the completion of this first accessibility improvement, the Somerville Hispanic Association for Community Development could pursue other sources of funding that may help to complete the remainder of the proposed accessibility improvements (i.e., accessible restrooms and an elevator to serve all floors).

Condition Assessment  
(Revised and amended 9/15/2020)

City of Somerville, MA / CPA Application FY21

Grace Baptist Church  
59 Cross Street  
Somerville, MA 02145

The Grace Baptist Church is a very large Romanesque Revival church that was completed in 1892. The original sanctuary is covered by a simple gable roof. A one-story semi-circular wing projects from the east elevation toward Cross Street. All roofs are covered with slate shingles. Stained glass double-hung windows are used on three of the major elevations. Two tall brick masonry towers are located along the north and south sides of the building.

The following summarizes the existing condition of the major exterior and interior building elements:

Exterior Brick Masonry Walls: Generally good, but with isolated areas of spalling and mortar loss to due to failed gutters and missing downspouts. The spandrel panels between the 1<sup>st</sup> and 2<sup>nd</sup> floor windows along the north and south elevations are in need of partial rebuilding and repointing. Different repointing campaigns make for a variety of mortar colors. Original pointing color appears to have a reddish tint. The north and south walls of the original Sanctuary space have bowed out due to a lack of restraint in the original design. Steel double-channels have been placed on both sides of each rose window to contain the outward movement *(repointing and replacement of brick masonry at base of southeast tower, and repointing of portions of south wall, completed during summer of 2020).*

Slate Roofs: Existing slate roofs are in poor condition, due to failure of original copper valley, edge, hip and ridge flashing. The original 1892 roofing slate may still be in-place. If so, it is far beyond its useful life. When and where possible, the slate should be replaced *(slate roofing, flashing, gutters and downspouts of semi-circular east wing were replaced during summer of 2019; repair of main roof cross gable roofs and flashing, and replacement of gutters below to begin September of 2020).*

Roof Flashing: All existing copper flashing (at valleys, hips, ridges, and rood edges) needs to be replaced as soon as reasonably possible.

Gutters & Downspouts: All existing copper gutters and downspouts need to be replaced as soon as reasonably possible. Many downspouts are missing. Internal drain lines need to be located and cleaned out, if clogged.

Double-Hung Windows: Many of the existing double-hung windows contain beautiful stained glass that is in danger of damage or loss, due to missing or broken storm

windows. The large semi-circular window sash that used to occupy the high gable window opening at the east elevation survives in the attic. It could easily be restored and put back into service (*restored and reinstalled during summer of 2020; new storm windows to be installed on exterior of semi-circular wing during Fall of 2020*).

Brick Dentil Cornices:

Large portions of the brick masonry dentil course around the perimeter of the building need to be partially disassembled and rebuilt. (*several sections of the dentil course along the south wall were rebuilt during the summer of 2020*).

Stone Foundation:

The stone foundation appears to be solid, with no apparent signs of major settlement.

Interior Framing:

The wood roof trusses are visible within the attic and are quite striking in their design. These scissor trusses have been augmented with steel trusses and supplemental wood framing in several locations. A fire occurred in the main attic space, probably due to faulty knob-and-tube wiring. New vertical steel framing within the original Sanctuary augments the original roof framing and serves as a brace for tension rods that anchor the exterior channels flanking each rose window.

Interior Finishes:

The day care center has the best preserved plaster wall surfaces and door and window trim within the building. Much of the remainder of the interior space has been reconfigured and heavily altered. No drawings yet exist to show the original spatial configuration of the building (*roof and ceiling framing above day care center augmented and stabilized during summer of 2018; ceiling replaced at same time*).

Basement:

The basement has been heavily altered for use as a dining and social hall, with a large kitchen located directly below the day care center.

Restrooms:

One Men's and one Women's restroom exist in the basement. They need total refurbishment or replacement. Neither is handicapped accessible. Two restrooms are located adjacent to the day care center. Again, neither is accessible.

Mechanical Systems:

Some knob-and-tube electrical lines are still active in the building. The building is heated with a boiler and radiators. Some areas are air conditioned with mini-split units.

Accessibility:

There is no compliant handicapped access to any of the major entrances to the building. A very steep ramp along the south wall is currently used to provide some access for individuals driven to that location.

Fire Alarm System:

The fire alarm system is very basic, but apparently functional. Engineers need to make a more detailed assessment. Egress hardware needs to be improved at many locations.



# SOMERVILLE HISPANIC CHURCH

APPLICATION FOR COMMUNITY PRESERVATION ACT, FY21 FUNDING CYCLE  
CITY OF SOMERVILLE 09.14.2020

## PROJECT TEAM

ARCHITECT  
Spencer, Sullivan & Vogt, Inc.  
1Thompson Square  
Charlestown, MA 02129  
617.861.4291

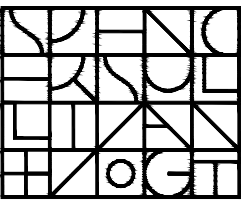
## DRAWING INDEX

ARCHITECTURAL:  
A-000 TITLE SHEET  
D-100 BASEMENT PLAN - DEMOLITION  
D-101 FIRST FLOOR PLAN - DEMOLITION  
A-100 BASEMENT PLAN - NEW WORK  
A-101 FIRST FLOOR PLAN - NEW WORK  
A-102 ROOF PLAN  
A-200 ELEVATIONS - NEW WORK  
A-201 ELEVATIONS - NEW WORK  
A-202 NEW DOOR ELEVATIONS  
A-500 EXISTING CONDITIONS PHOTOGRAPHS  
A-501 DETAILS

LANDSCAPE:  
L-101 SITE PLAN  
L-201 SITE DETAILS  
L-202 SITE DETAILS



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PROJECT: CPA FY21

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CHURCH

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Somerville, MA 02145

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#	DATE	DESCRIPTION

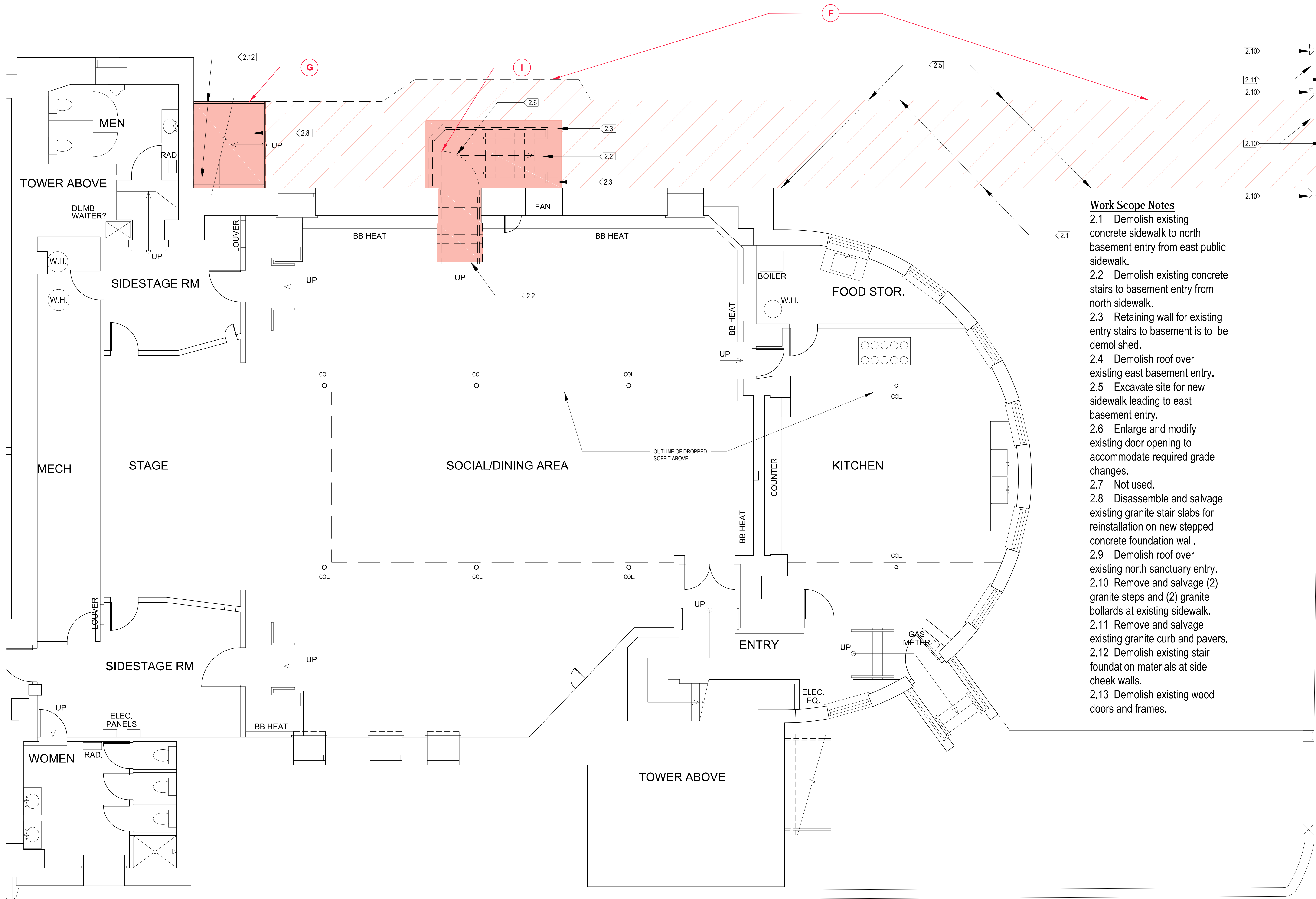
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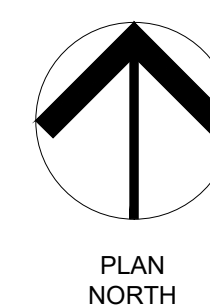
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TITLE SHEET

SHEET #:  
A-000

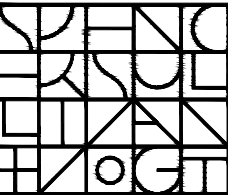




- Work Scope Notes**
- 2.1 Demolish existing concrete sidewalk to north basement entry from east public sidewalk.
  - 2.2 Demolish existing concrete stairs to basement entry from north sidewalk.
  - 2.3 Retaining wall for existing entry stairs to basement is to be demolished.
  - 2.4 Demolish roof over existing east basement entry.
  - 2.5 Excavate site for new sidewalk leading to east basement entry.
  - 2.6 Enlarge and modify existing door opening to accommodate required grade changes.
  - 2.7 Not used.
  - 2.8 Disassemble and salvage existing granite stair slabs for reinstallation on new stepped concrete foundation wall.
  - 2.9 Demolish roof over existing north sanctuary entry.
  - 2.10 Remove and salvage (2) granite steps and (2) granite bollards at existing sidewalk.
  - 2.11 Remove and salvage existing granite curb and pavers.
  - 2.12 Demolish existing stair foundation materials at side cheek walls.
  - 2.13 Demolish existing wood doors and frames.



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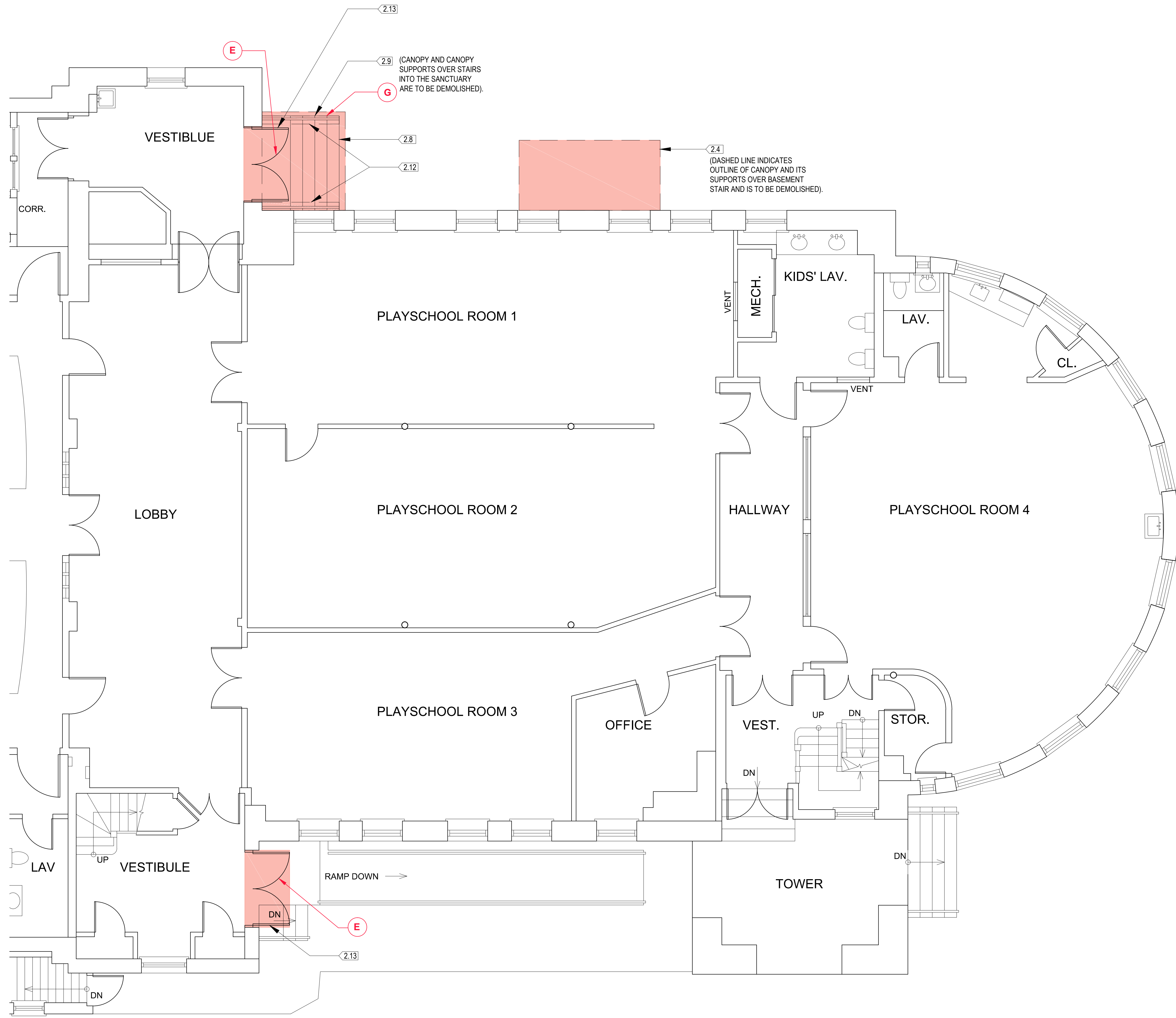
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BASEMENT DEMOLITION  
PLAN

SHEET #:

D-100

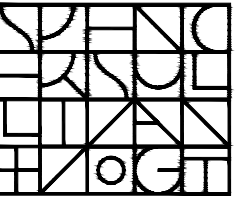




Work Scope Notes

- 2.1 Demolish existing concrete sidewalk to north basement entry from east public sidewalk.
- 2.2 Demolish existing concrete stairs to basement entry from north sidewalk.
- 2.3 Retaining wall for existing entry stairs to basement is to be demolished.
- 2.4 Demolish roof over existing east basement entry.
- 2.5 Excavate site for new sidewalk leading to north basement entry.
- 2.6 Enlarge and modify existing door opening to accommodate required grade changes.
- 2.7 Not used.
- 2.8 Disassemble and salvage existing granite stair slabs for reinstallation on new stepped concrete foundation wall.
- 2.9 Demolish roof over existing north sanctuary entry.
- 2.10 Remove and salvage (2) granite steps and (2) granite bollards at existing sidewalk.
- 2.11 Remove and salvage existing granite curb and pavers.
- 2.12 Demolish existing stair foundation materials at side cheek walls.
- 2.13 Demolish existing wood doors and frames.

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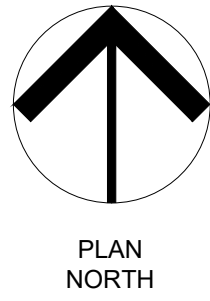
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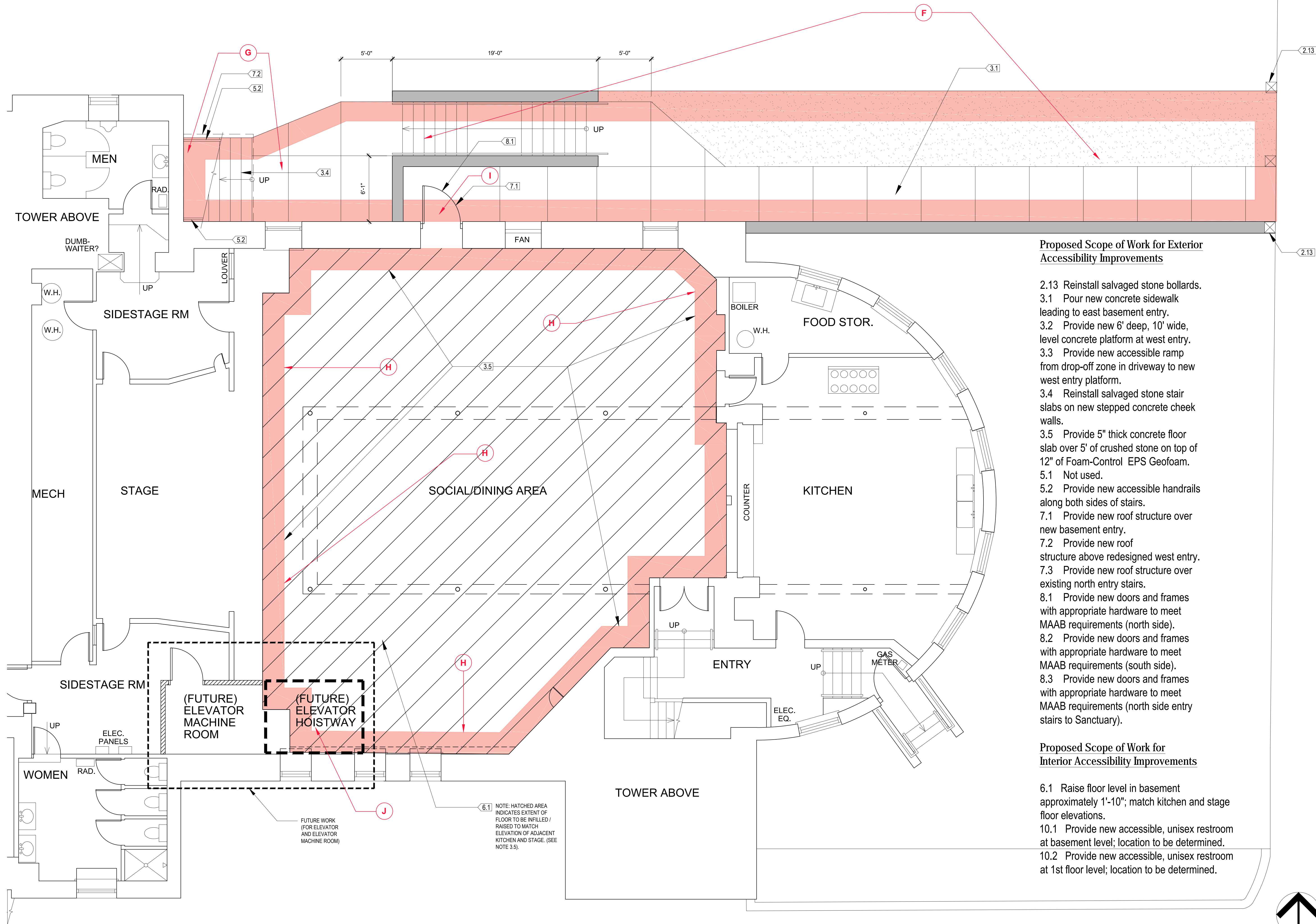
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SHEET TITLE:  
**FIRST FLOOR DEMOLITION PLAN**

SHEET #:  
**D-101**





**Proposed Scope of Work for Exterior Accessibility Improvements**

- 2.13 Reinstall salvaged stone bollards.
- 3.1 Pour new concrete sidewalk leading to east basement entry.
- 3.2 Provide new 6' deep, 10' wide, level concrete platform at west entry.
- 3.3 Provide new accessible ramp from drop-off zone in driveway to new west entry platform.
- 3.4 Reinstall salvaged stone stair slabs on new stepped concrete cheek walls.
- 3.5 Provide 5" thick concrete floor slab over 5' of crushed stone on top of 12" of Foam-Control EPS Geofoam.
- 5.1 Not used.
- 5.2 Provide new accessible handrails along both sides of stairs.
- 7.1 Provide new roof structure over new basement entry.
- 7.2 Provide new roof structure above redesigned west entry.
- 7.3 Provide new roof structure over existing north entry stairs.
- 8.1 Provide new doors and frames with appropriate hardware to meet MAAB requirements (north side).
- 8.2 Provide new doors and frames with appropriate hardware to meet MAAB requirements (south side).
- 8.3 Provide new doors and frames with appropriate hardware to meet MAAB requirements (north side entry stairs to Sanctuary).

**Proposed Scope of Work for Interior Accessibility Improvements**

- 6.1 Raise floor level in basement approximately 1'-10"; match kitchen and stage floor elevations.
- 10.1 Provide new accessible, unisex restroom at basement level; location to be determined.
- 10.2 Provide new accessible, unisex restroom at 1st floor level; location to be determined.

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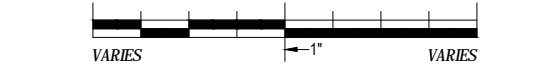
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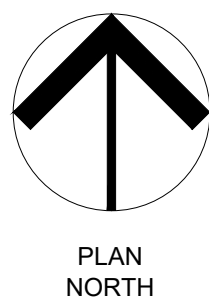
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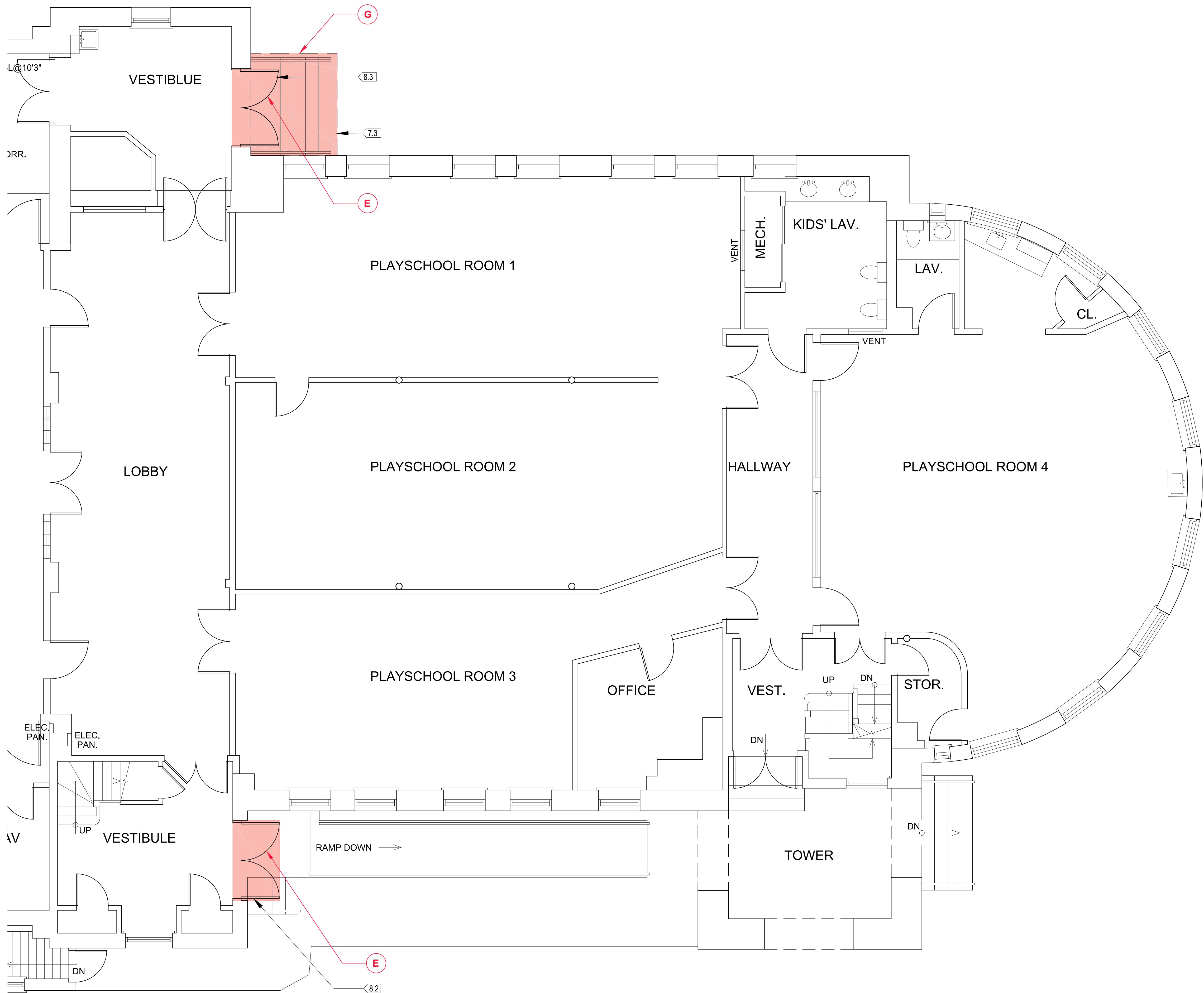
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SEAL:		

SHEET TITLE:  
**BASEMENT PLAN - NEW WORK**

SHEET #:  
**A-100**







Work Scope Notes

- 2.13 Reinstall salvaged stone bollards.
- 3.1 Pour new concrete sidewalk leading to east basement entry.
- 3.2 Provide new 6' deep, 10' wide, level concrete platform at west entry.
- 3.3 Provide new accessible ramp from drop-off zone in driveway to new west entry platform.
- 3.4 Reinstall salvaged stone stair slabs on new stepped concrete cheek walls.
- 3.5 Provide 5" thick concrete floor slab over 4" of crushed stone on top of 9" of Foam-Control EPS ("Geo-foam").
- 5.1 Not used.
- 5.2 Provide new accessible handrails along both sides of stairs.
- 7.1 Provide new roof structure over new basement entry.
- 7.2 Provide new roof structure above redesigned west entry.
- 7.3 Provide new roof structure over existing north entry stairs.
- 8.1 Provide new doors and frames with appropriate hardware to meet MAAB requirements (north side).
- 8.2 Provide new doors and frames with appropriate hardware to meet MAAB requirements (south side).
- 8.3 Provide new doors and frames with appropriate hardware to meet MAAB requirements (north side entry stairs to Sanctuary).

Work Scope Notes - Interior

- 6.1 Raise floor level in basement approximately 1'-10"; match kitchen and stage floor elevations.
- 10.1 Provide new accessible, unisex restroom at basement level; location to be determined.
- 10.2 Provide new accessible, unisex restroom at 1st floor level; location to be determined.

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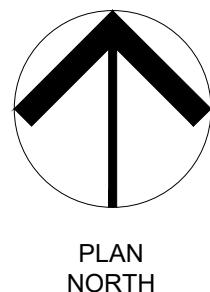
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01 Sep. 14, 2020	CPA FY21	
#	DATE	DESCRIPTION
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SHEET TITLE:  
**FIRST FLOOR PLAN - NEW WORK**

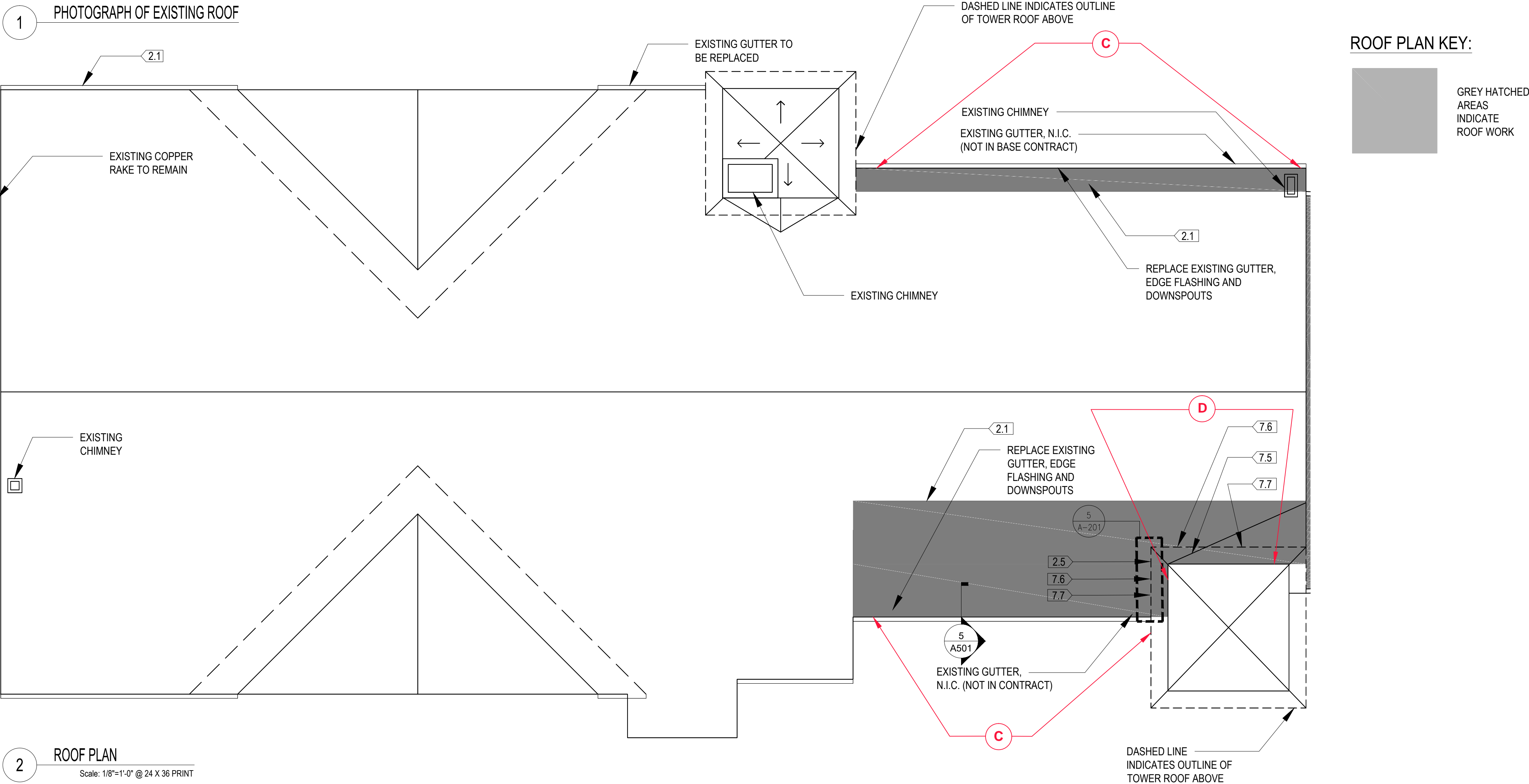
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**A-101**







1 PHOTOGRAPH OF EXISTING ROOF



2 ROOF PLAN  
Scale: 1/8"=1'-0" @ 24 X 36 PRINT

Work Scope Notes:

- 2.1 Remove and salvage all slate shingles from roof surfaces for reinstallation.
- 2.2 Not used.
- 2.3 Note used.
- 2.4 Replace any deteriorated wood roof sheathing with in-kind materials
- 2.5 Remove black asphalt roofing sealer from all brick masonry abutting main roof.
- 2.6 Remove existing copper base and counter-flashing at two contiguous sides of south tower.

- 4.1 Perform deep cutting and repointing of brick dentil cornice below gutter.

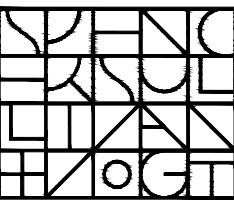
- 7.1 Cover exposed, existing wood roof sheathing with adhesive waterproofing membrane.
- 7.2 Not used.
- 7.3 Reinstall salvaged slate shingles with new shingles in matching color, as required. For bidding purposes, assume 40% replacement of salvaged slate.
- 7.4 Not used.
- 7.5 Replace any deteriorated wood framing and sheathing at existing cricket where tower wall meets roof.
- 7.6 Turn-up adhesive waterproofing membrane minimum 8" at abutting masonry walls.
- 7.7 Provide new red copper base and counter-flashing; return up walls 8" minimum.
- 7.8 Provide new aluminum downspouts painted to match patinated copper.
- 7.9 Not used.
- 7.10 Provide new red copper edge flashing, and gutters.

Roof Work Scope Summary:

A. Provide and install new copper gutters, edge flashing, and downspouts at east side of south elevation. Remove old roofing cement and existing step-flashing at abutting wall (west facade of southeast tower). Provide and install new step-flashing at abutting wall. (Location of work indicated on 2/A-100).

B. Provide and install new copper edge flashing and gutters at east side of north elevation. (Location of work indicated on 2/A-100).

ARCHITECT:



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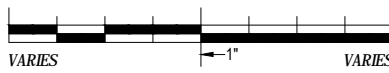
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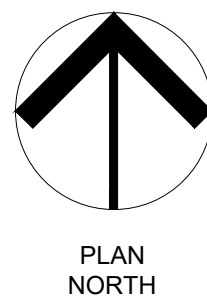
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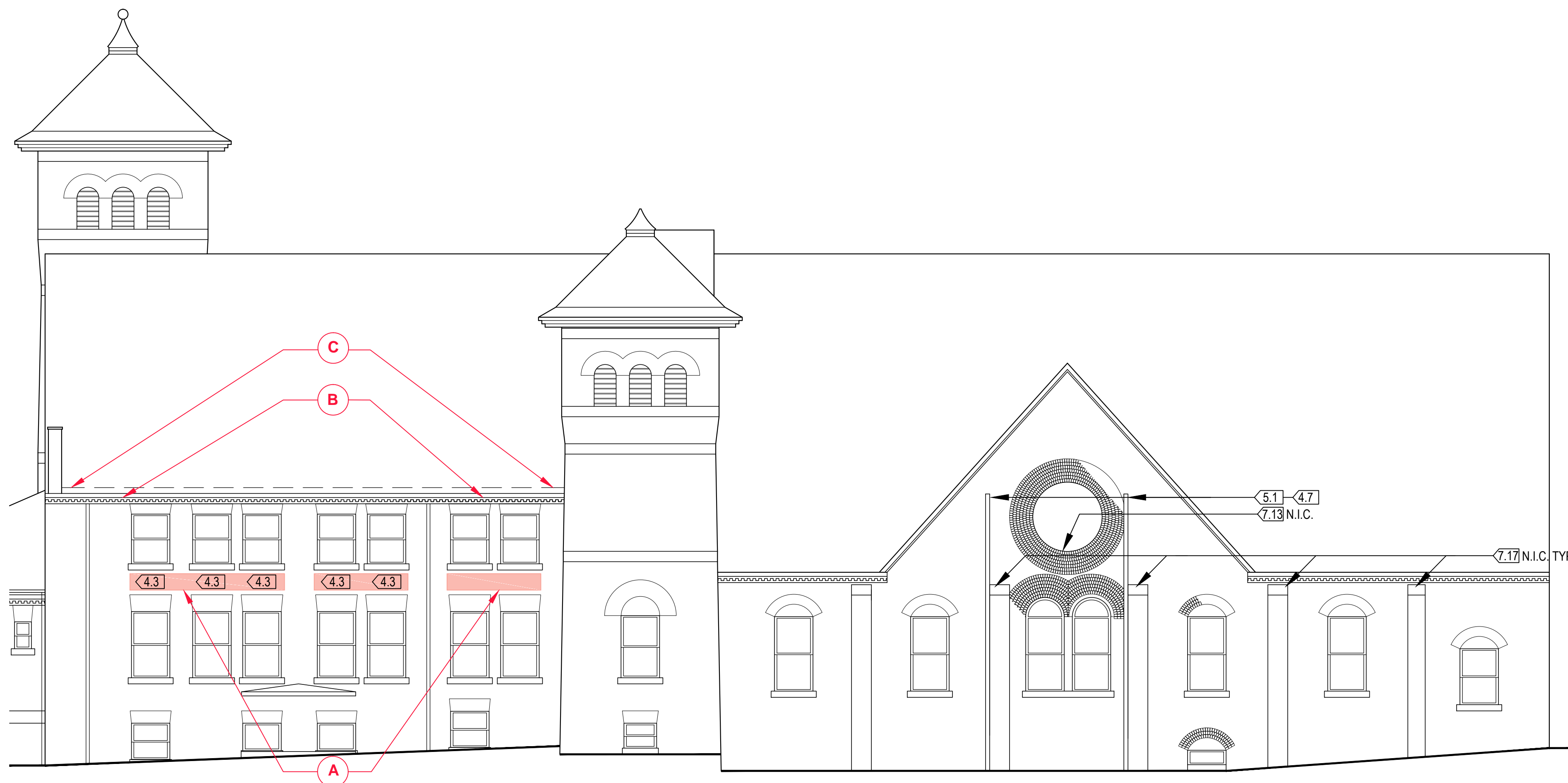
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# DATE DESCRIPTION  
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SEAL:

SHEET TITLE:  
ROOF PLAN

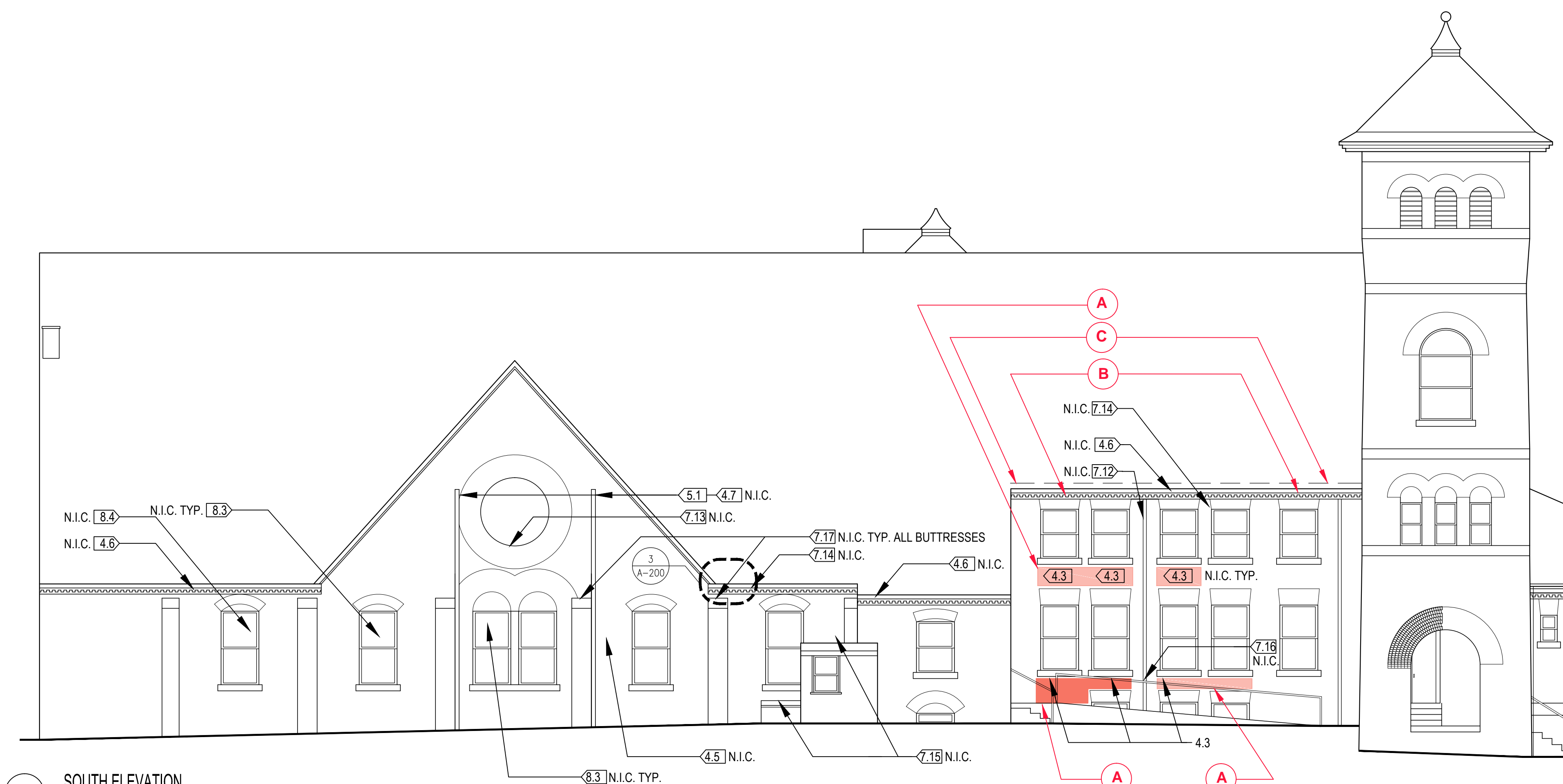
SHEET #:  
A-102







1 NORTH ELEVATION  
Scale: 1/8"=1'-0" @ 24 X 36 PRINT



2 SOUTH ELEVATION  
Scale: 1/8"=1'-0" @ 24 X 36 PRINT

Elevation Key Notes:

- 4.1 Rebuild brick masonry surrounding projecting roof drain at north wall face roof .  
4.2 Perform isolated repointing of selected wall areas on all three exposed sides.  
4.3 Rebuild and/or repoint spandrel panels between masonry openings of windows.  
4.4 Repair stepped crack in arch over entry doors to shelter and sanctuary.  
4.5 Install bricks in holes made for HVAC condenser lines.  
4.6 Repoint brick cornice along south wall.  
4.7 Rake-out vertical joints of each steel buttress and fill with structural grout.  
4.8 Rebuild chimney using salvaged brick to match original height.  
4.9 Reinstall stone masonry cap detail.  
4.10 Repoint remainder of brick masonry with mortar color to match existing.  
4.11 If chimney flue is unused, cap chimney with weighted bluestone cap  
4.12 Rebuild chimney to match original height; match cap detail.  
4.13 If flue is unused, cap chimney with weighted bluestone cap.  
5.1 Sandblast vertical steel buttresses and repaint.  
7.1 Cover exposed, existing roof sheathing with roofing felt underlayment.  
7.2 Cover felt underlayment with adhesive waterproofing membrane.  
7.3 Provide new red copper valley flashing; provide tapered open valleys.  
7.4 Reinstall salvaged slate shingles with new shingles in matching color, as required.  
7.5 Provide new red copper ridge flashing at both cross gables.  
7.6 Replace any deteriorated wood framing and sheathing at existing crickets where tower wall meets roof.

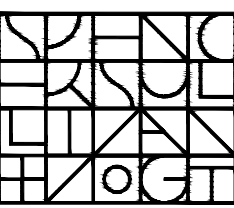
- 7.7 Cover existing and new roof sheathing with roofing felt underlayment.  
7.8 Cover felt underlayment with adhesive waterproofing membrane.  
7.9 Turn-up adhesive waterproofing membrane minimum 8" at abutting masonry walls.  
7.10 Provide new red copper base and counter-flashing; return up walls 12" minimum.  
7.11 Reinstall salvaged slate shingles with new shingles in matching color, as required.  
7.12 Provide new aluminum downspouts painted to match patinated copper.  
7.13 Install copper copper flashing at lower edge of round window.

- 7.14 Replace missing downspouts at three locations, each side.  
7.15 Provide new roofs and flashing over both bulkheads.  
7.16 Clean-out cast iron receivers and interior drains of all downspouts.  
7.17 Provide lead flashing at tops of all four steel buttresses.  
7.18 Provide new red copper base flashing, edge flashing, and built-in gutters.  
8.1 Replace louvered vents in all openings with glazed window sashes.  
8.2 Replace sheet metal covering with laminated glass in wood frame.  
8.3 Replace all existing storm windows, all building elevations, including arched transoms.  
8.4 Remove and replace broken glass in storm windows.



3 4.1 SOUTH ELEVATION - BRICK DENTIL DETERIORATION  
Scale: 1/8"=1'-0" @ 24 X 36 PRINT

ARCHITECT:



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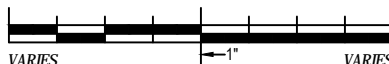
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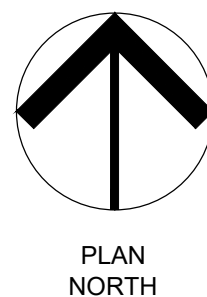
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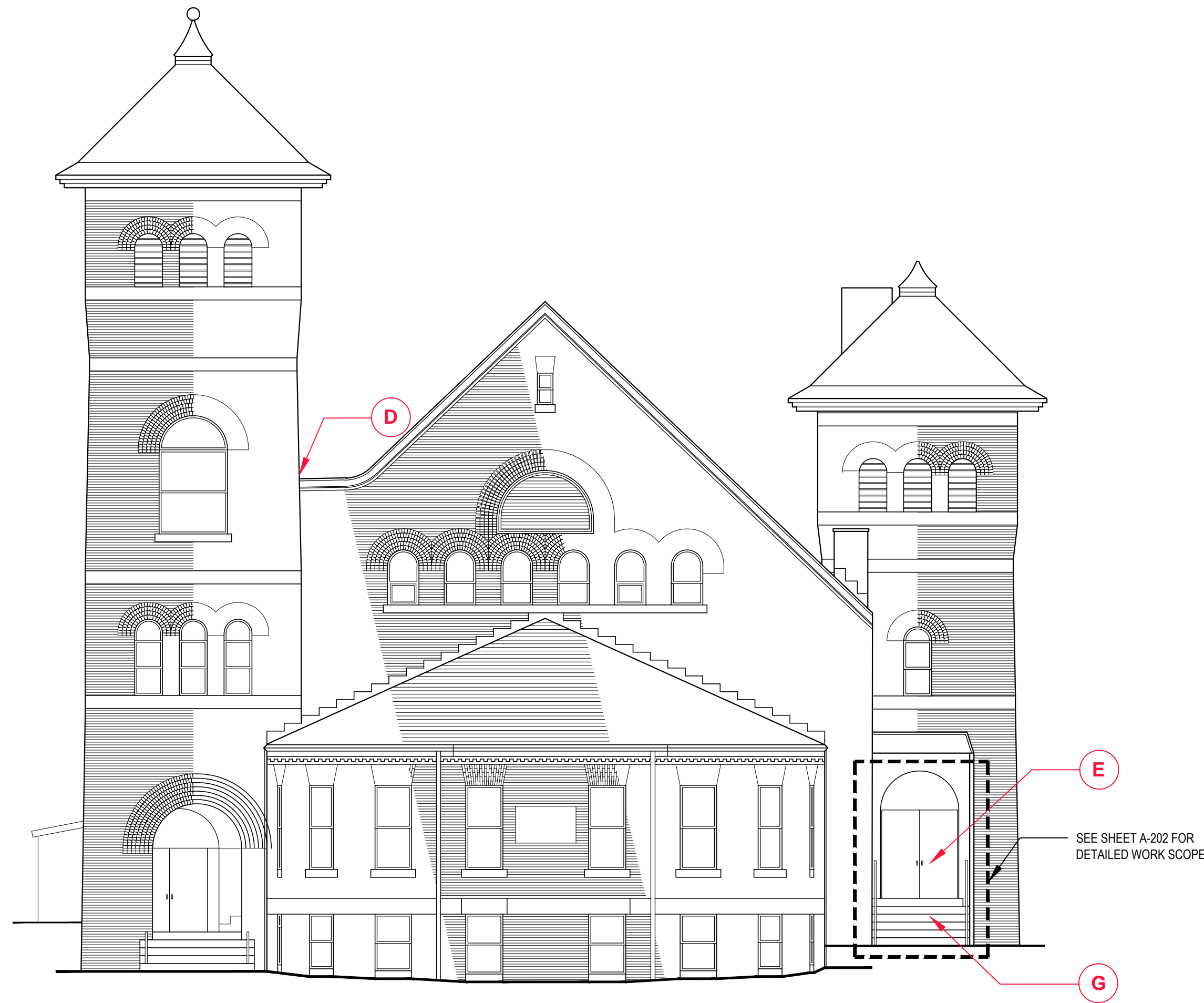
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ELEVATIONS - NEW WORK

SHEET #:

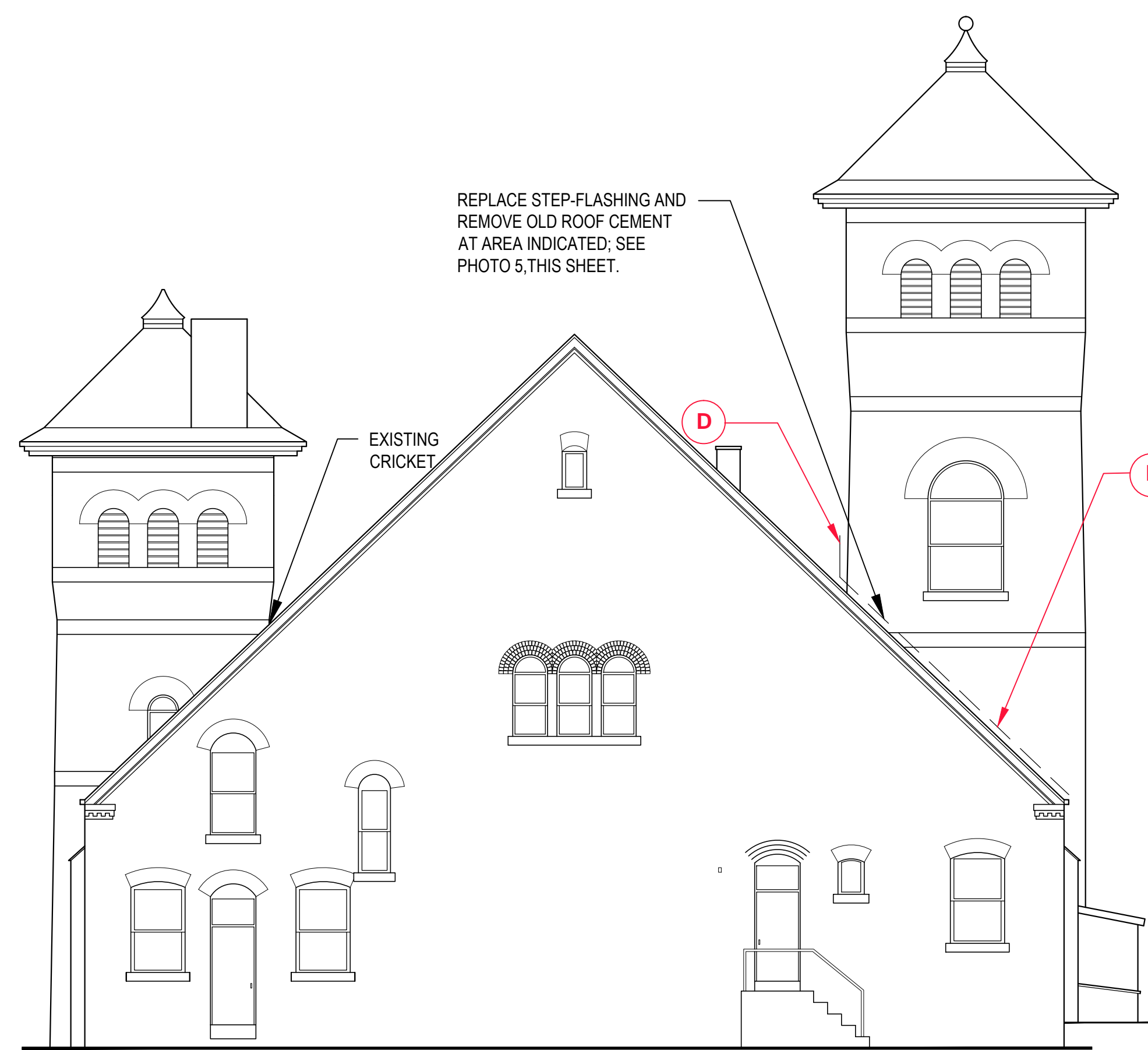
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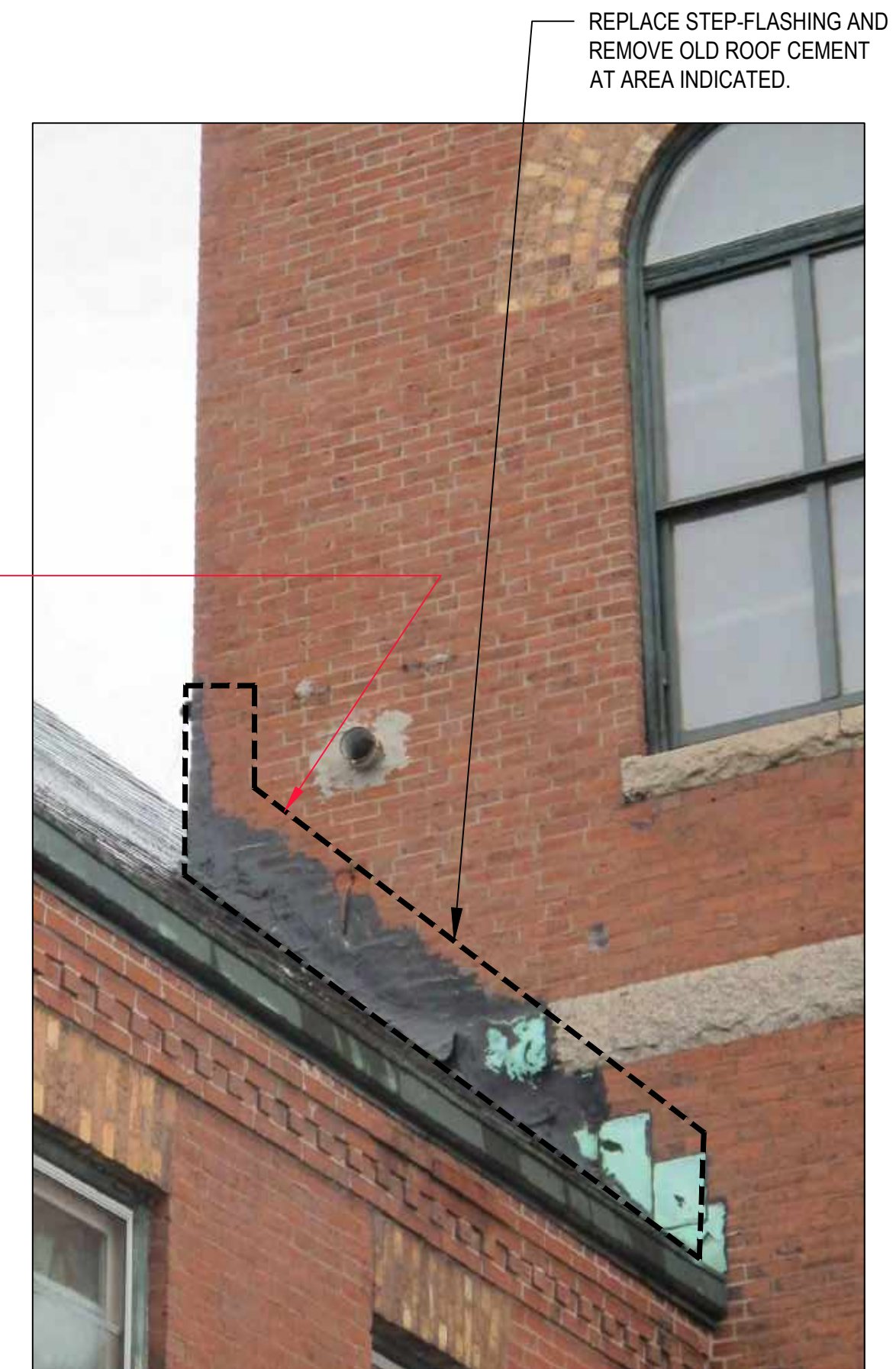




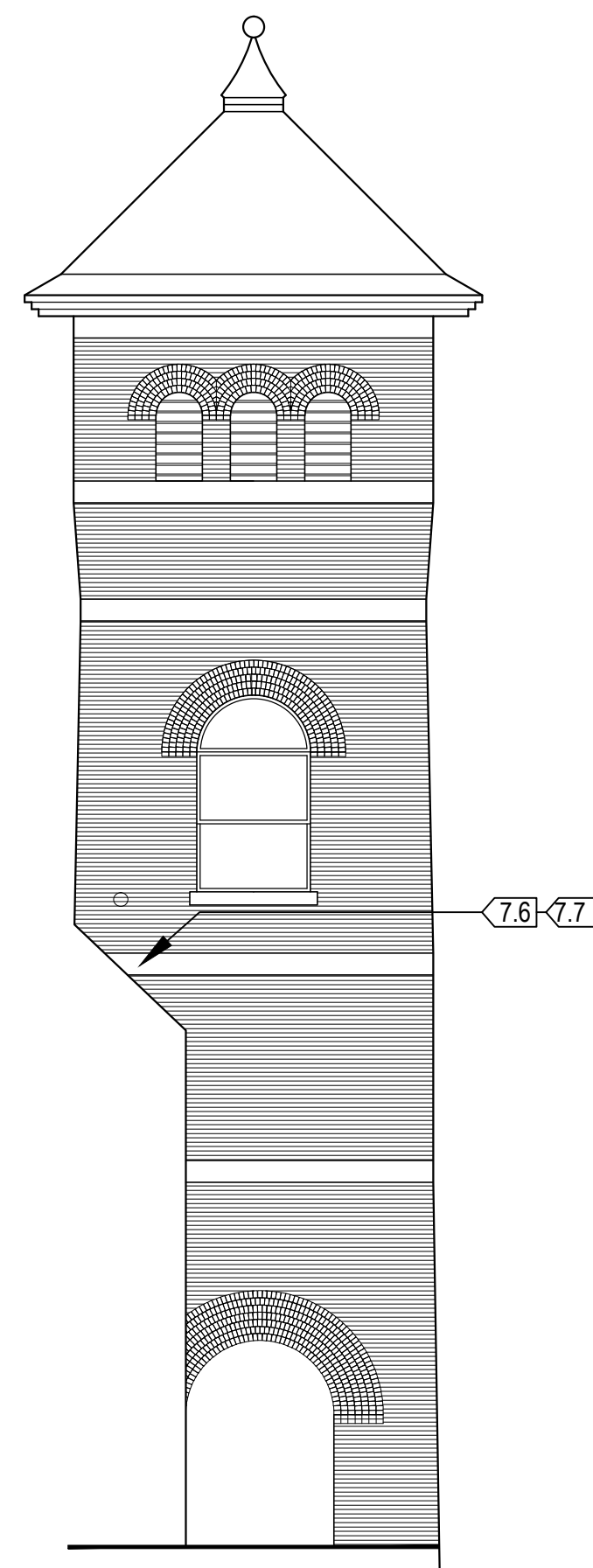
1 EAST ELEVATION  
Scale: 1/8"=1'-0" @ 24 X 36 PRINT



2 WEST ELEVATION  
Scale: 1/8"=1'-0" @ 24 X 36 PRINT



5 SOUTHEAST TOWER - WEST ELEVATION  
Scale: 1/8"=1'-0" @ 24 X 36 PRINT

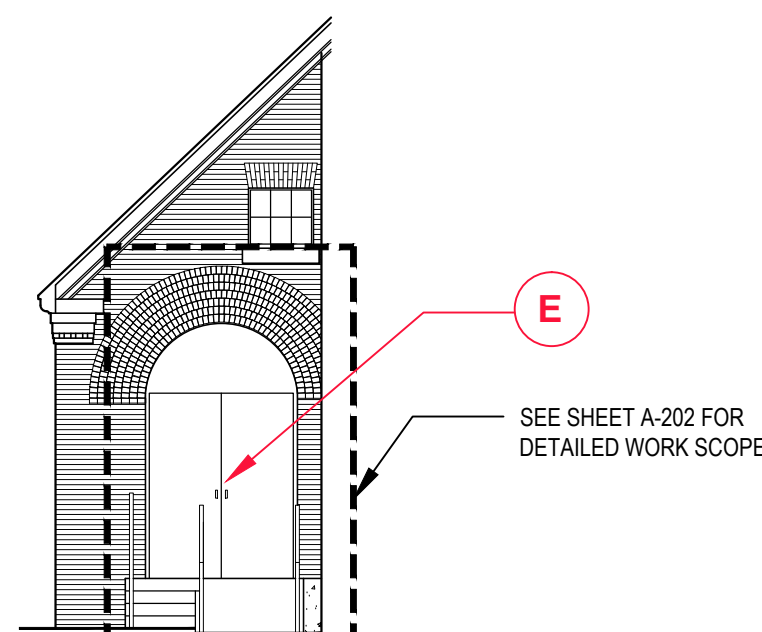


3 NORTHEAST ELEVATION  
Scale: 1/8"=1'-0" @ 24 X 36 PRINT

**General Notes:**

A. Provide and install new copper gutters, edge flashing, and downspouts at east side of south elevation. Remove old roofing cement and existing step-flashing at abutting wall (west facade of southeast tower). Provide and install new step-flashing at abutting wall. (Location of work indicated on roof plan).

B. Provide and install new copper edge flashing and gutters at east side of north elevation. (Location of work indicated on roof plan).



4 SOUTHEAST ELEVATION  
Scale: 1/8"=1'-0" @ 24 X 36 PRINT

**Demolition Key Notes:**

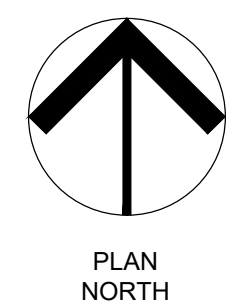
- 2.1 Remove and salvage all slate shingles from roof surfaces for reinstallation.
- 2.2 Not used.
- 2.3 Not used.
- 2.4 Replace any deteriorated wood roof sheathing with in-kind materials
- 2.5 Remove black asphalt roofing sealer from all brick masonry abutting main roof.
- 2.6 Remove existing copper base and counter-flashing at two contiguous sides of south tower.

**New Work Key Notes:**

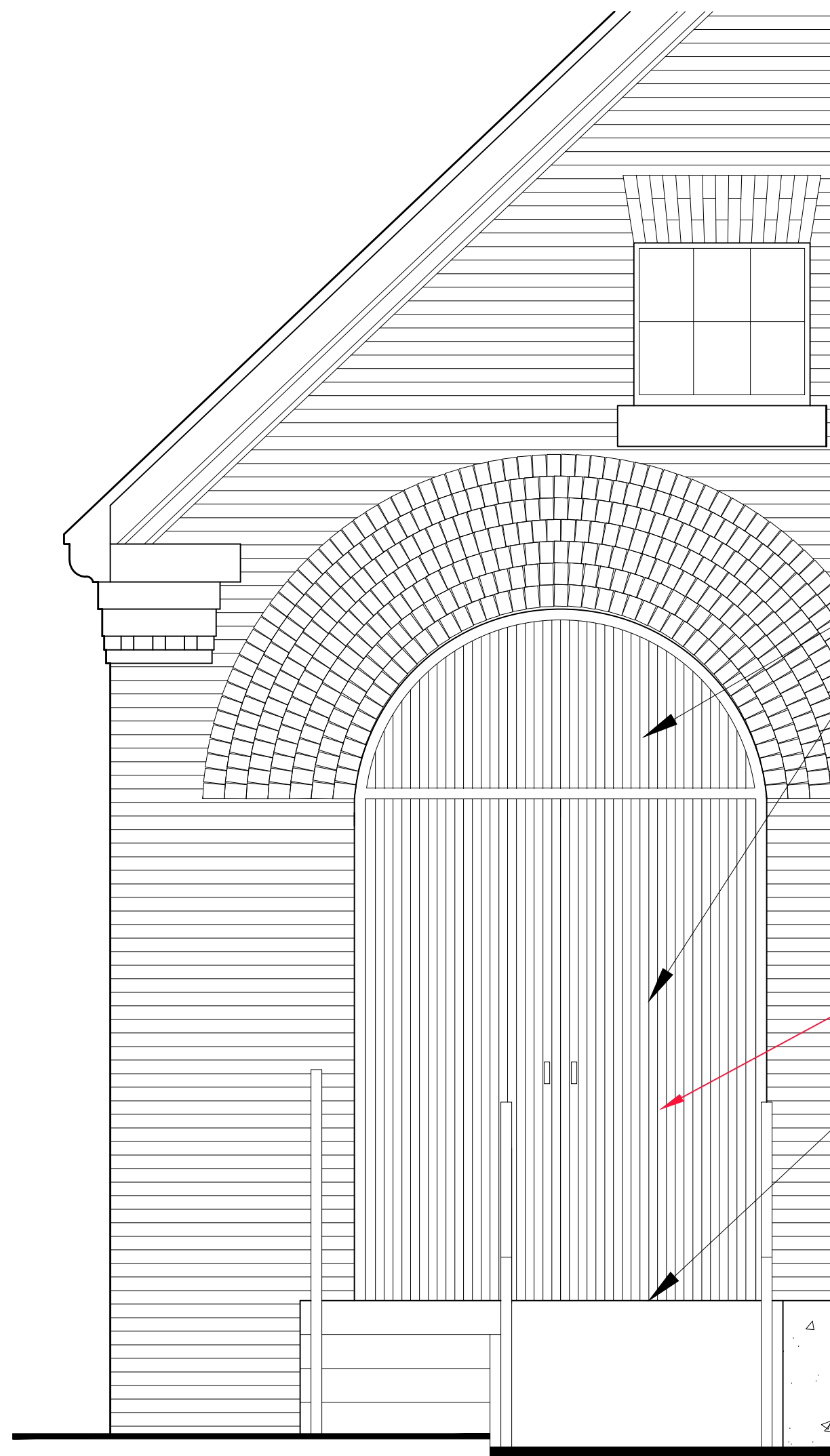
- 4.1 Perform deep cutting and repointing of brick dentil cornice below gutter.
- 4.2 Not used.
- 4.3 Not used.
- 4.4 Repoint remainder of brick masonry with mortar color to match existing.
- 7.1 Cover exposed, existing wood roof sheathing with adhesive waterproofing membrane.
- 7.2 Not used.
- 7.3 Reinstall salvaged slate shingles with new shingles in matching color, as required. For bidding purposes, assume 40% replacement of salvaged slate.
- 7.4 Not used.

- 7.5 Replace any deteriorated wood framing and sheathing at existing cricket where tower wall meets roof.
- 7.6 Turn-up adhesive waterproofing membrane minimum 8" at abutting masonry walls.
- 7.7 Provide new red copper base and counter-flashing; return up walls 8" minimum.
- 7.8 Provide new aluminum downspouts painted to match patinated copper.
- 7.9 Not used.
- 7.10 Provide new red copper edge flashing, and gutters.

Note: Exterior envelope new work notes 7.1 through 7.3 apply to all roof work areas.



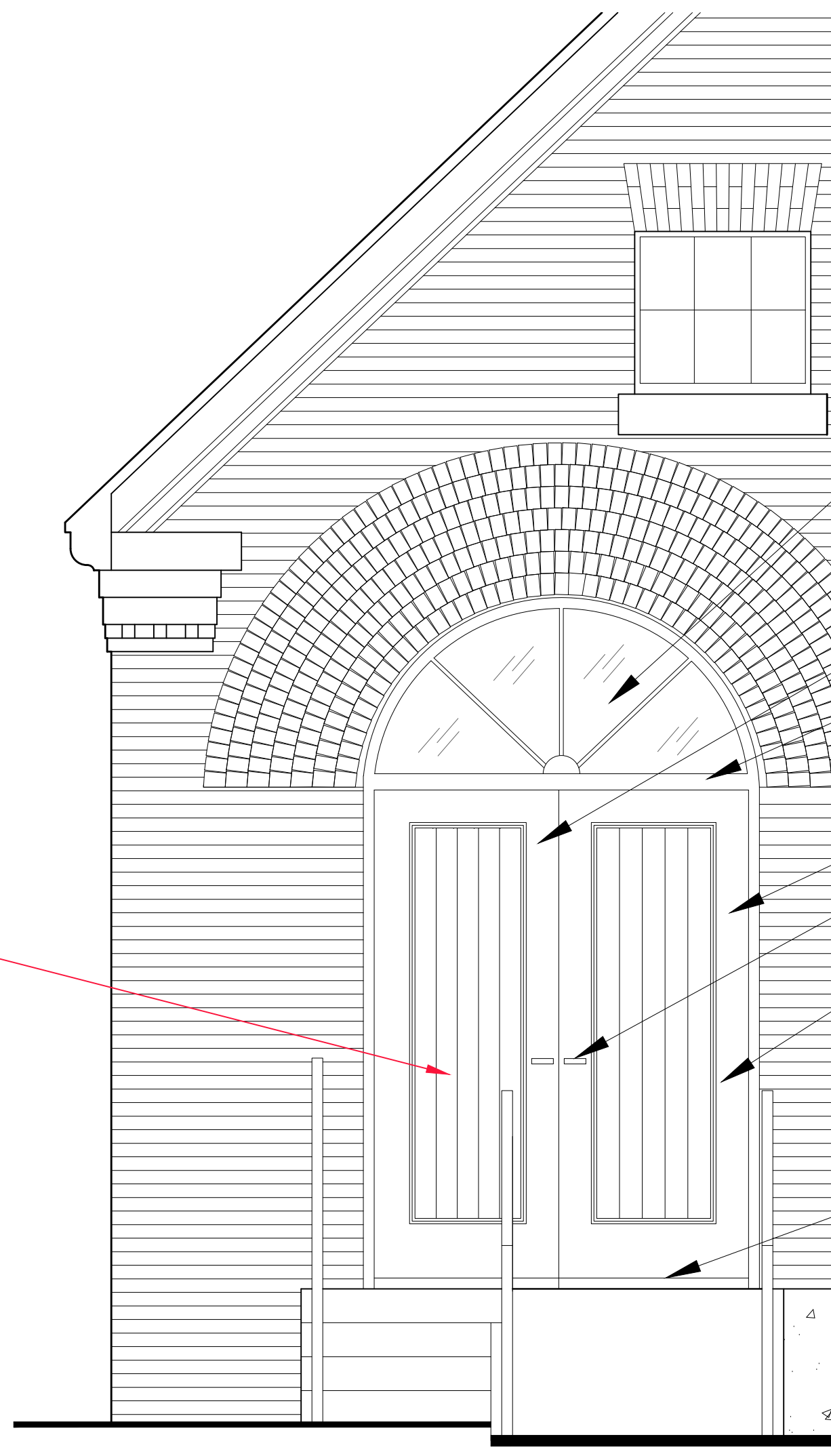




1 SOUTHEAST ELEVATION - EXISTING DOOR (NOTE: NORTHEAST DOOR SIMILAR)  
Scale: 1/2"=1'-0" @ 24 X 36 PRINT

REMOVE EXISTING DOOR AND HALF-ROUND INFILL PANEL ABOVE DOOR. REMOVE ALL HARDWARE. RETAIN EXISTING FRAME. NOTE: EXISTING FRAME REQUIRES SOME PARTIAL REBUILDING/REPAIR AT HINGE LOCATIONS.

REMOVE EXISTING STEEL THRESHOLD



2 SOUTHEAST ELEVATION - NEW DOOR (NOTE: NORTHEAST DOOR SIMILAR)  
Scale: 1/2"=1'-0" @ 24 X 36 PRINT

NEW WOOD FANLIGHT ABOVE NEW DOOR EQUALLY DIVIDED INTO FOUR (4) GLASS PANELS (INDICATED BY "GL")

DOOR LEAF 'A'

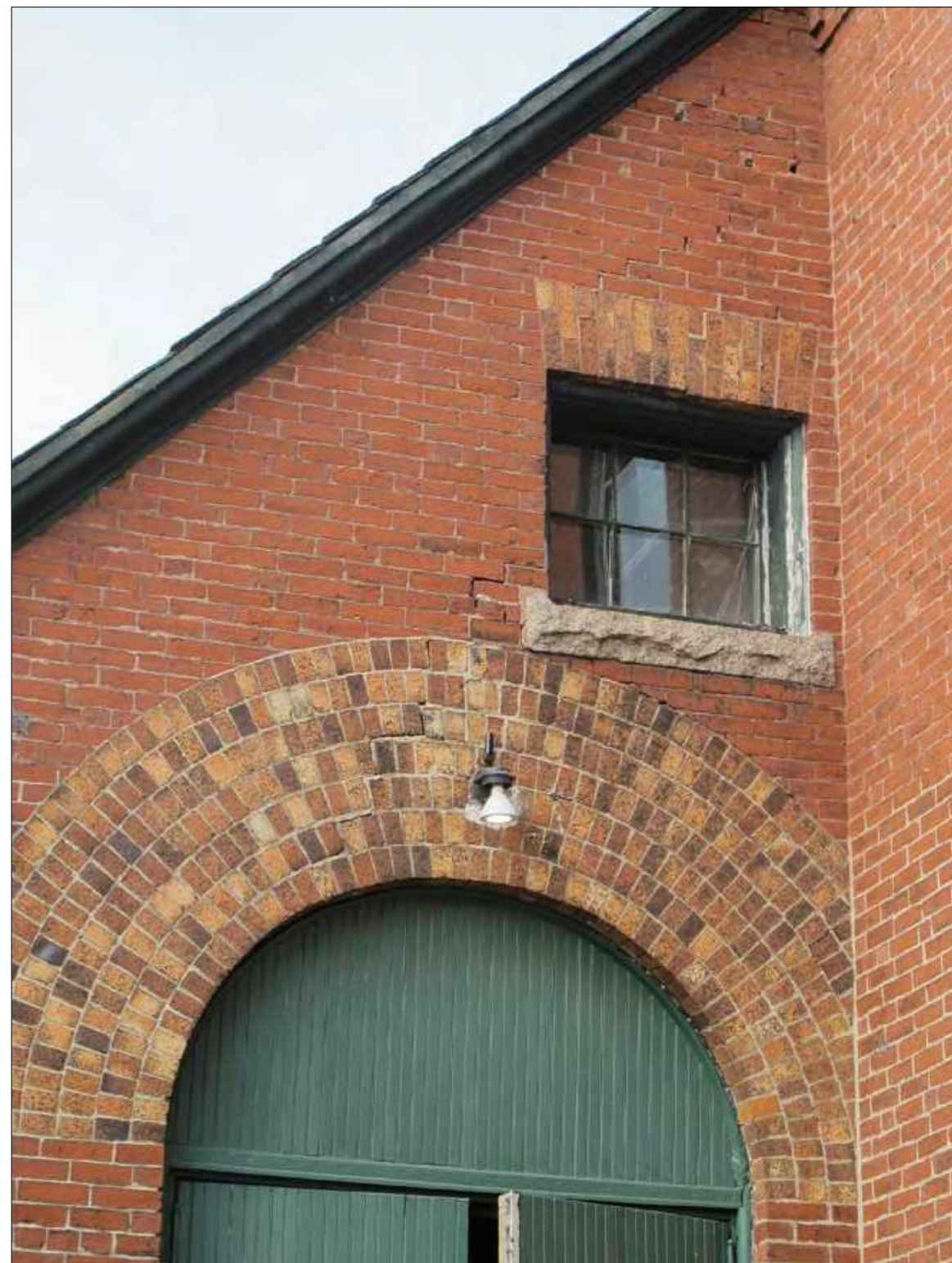
PROVIDE PAINTED METAL DRIP EDGE ALONG EXPOSED EXTERIOR OF TRANSOM.

DOOR LEAF 'B'

KEYED LEVER HANDLE AT ACTIVE DOOR LEAF 'B'

NEW WOOD DOUBLE DOORS, DESIGN BASED ON PINECREST (MANUFACTURER) STYLE NO. 5001-E. (PINECRESTINC.COM) SEE ENLARGED ELEVATION 5, THIS SHEET.

PROVIDE AND INSTALL NEW HEAVY-DUTY METAL (BRONZE) THRESHOLD (TO REPLACE EXISTING).



3 EXISTING DOOR PHOTO (AT ARCH) NO SCALE



4 EXISTING DOOR PHOTO (NOTE: NORTHEAST DOOR SIMILAR) NO SCALE

REMOVE EXISTING WOOD INFILL PANEL AT ARCH

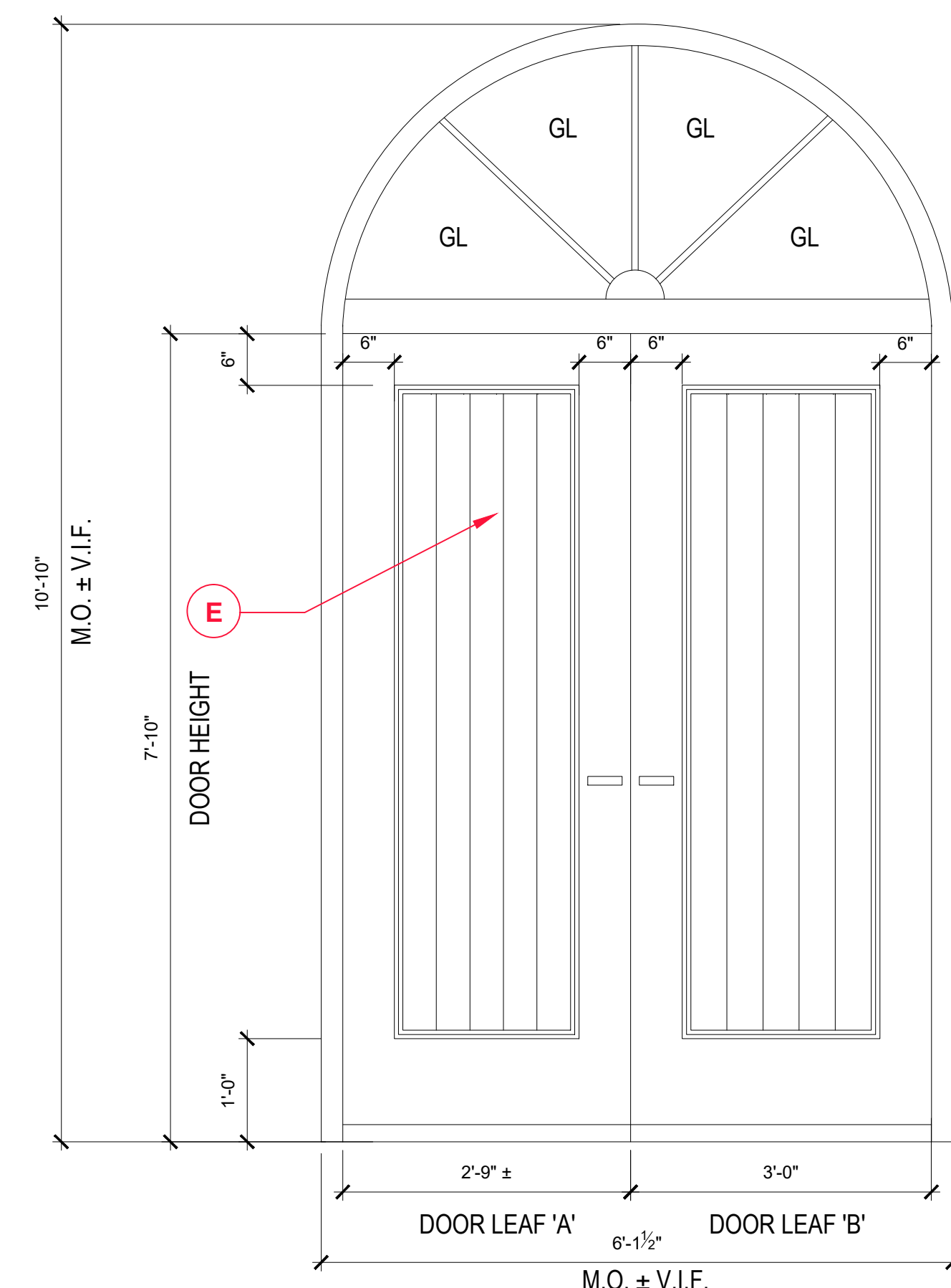
REMOVE EXISTING WOOD DOORS AND HARDWARE. LEAVE AREA FREE AND CLEAR FOR NEW WORK.

#### PROPOSED SCOPE OF WORK FOR NEW REPLACEMENT DOOR:

1. NEW WOOD DOUBLE DOOR BASIS OF DESIGN: PINECREST (MANUFACTURER) STYLE NO. 5001-E. PINECRESTINC.COM
2. ALTERNATE MFR. FOR NEW WOOD DOUBLE DOOR: SIMPSON (MANUFACTURER) STYLE NO. 4972 ARTIST. SIMPSONDOOR.COM
3. DOORS AND FANLIGHT FRAME TO RECEIVE (2) COATS OF HIGH-GLOSS OIL-BASED PAINT APPLIED TO ALL SURFACES, INCLUDING THE TOP AND BOTTOM SURFACES OF EACH DOOR. DOORS TO HAVE FACTORY PRIMER COAT APPLIED TO ALL SURFACES. (COLOR: BLACK).
4. NOTE: EXISTING M.O. AT DOORS IS 6'-1 1/2" X 10'-10".
5. EXISTING DOOR TO BE REPLACED IS 3 1/4" THICK. NEW DOORS SHALL BE 2 1/4" THICK.
6. GLASS AT FANLIGHT SHALL BE 3/16" THICK WITH TRUE DIVIDED LITE MUNTINS. MUNTIN PROFILES TO MATCH THOSE OF THE EXISTING BUILDING WINDOWS.

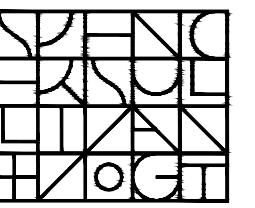
#### HARDWARE SET REQUIRED AT NEW DOORS:

- (4) HINGES FOR EACH DOOR LEAF
- (1) KICK-PLATE FOR EACH DOOR LEAF ON THE INSIDE SURFACE
- (1) PANIC HARDWARE DEVICE FOR EACH DOOR (WITH EXPOSED VERTICAL RODS FOR UNLOCKING/LOCKING)
- PERIMETER WEATHER-STRIPPING FOR EACH DOOR
- (1) DOOR CLOSER FOR EACH DOOR
- (1) KEYED, LEVER HANDLE (ON OUTSIDE) MORTISE LOCK-SET FOR ACTIVE 3'-0" DOOR ONLY
- 3-POINT LOCKING SYSTEM FOR THE DOORS (TO KEEP DOORS FROM WARPING)
- (1) KEEPER PLATE ON INACTIVE DOOR LEAF TO RECEIVE STRIKER FROM ACTIVE LEAF
- ACTIVE DOOR MORTISE LOCKSET THAT CAN BE SET FROM INSIDE TO ALWAYS BE OPEN OR ALWAYS BE LOCKED
- (1) FIXED LEVER HANDLE (ON OUTSIDE) FOR INACTIVE 2'-9" DOOR ONLY
- (1) WIDE ASTRAGAL ON EXTERIOR FACE OF ACTIVE 3'-0" DOOR (FULL HEIGHT) TO COVER VERTICAL MEETING POINT OF DOORS, AND TO PREVENT UNLOCKING ACTIVE LEAF FROM EXTERIOR
- ALL HARDWARE IS TO BE FINISHED IN AN OIL-RUBBED BRONZE FINISH



5 SOUTHEAST ELEVATION - NEW DOOR (NOTE: NORTHEAST DOOR SIMILAR)  
Scale: 3/4"=1'-0" @ 24 X 36 PRINT

ARCHITECT:



**Spencer, Sullivan & Vogt**  
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Charlestown, MA 02129-3308  
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CONSULTANT:

OWNER:

PROJECT: CPA FY21

**SOMERVILLE HISPANIC CHURCH**

59 Cross St.  
Somerville, MA 02145

KEY:



01 Sep. 14, 2020 CPA FY21

# DATE DESCRIPTION

ISSUANCES:

SEAL:

SHEET TITLE:  
**NEW DOOR ELEVATIONS**

SHEET #:

**A-202**





PHOTO 1: Existing stair where new accessible entrance is to be located. Note: stairs up to Sanctuary beyond.

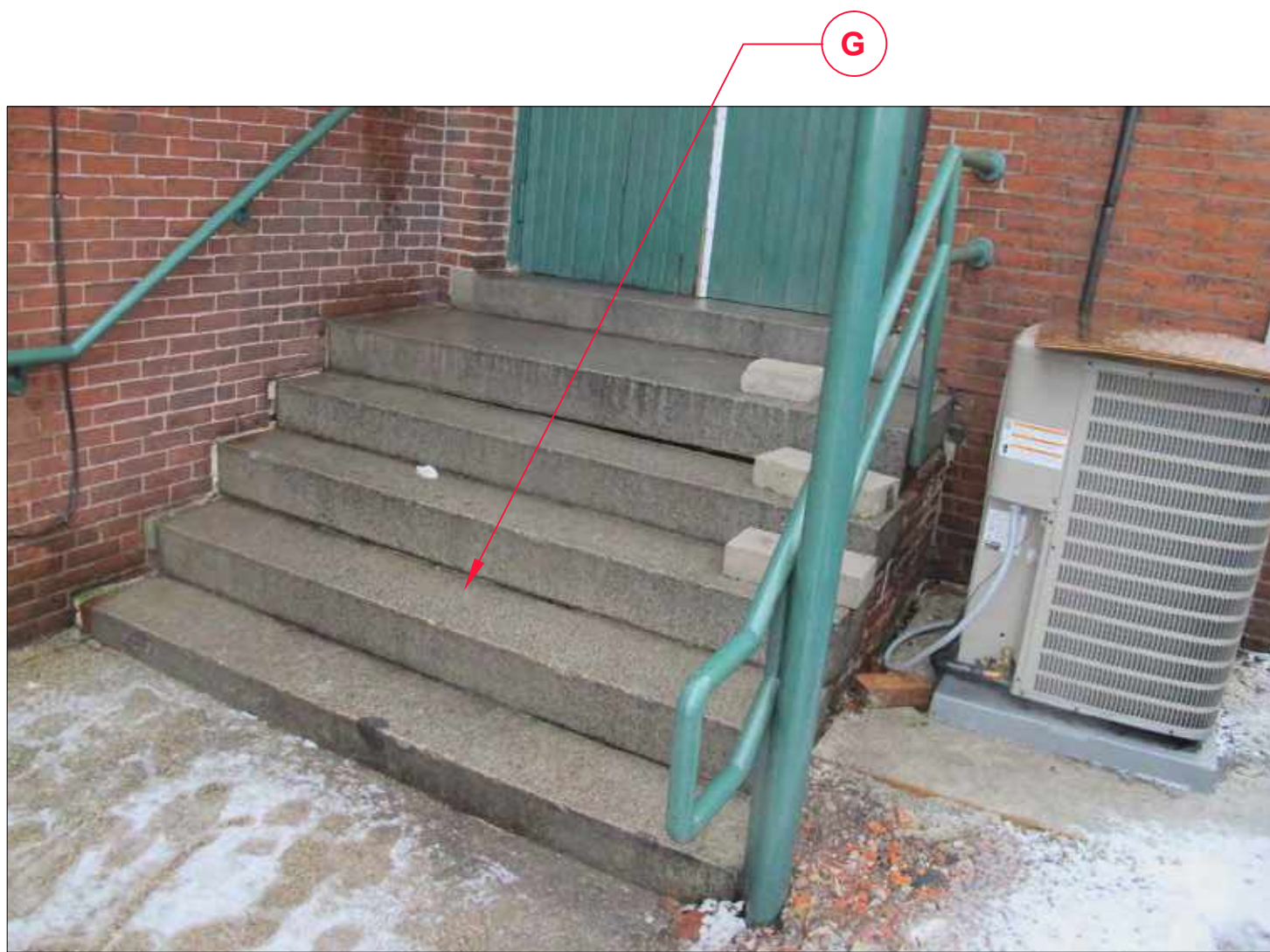


PHOTO 2: Existing granite stair to remain at Sanctuary entrance.

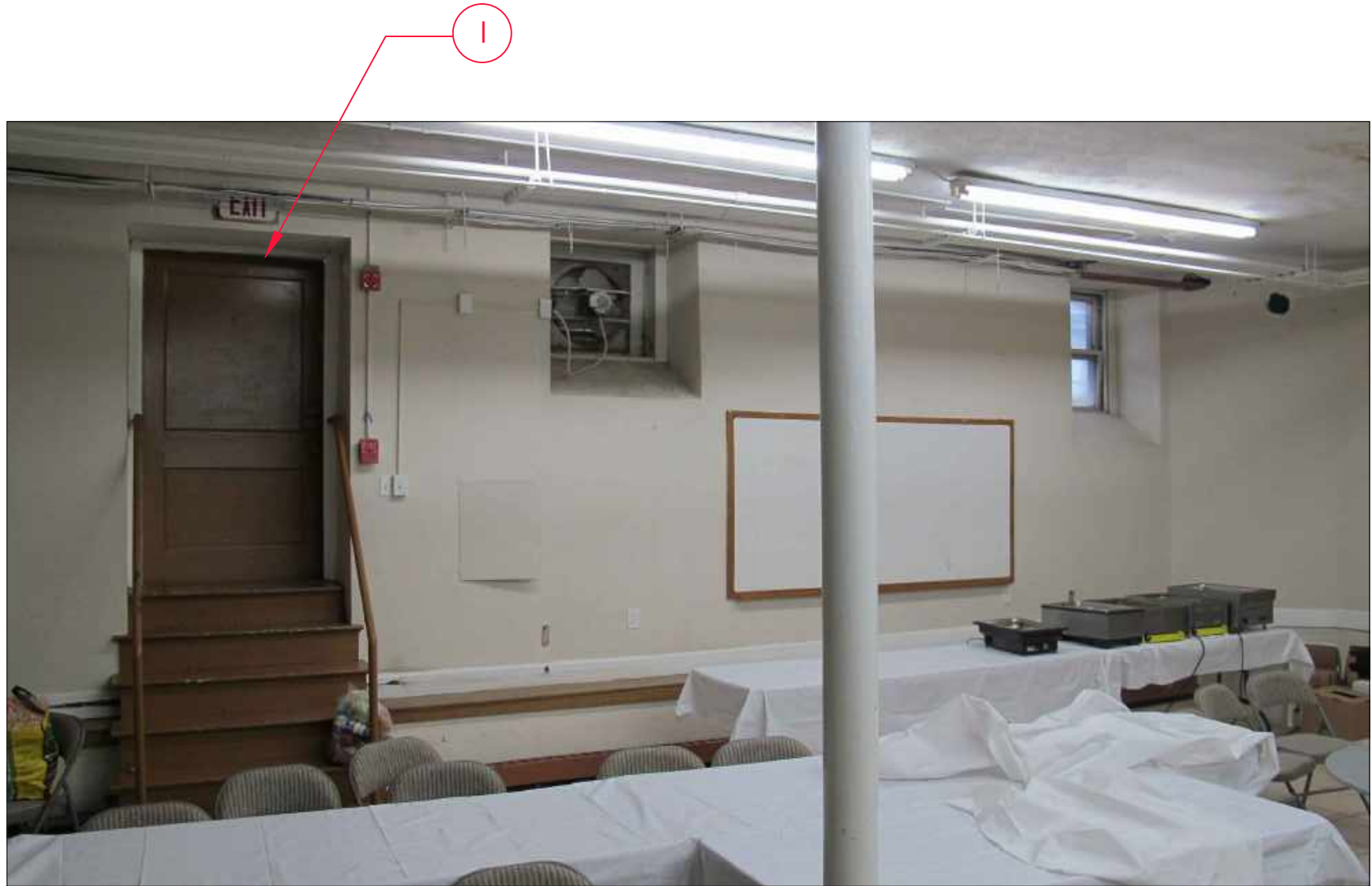


PHOTO 3: Existing Social / Dining area at basement. The existing floor elevation will be raised to match adjacent Kitchen and Stage floor elevations.



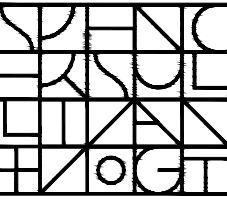
PHOTO 4: Existing area between Somerville Hispanic Church and neighbor's property. Note: new walkway and accessible entrance to be built at this location.



PHOTO 5: Existing door and stairs at Sanctuary entrance.



PHOTO 6: Existing Social / Dining room in basement. Floor to be raised to match the elevation of the stage area beyond.

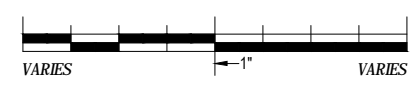
ARCHITECT:  
  
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01	Sep. 14, 2020	CPA FY21

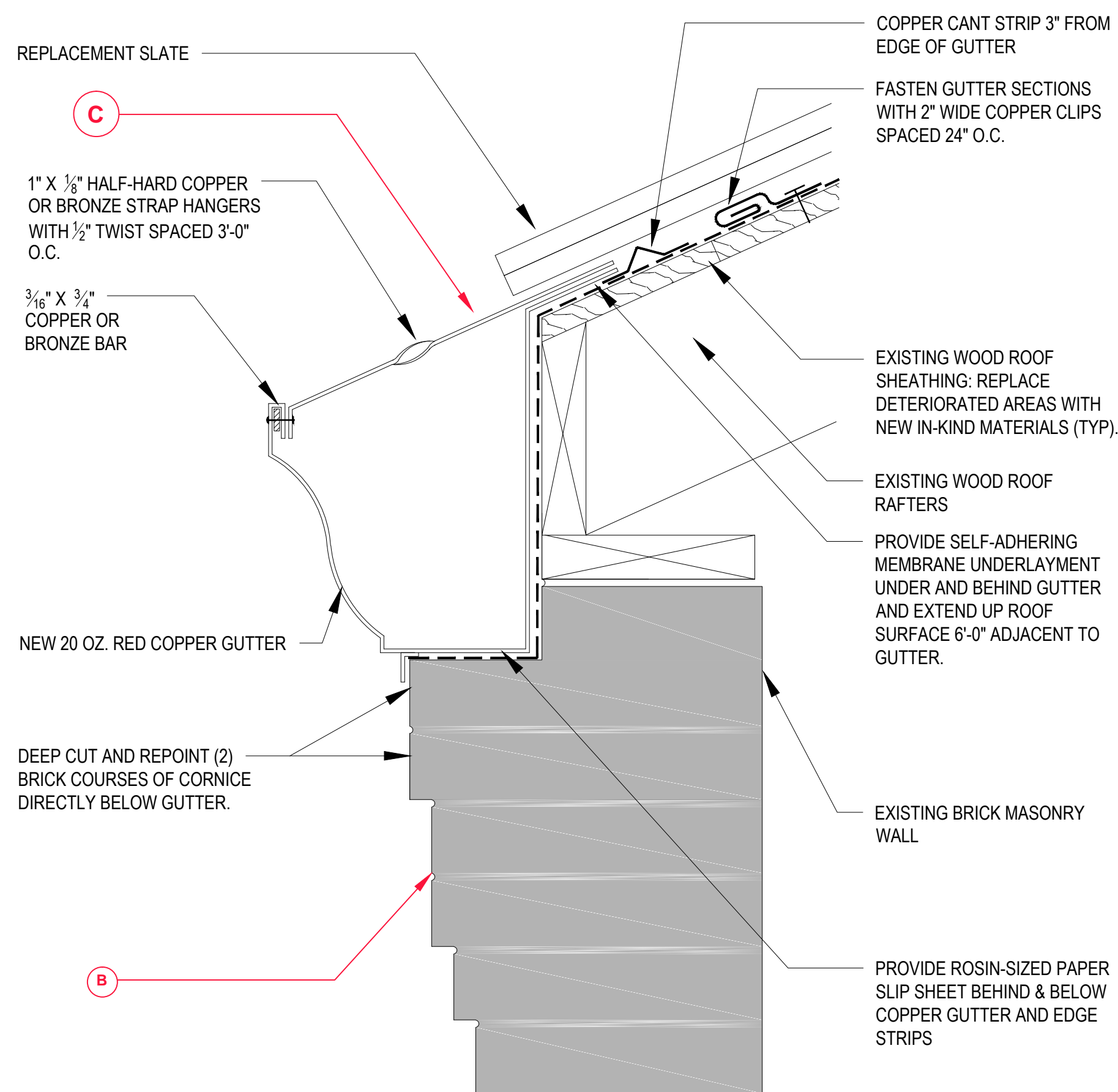
ISSUANCES:

SEAL:

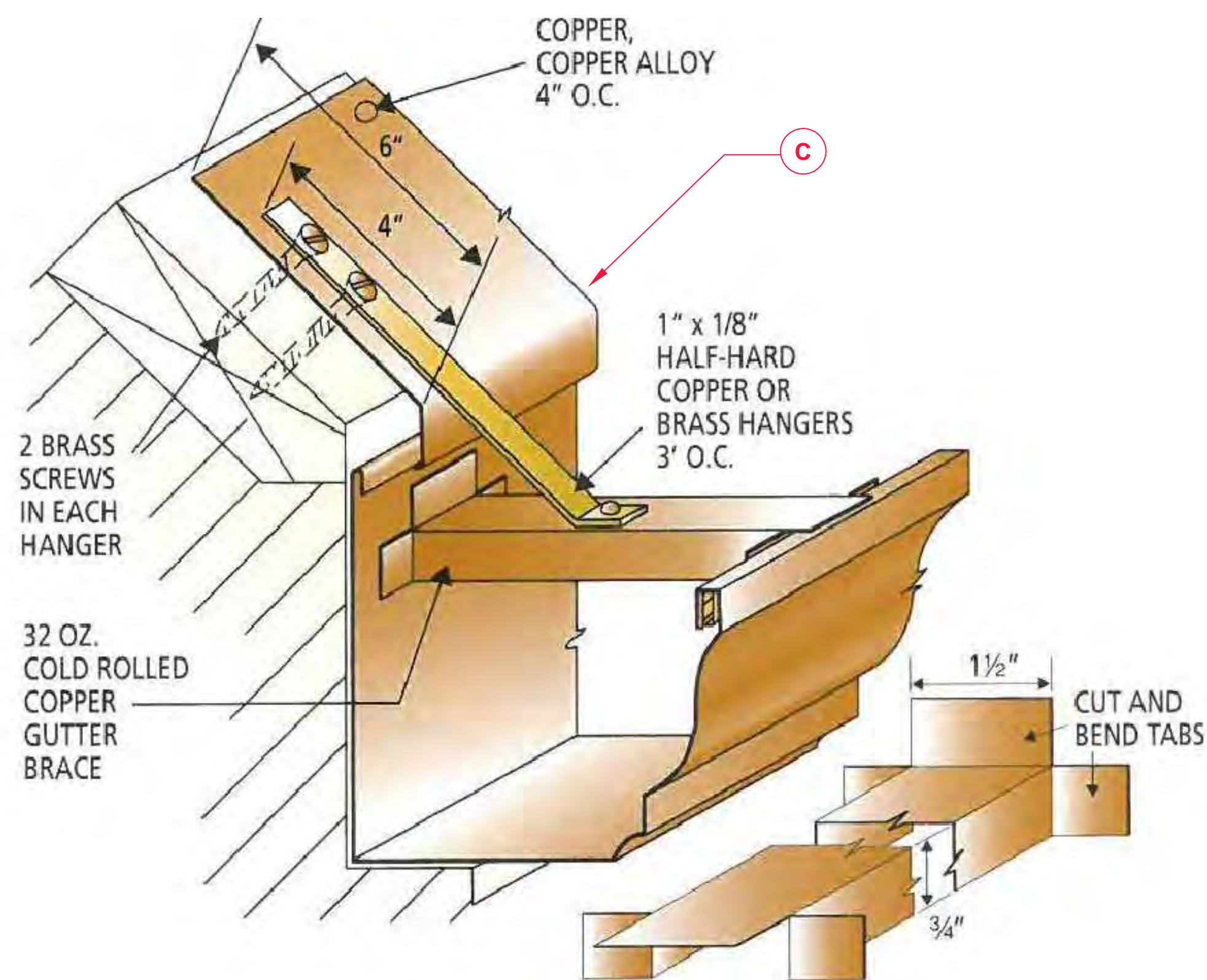
SHEET TITLE:  
**EXISTING CONDITIONS  
PHOTOGRAPHS**

SHEET #:  
**A-500**

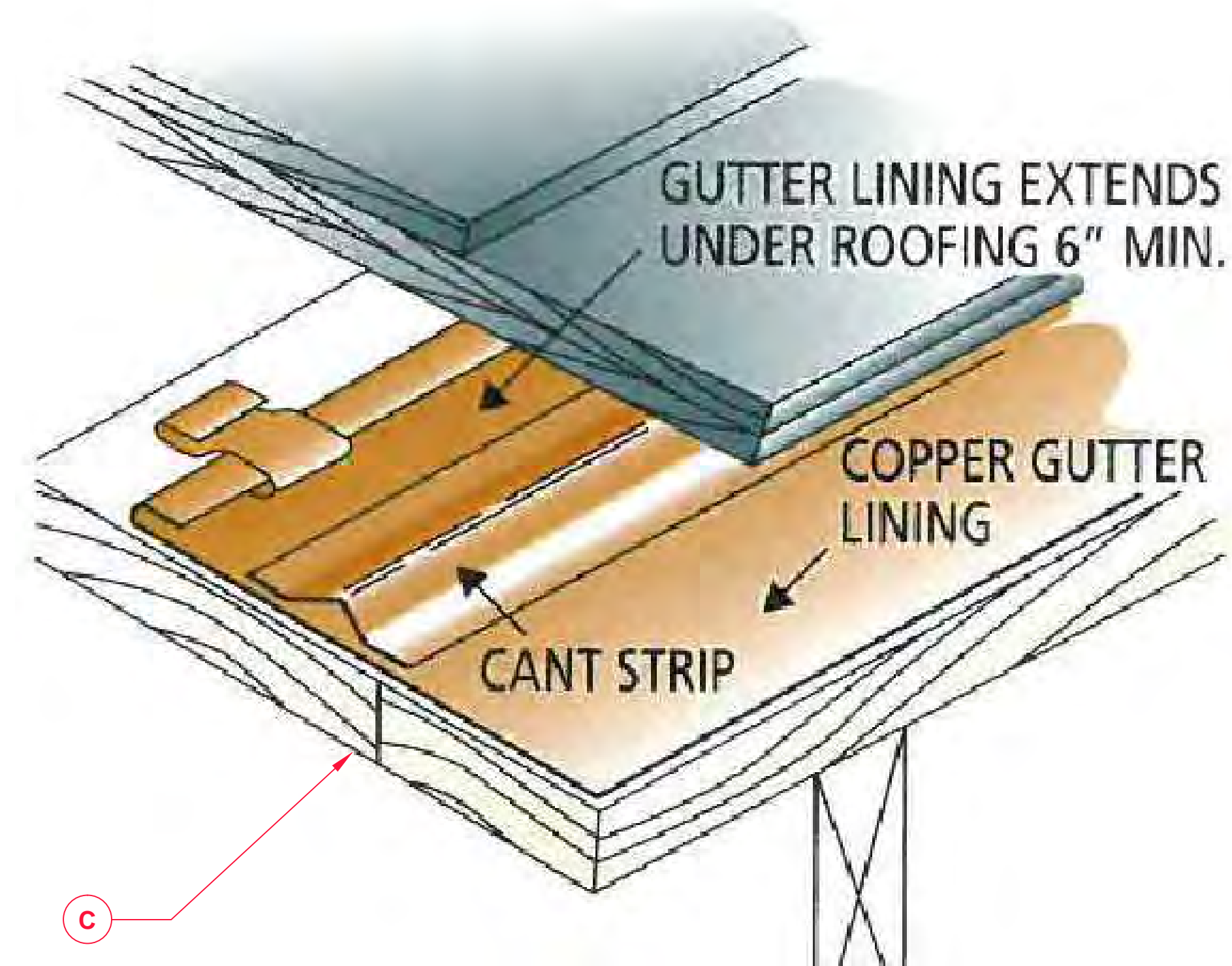




**4 GUTTER DETAIL**  
Scale: 3"=1'-0" @ 24 X 36 PRINT

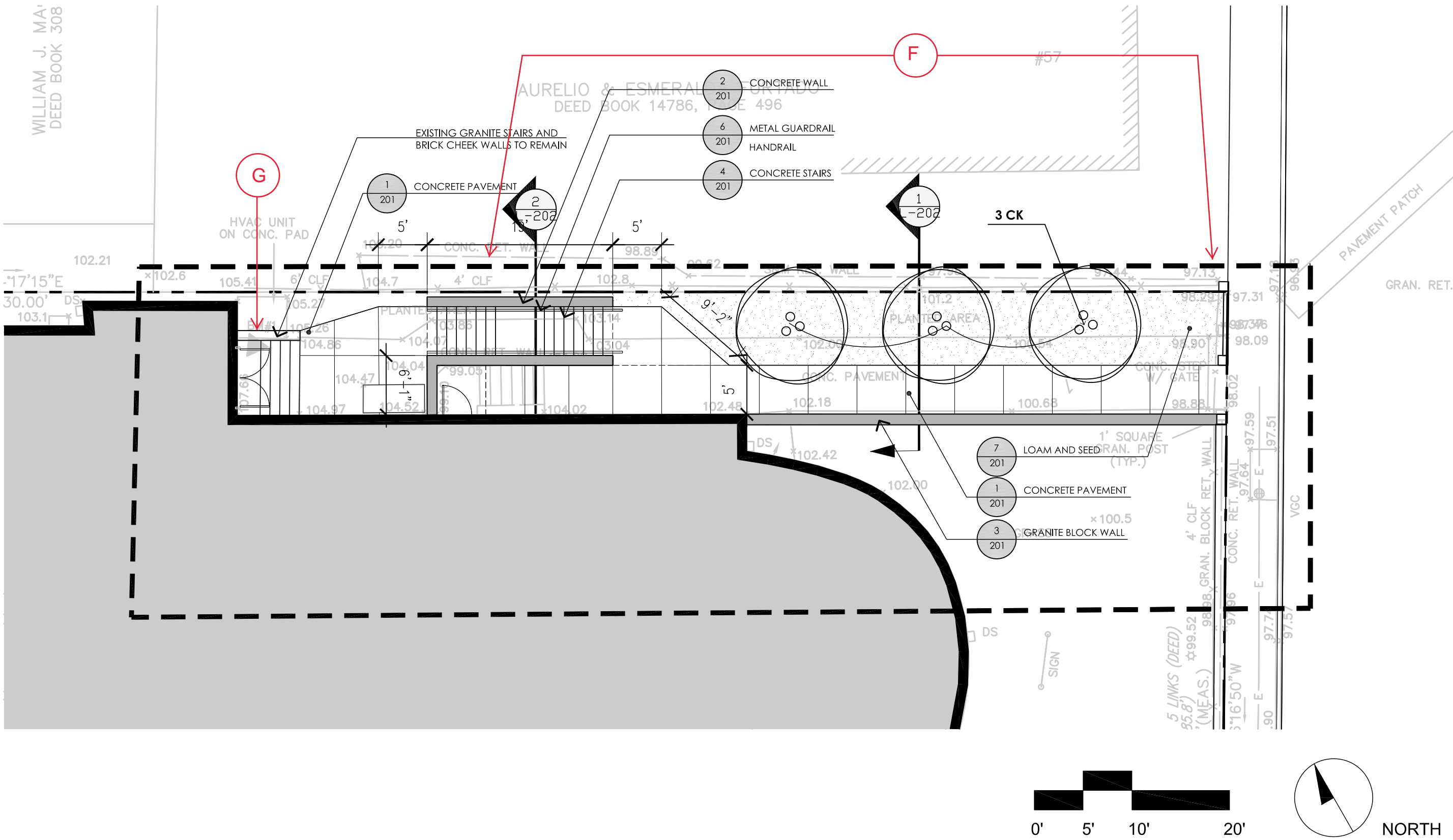


**5 GUTTER DETAIL**  
Scale: NTS

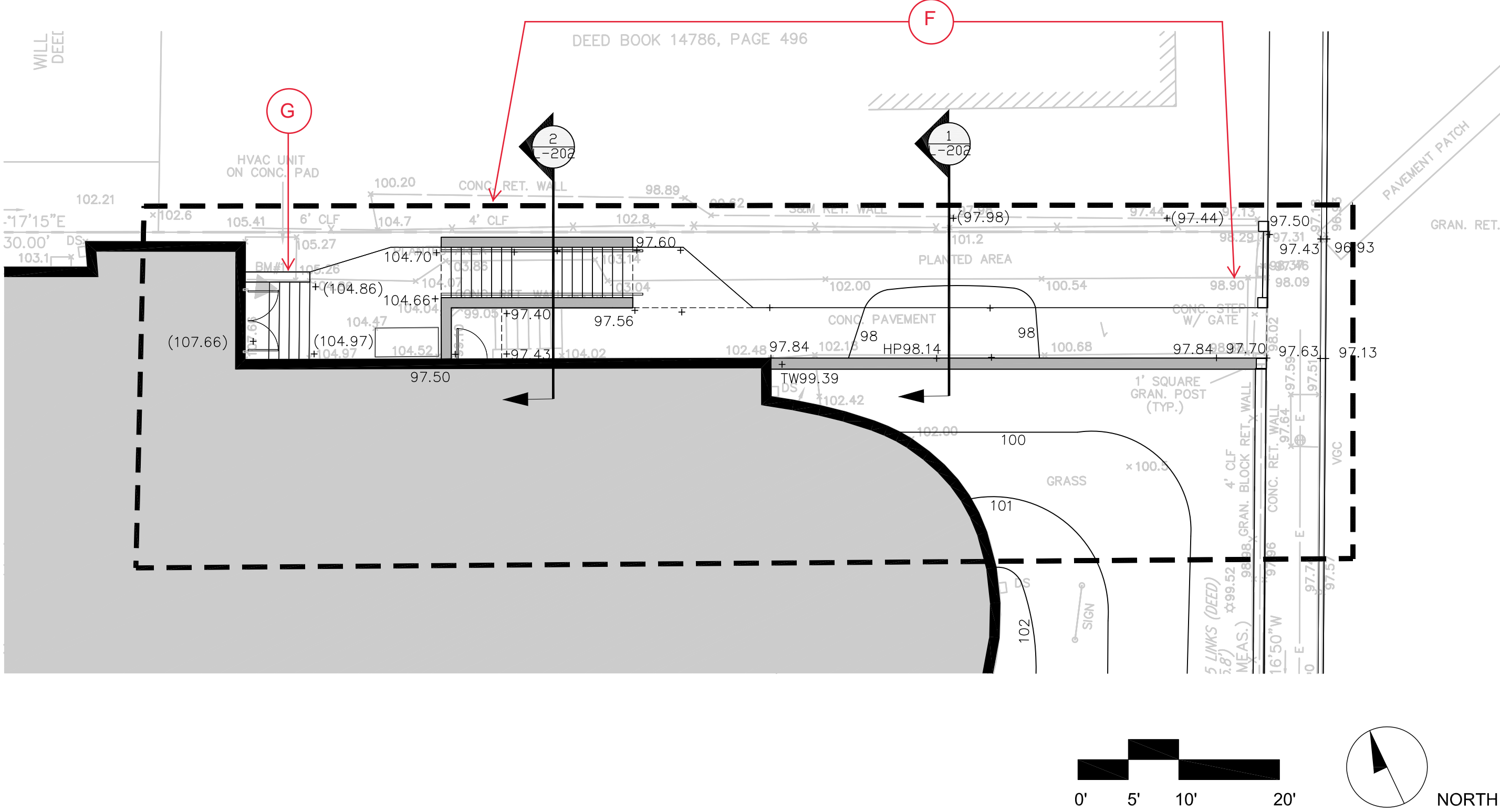


**6 CANT STRIP DETAIL**  
Scale: NTS





1 MATERIALS AND PLANTING PLAN



2 GRADING PLAN

LAYOUT AND MATERIAL NOTES

- EXISTING CONDITIONS INFORMATION IS A COMPILED SURVEY PREPARED BY HANCOCK ASSOCIATES AT 185 CENTRE STREET, DANVERS, MA 01923 DATED 6/5/2017.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO CONSTRUCTION.

LAYOUT AND MATERIALS LEGEND

PROPERTY LINE	---
LIMIT OF WORK	---
EXISTING RETAINING WALL	---
PROPOSED RETAINING WALL	---

PLANTING LEGEND

PROPERTY LINE	---
LIMIT OF WORK LINE	---
ORNAMENTAL TREE	⊗
GENERAL LAWN SEED MIX	⊗

GRADING LEGEND

PROPERTY LINE	---
LIMIT OF WORK LINE	---
PROPOSED 1 FOOT CONTOURS	90
PROPOSED SLOPE DIRECTION	1.0%
EXISTING SPOT GRADE	+ (74.70)
PROPOSED SPOT GRADE	+ 74.70
PROPOSED GRADE BRAKE	

PLANTING NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE COMPILED EXISTING CONDITIONS PLAN OF LAND PREPARED BY HANCOCK ASSOCIATES AT 185 CENTRE STREET, DANVERS, MA 01923 DATED 6/5/2017.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL WRITTEN ACCEPTANCE OF PLANT MATERIAL.
- CONTRACTOR SHALL VERIFY ALL TREE REMOVALS AND/OR TRANSPLANTS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM PROPOSED BUILDING, STRUCTURES, AND PLANTING BEDS.
- MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING.
- ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
- FINAL LAYOUT OF PLANTINGS WILL BE IN THE FIELD PER THE DIRECTION OF THE LANDSCAPE ARCHITECT, PROVIDE A MINIMUM FORTY-EIGHT (48) HOURS NOTICE PRIOR TO BEGINNING FINAL LAYOUT AND PLANTING OPERATIONS.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
- ALL PLANTED AREAS TO BE EDGED AND MULCHED WITH AGED PINE BARK; PARTIALLY DECOMPOSED, JET BLACK IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- PLANTING SOIL MIX: UTILIZE EXISTING SITE LOAM FROM STOCKPILES, THOROUGHLY INCORPORATE WITH COMPOST AS NEEDED PER SOILS ANALYSIS. FERTILIZE PER RECOMMENDED RATES IN SOIL ANALYSIS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.
- ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE LOAMED AND SEEDED WITH A MINIMUM DEPTH OF 6" DEPTH TOPSOIL UNLESS OTHERWISE NOTED.

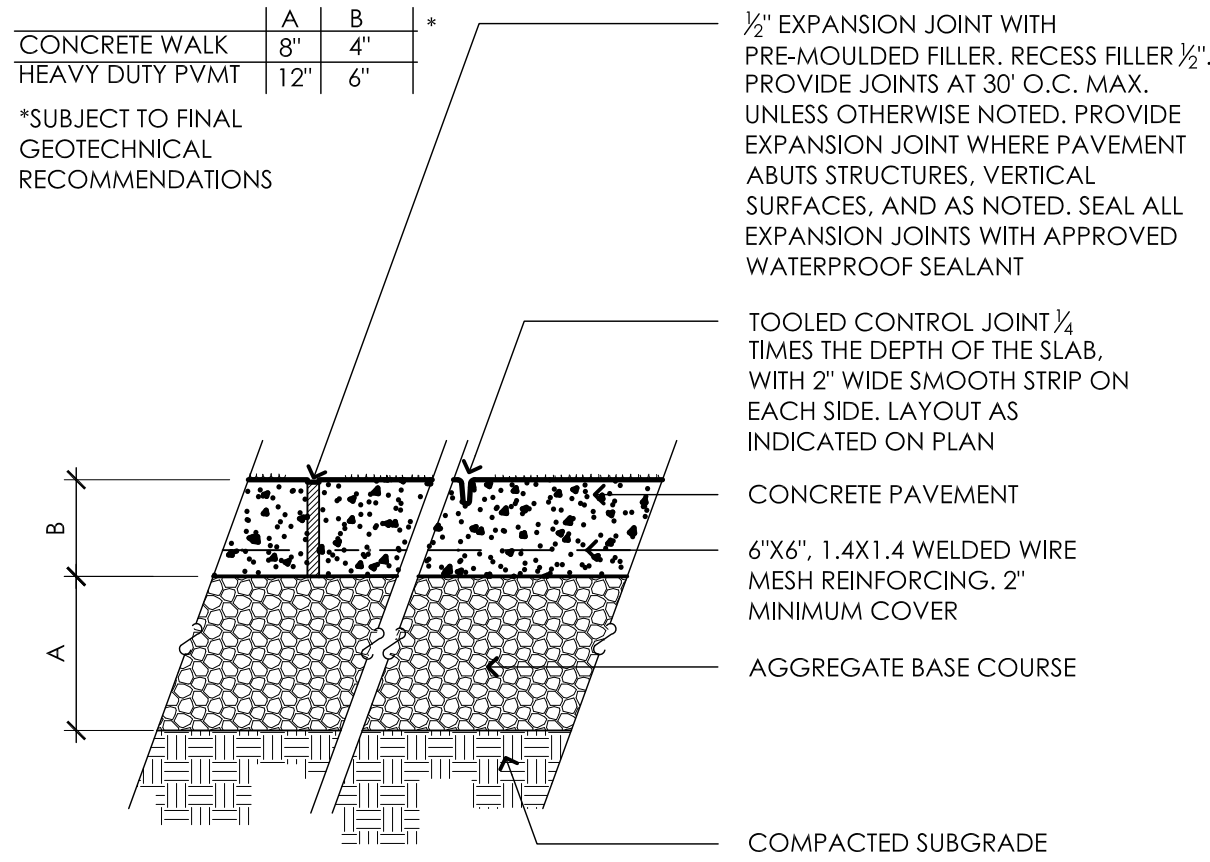
PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE
ORNAMENTAL TREES - 3 Trees				
CK	CORNUS KOUSA	KOUSA DOGWOOD	3	3-3.5 CAL.

GRADING NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE COMPILED EXISTING CONDITIONS PLAN OF LAND PREPARED BY HANCOCK ASSOCIATES AT 185 CENTRE STREET, DANVERS, MA 01923 DATED 6/5/2017.
- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE CIVIL ENGINEER, AND LANDSCAPE ARCHITECT FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- CONTRACTOR SHALL MAINTAIN, OR ADJUST TO NEW FINISH GRADE, AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS: TRAFFIC SIGN POLES, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS, UNLESS OTHERWISE NOTED OR DIRECTED BY THE CIVIL ENGINEER AND LANDSCAPE ARCHITECT.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION, AT THE CONTRACTOR'S EXPENSE.
- PROTECT AND MAINTAIN EXISTING ON-SITE DRAINAGE STRUCTURES AND PIPES UNLESS OTHERWISE NOTED. REFER TO CIVIL DRAWINGS.
- WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.



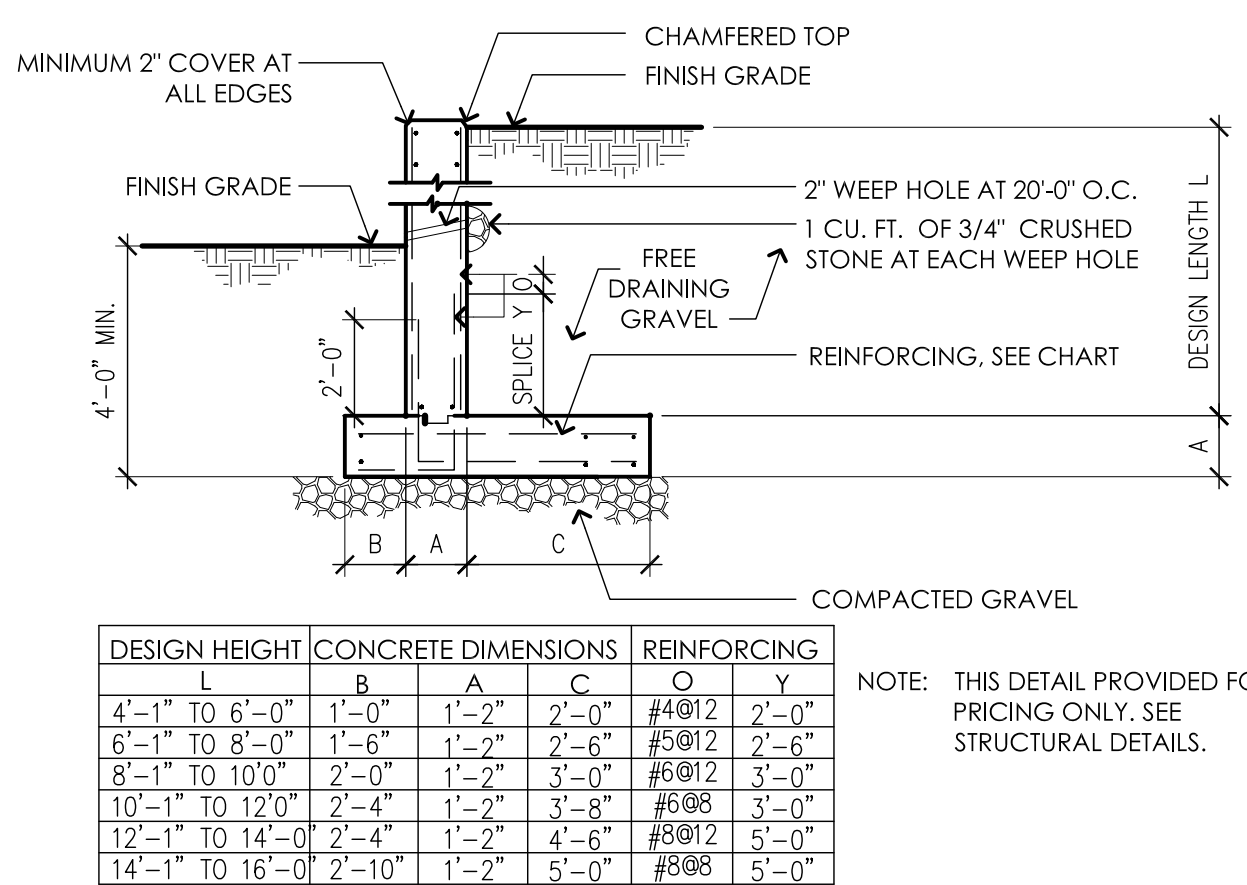


NOTES:

PROVIDE LIGHT BROOM FINISH PERPENDICULAR TO THE TRAFFIC FLOW UNLESS OTHERWISE NOTED

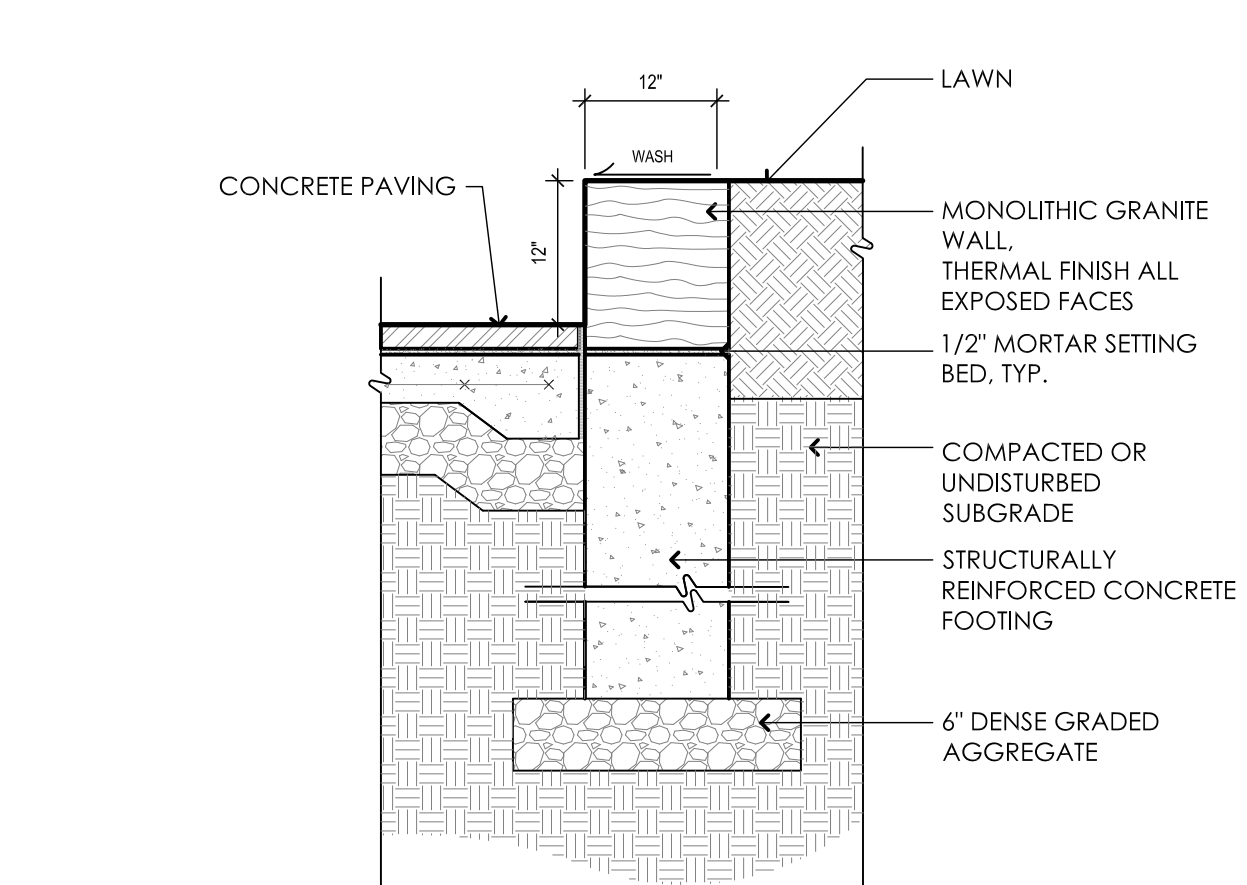
1 CONCRETE PAVEMENT

1 1/2" = 1'-0"



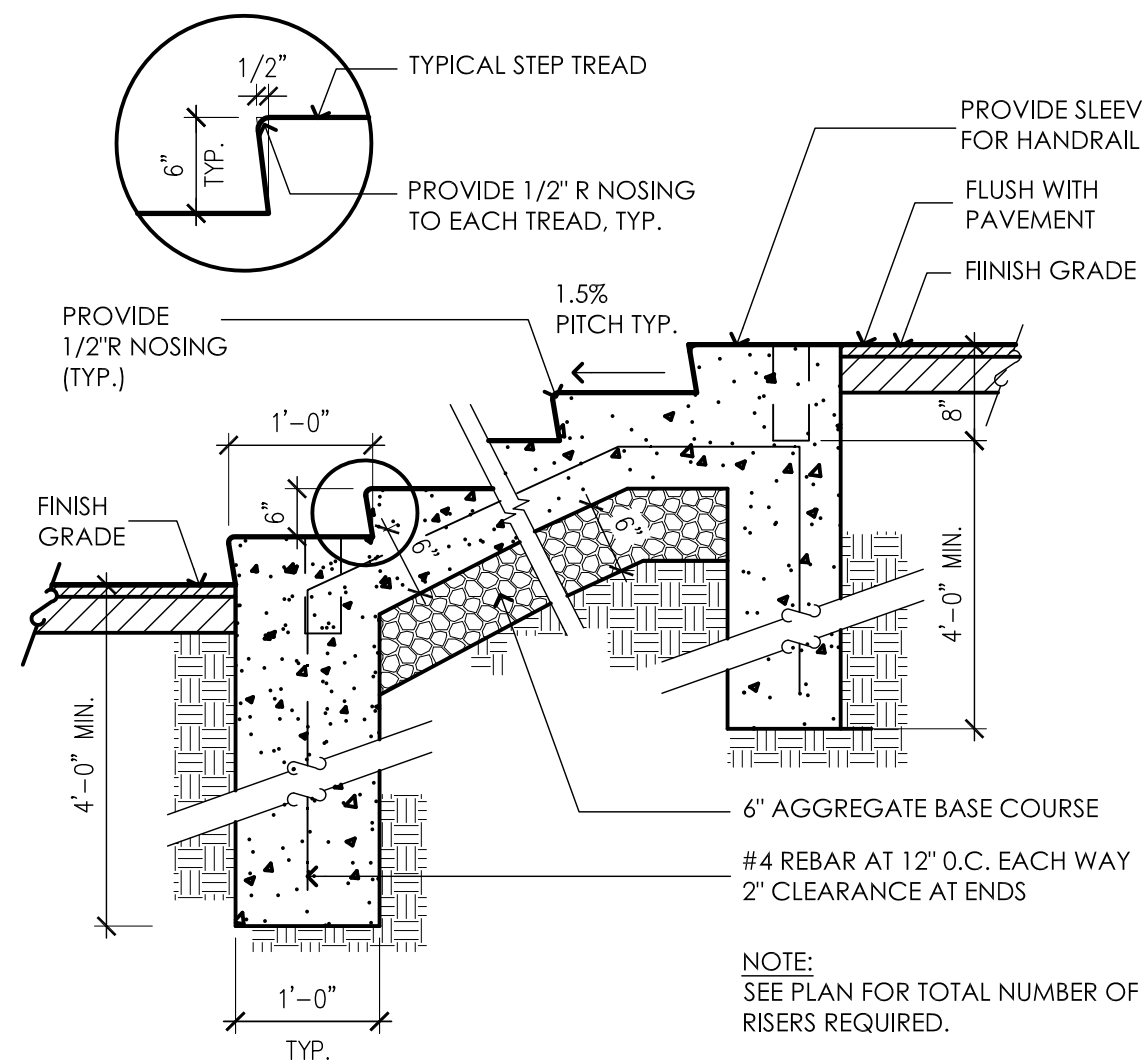
2 CONCRETE WALL

1/4" = 1'-0"



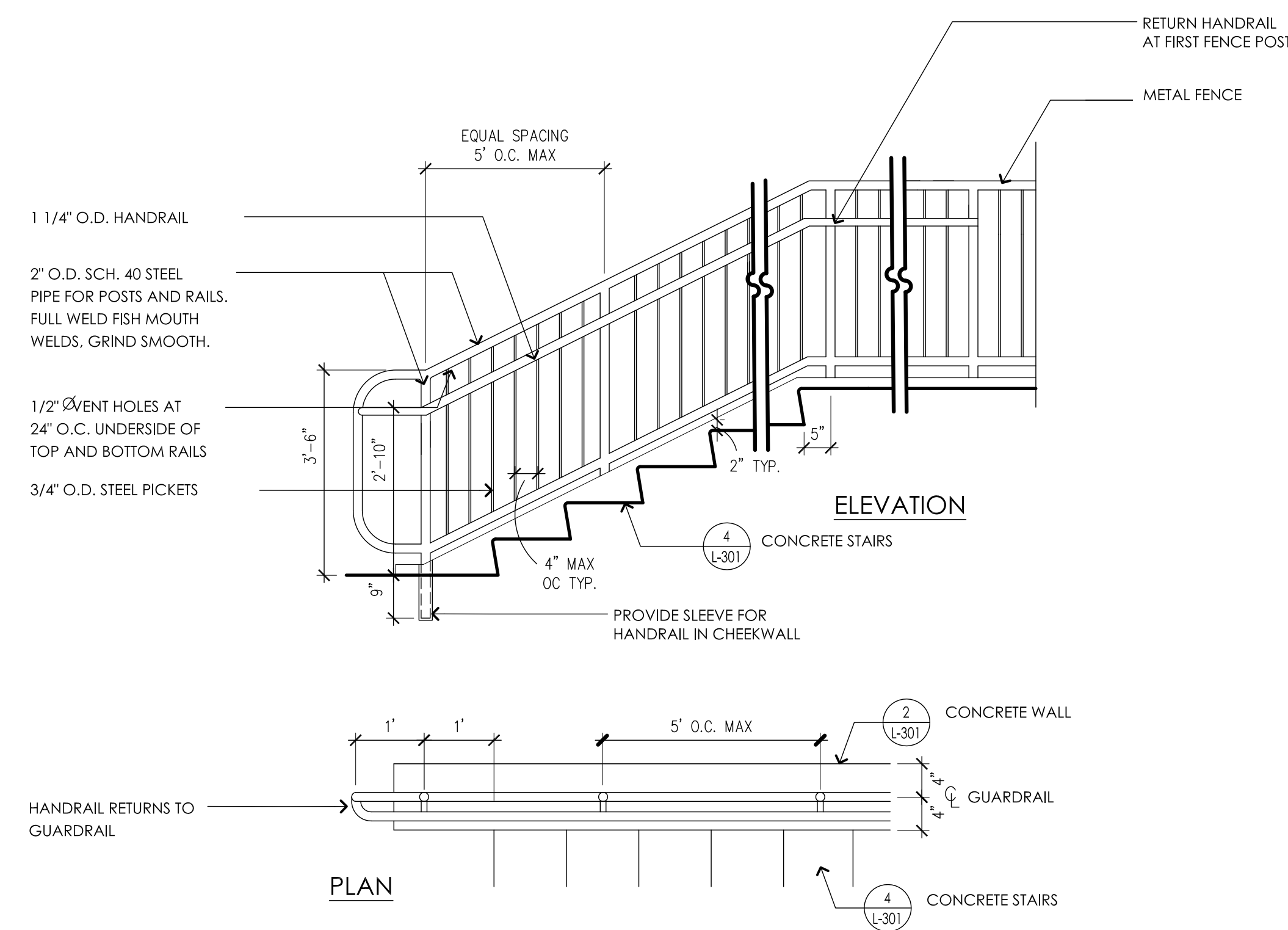
3 STONE WALL

3/4" = 1'-0"



4 CONCRETE STAIRS

3/4" = 1'-0"

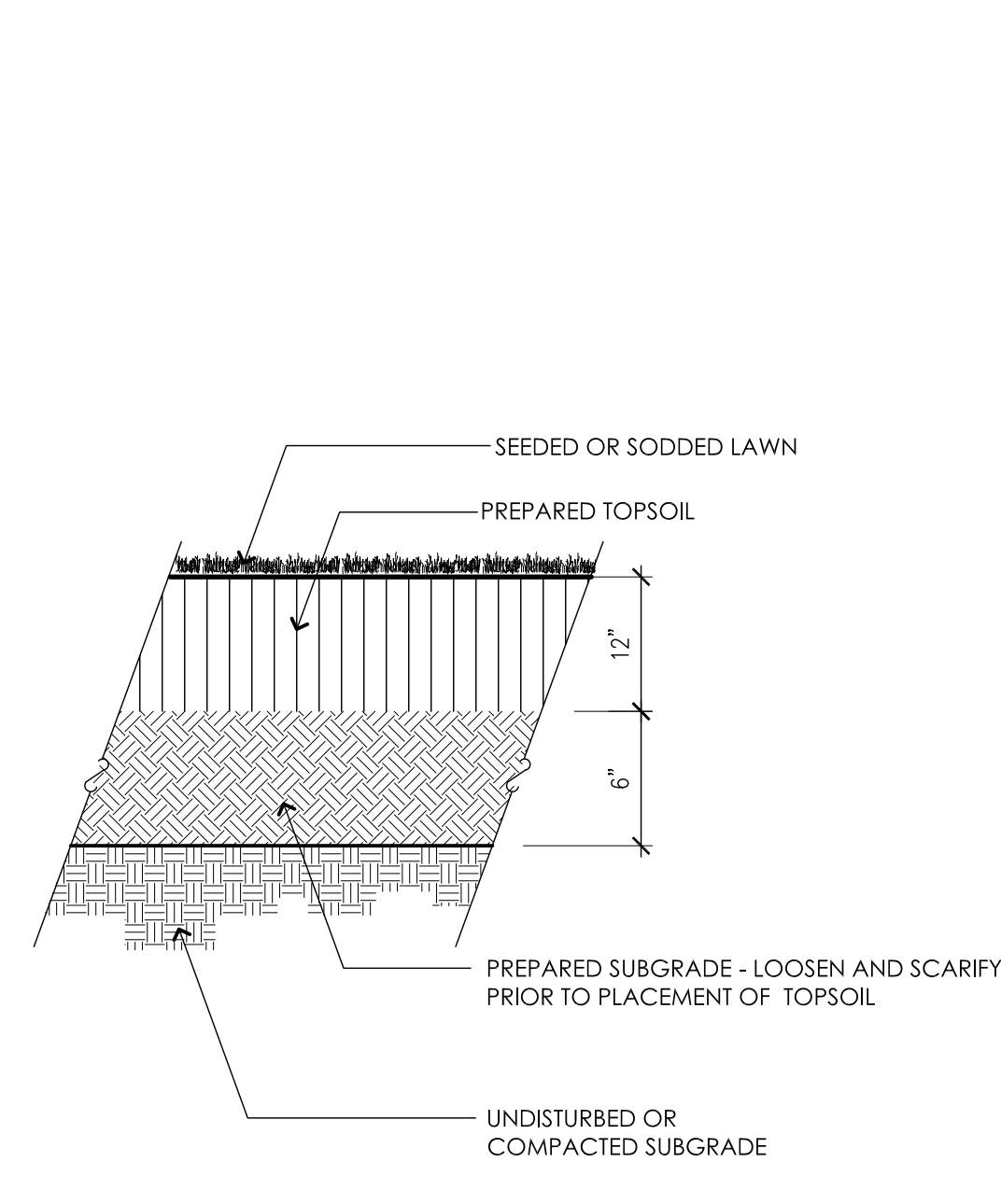


5 CHEEK WALL

1" = 1'-0"

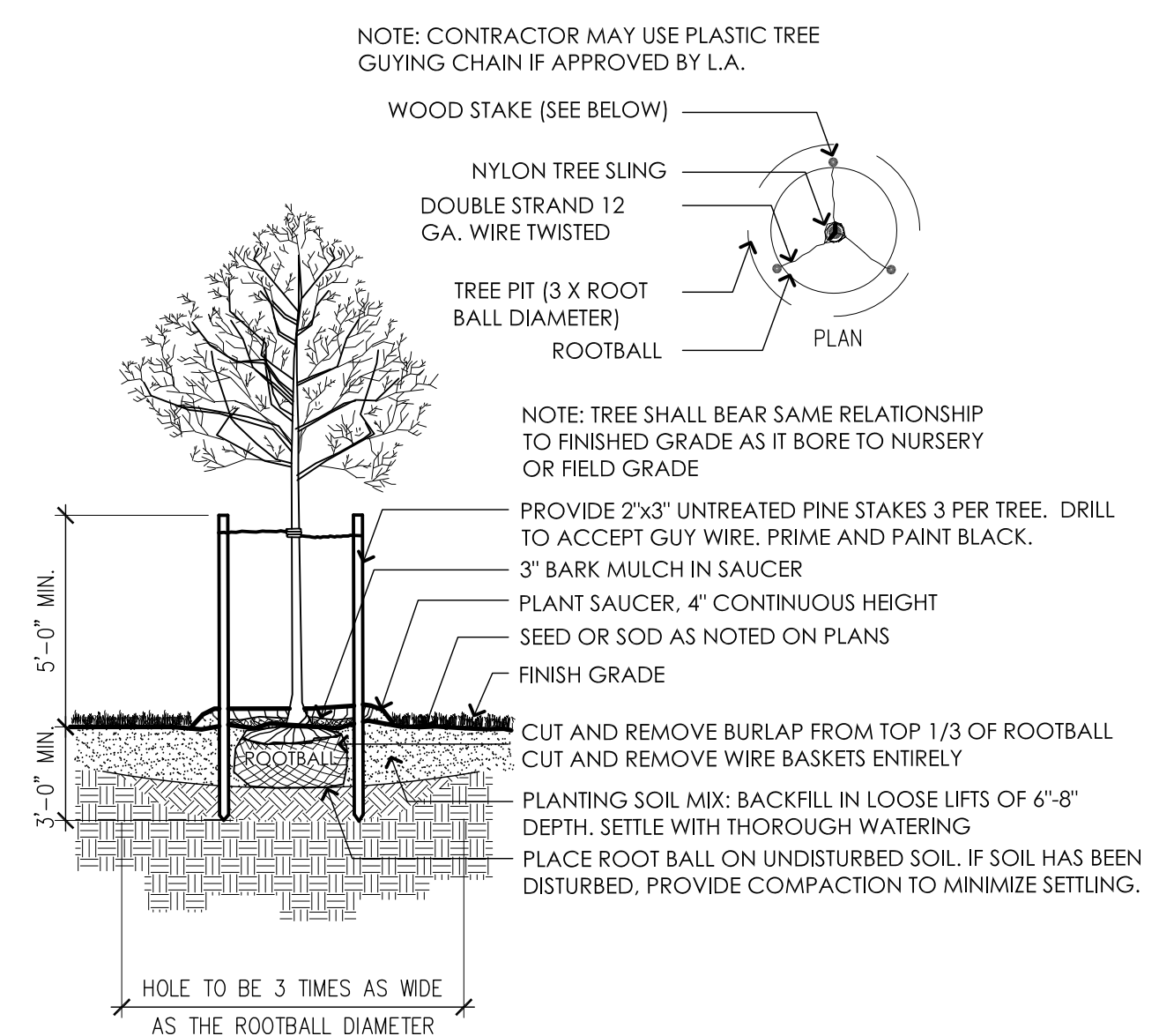
6 METAL HANDRAIL AND GUARDRAIL

1" = 1'-0"



7 TYPICAL LOAM AND SEED PLANTING

1 1/2" = 1'-0"



8 TYPICAL TREE PLANTING

1/4" = 1'-0"

9 CONCRETE WALL ELEVATION

1/4" = 1'-0"

Architect:

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architecture preservation

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Seal:

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Date: 2017.11.1

Drawn by: TNP

Checked by: DMM

Project Number: 1711

**DRAFT**  
NOT FOR CONSTRUCTION

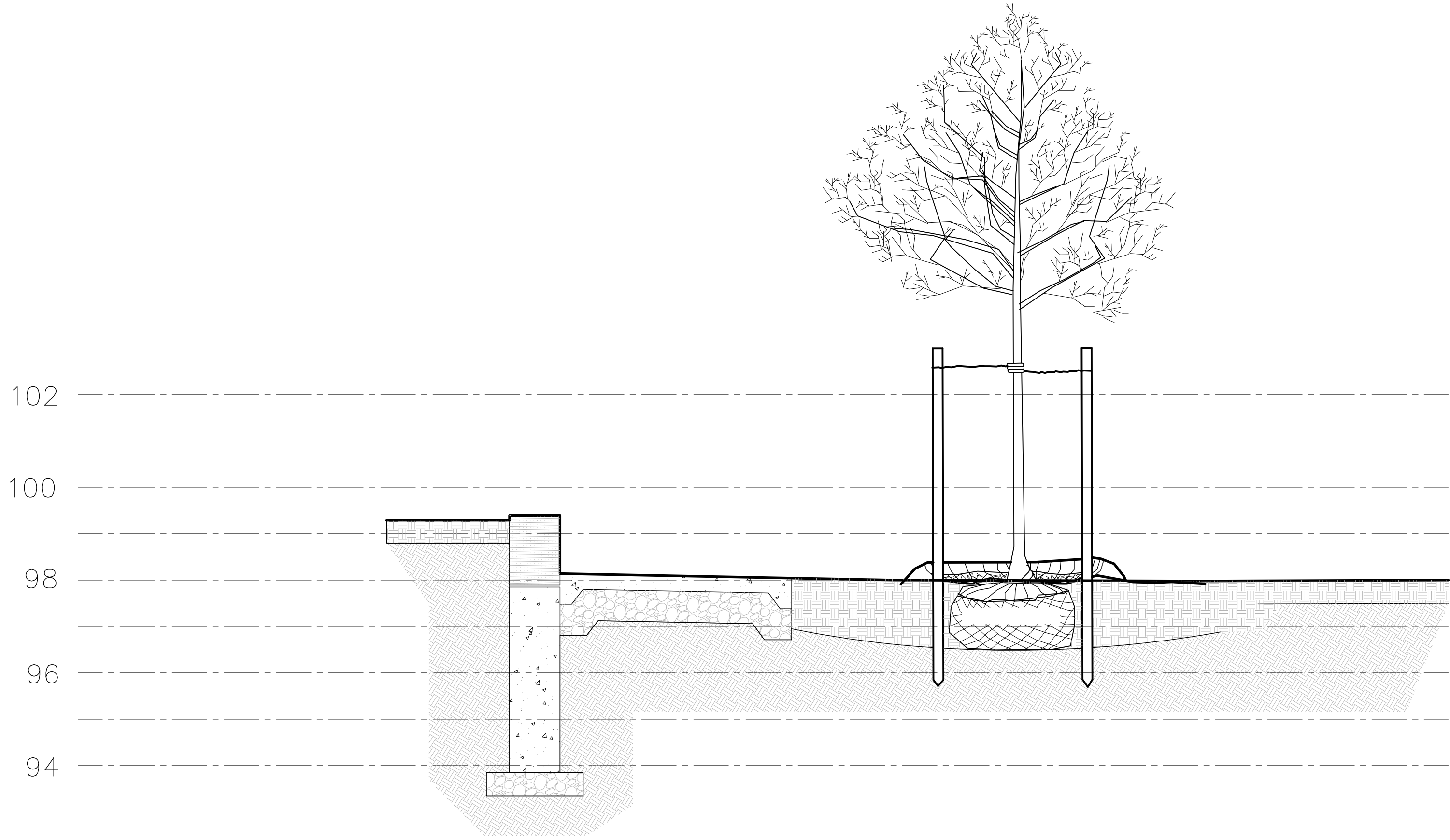
SOMERVILLE HISPANIC CHURCH  
59 CROSS STREET, SOMERVILLE, MA 02145

**SITE DETAILS**

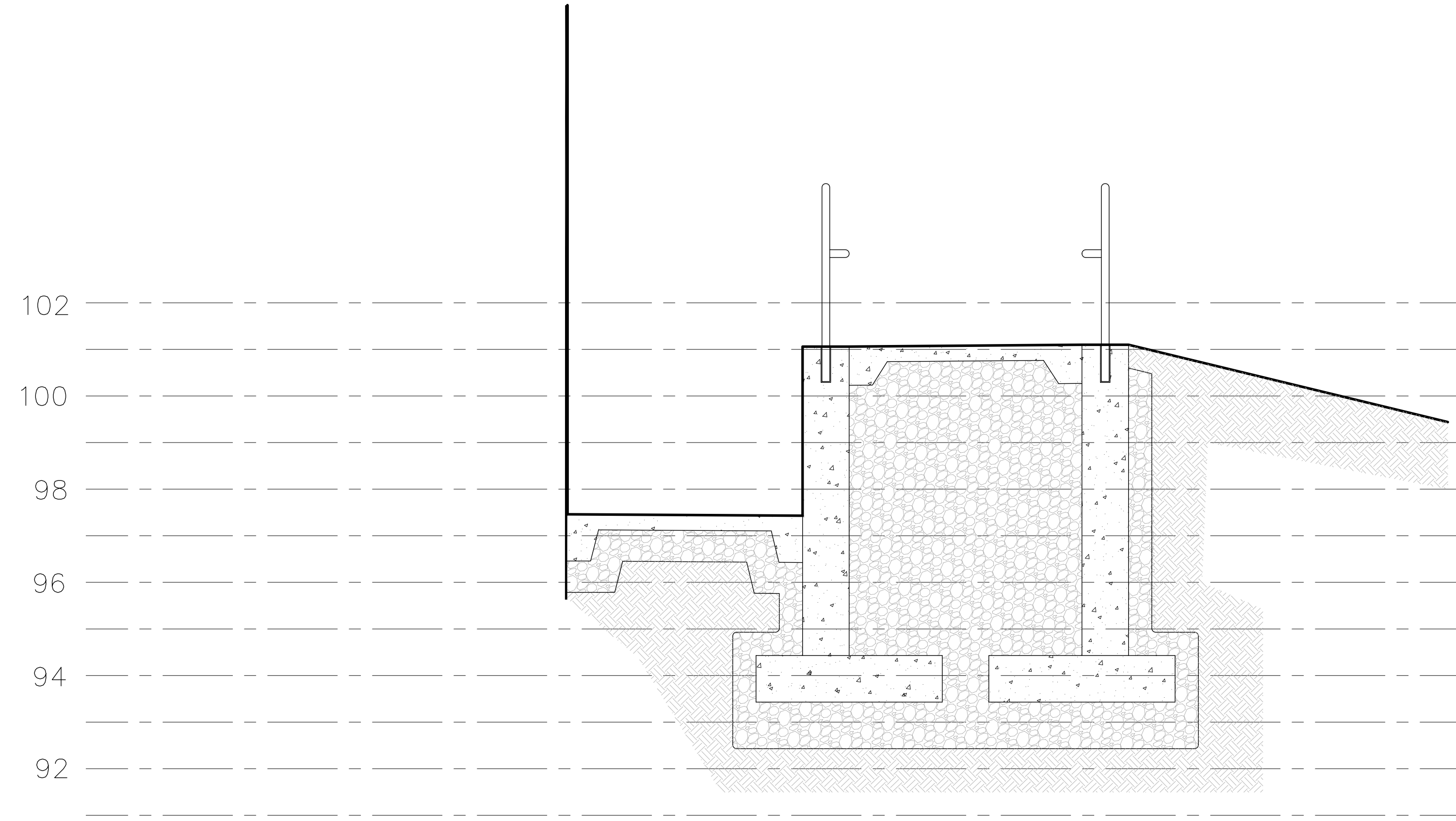
**L-201**



1 SECTION A  
6" = 1'-0"



2 SECTION B  
6" = 1'-0"



SOMERVILLE HISPANIC CHURCH  
59 CROSS STREET, SOMERVILLE, MA 02145

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