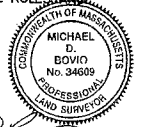


- LEGEND**
- |—|—|—| EDGE OF PAVEMENT
 - CHAIN LINK FENCE
 - S— SANITARY SEWER
 - D— DRAIN LINE
 - W— WATER LINE
 - E— ELECTRIC LINE
 - G— GAS LINE
 - ⊙ SANITARY SEWER MANHOLE
 - ⊙ UNKNOWN MANHOLE
 - ⊙ MONITORING WELL
 - ⊙ HAND HOLE
 - ☆ LIGHT POLE
 - ⊕ FIRE HYDRANT
 - WA WATER GATE
 - GA GAS GATE

RESERVED FOR REGISTERS USE ONLY

NOTES
 LOCATION OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES IN POSSESSION OF DESIGN CONSULTANTS INC. AS OF THIS DATE. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED, CALL DIGSAFE BEFORE EXCAVATION.

TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THIS PLAN CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.
 I FURTHER CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.



P.L.S. Michael D. Bovo
 MICHAEL D. BOVO, P.L.S. MASS. REGISTRATION NO. 34609
 DATE 2/18/10

ZONING INFORMATION
 DISTRICT: RB (RESIDENTIAL B) AS SHOWN ON ASSESSOR'S PROPERTY LISTING CARD

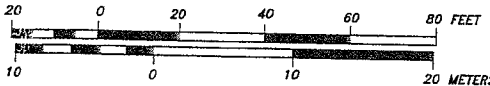
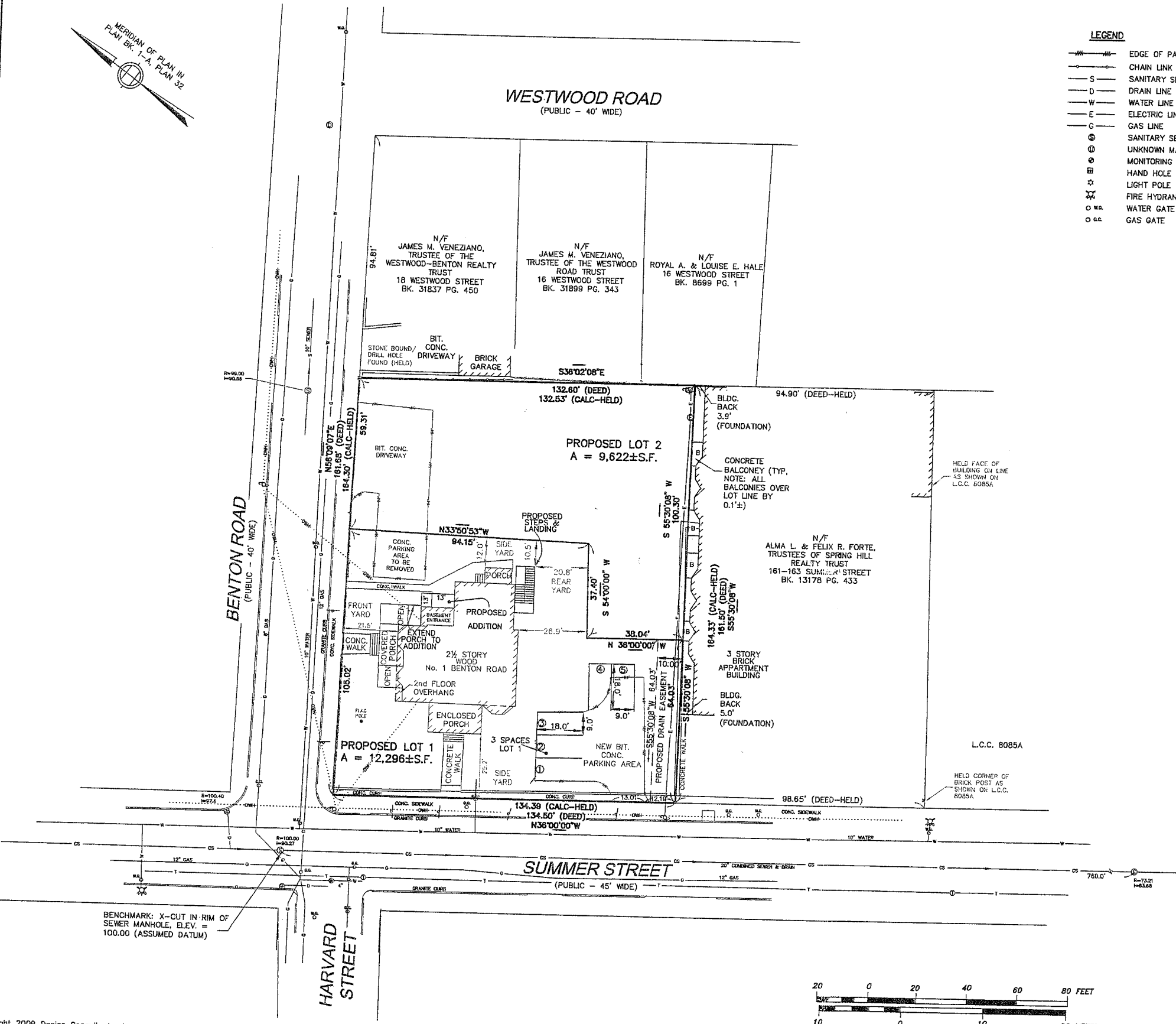
MINIMUM LOT SIZE = 7,500 S.F.
 MAXIMUM STORIES = 3 (40 FEET)
 MINIMUM FRONT YARD = 15'
 MINIMUM SIDE YARD = 10' (FOR LOT 2, ASSUMED 3 STORY BUILDING) = 8' (FOR LOT 1)
 MINIMUM REAR YARD = 20'
 MINIMUM FRONTAGE = 50'

PLAN REFERENCES:
 PLAN No. 841 OF 1937
 BK. 2318 PG. END
 L.C.C. 8085A
 PLAN BK. 1-A PLAN 32

LOCUS TITLE INFORMATION
 1 BENTON ROAD
 OWNER: MLM REALTY TRUST
 DEED REFERENCE: BK. 53301 PG. 554
 ASSESSORS: MAP 43, BLOCK G, LOT 14

CITY OF SOMERVILLE, MASSACHUSETTS
 PLANNING BOARD SUBDIVISION APPROVAL

 DATE: _____



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 Consulting Engineers and Surveyors

DESIGN CONSULTANTS BUILDING
 285 MEDFORD STREET
 SOMERVILLE, MA 02143
 (617) 776-3350

NO.	DATE	BY	REVISIONS
4	2/18/10	MDB	ADDED PROPOSED DRAIN EASEMENT
3	2/18/10	MDB	REVISED PARKING FOR LOT 1 REDUCED SPACES TO 5
2	1/27/10	MDB	REVISED LOT LINE AND PARKING FOR LOT 1
1	1/21/10	MDB	ADDED PROPOSED PARKING SPACES FOR LOT 1

FIELD: LJG
 CALCS: MDB
 CHECKED: MDB
 APPROVED: MDB

SUBDIVISION PLAN

1-1B BENTON ROAD,

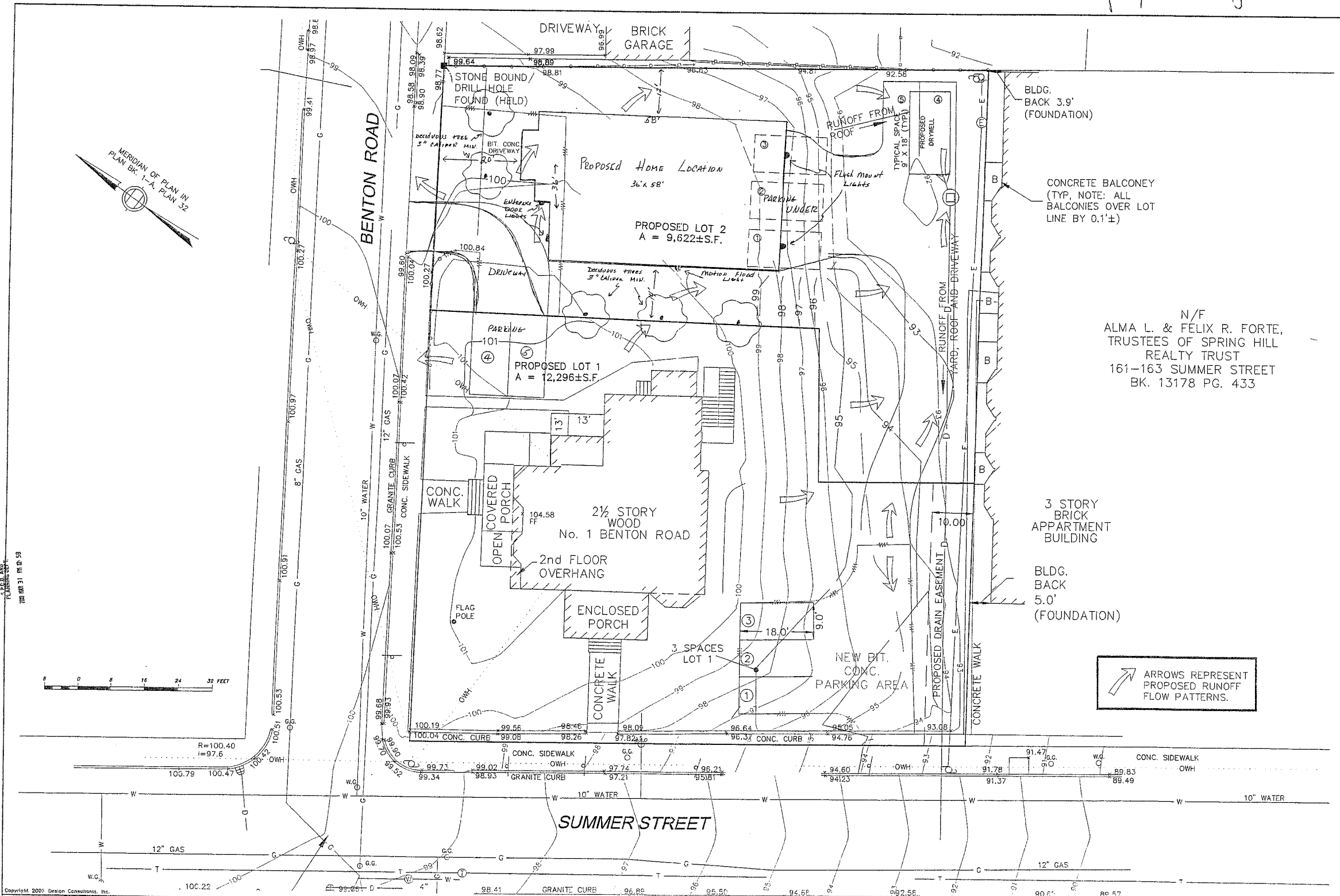
P:\2009 Projects\2009-021 Benton Rd Somerville\dwg\...SURVEYING\09-021\proposed-driveway.dwg 11/17/2009

PLAN OF LAND IN
 SOMERVILLE, MASSACHUSETTS

SURVEYED FOR
 JOSE MARTINS

PROJECT NO. 2009-021
 DATE: DEC 14 2009
 SHEET NO. 1 OF 1

Landscape/Drainage



N/F
ALMA L. & FELIX R. FORTE,
TRUSTEES OF SPRING HILL
REALTY TRUST
161-163 SUMMER STREET
BK. 13178 PG. 433

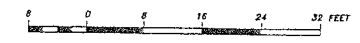
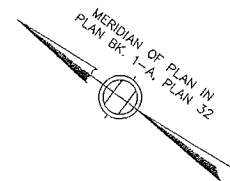
3 STORY
BRICK
APARTMENT
BUILDING

BLDG.
BACK
5.0'
(FOUNDATION)

BLDG.
BACK 3.9'
(FOUNDATION)

CONCRETE BALCONY
(TYP. NOTE: ALL
BALCONIES OVER LOT
LINE BY 0.1'±)

ARROWS REPRESENT
PROPOSED RUNOFF
FLOW PATTERNS.



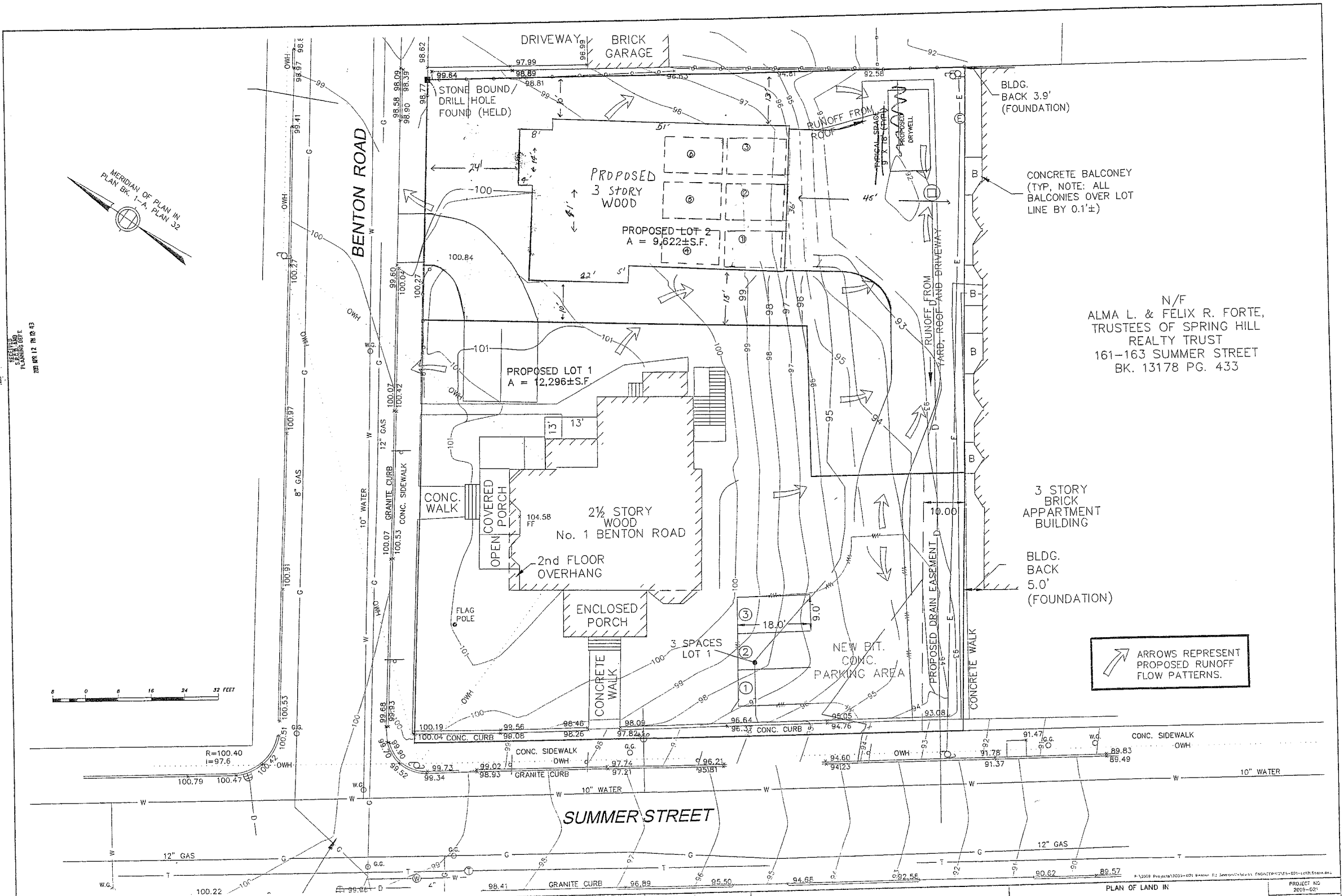
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DESIGN CONSULTANTS BUILDING
285 NEWFORD STREET
SOMERVILLE, MA 02143
617-778-3300

SCALE:	FIELD:
HORIZ: 1"=40'	DATE: 1/20/05
VERT: 1"=4'	CHECKED: JMR
	APPROVED: JMR
NO. DATE BY	
1 1/20/05 JMR	
2 3/30/05 JMR	
3 5/17/05 JMR	
ADD DRAIN PATTERNS, CHANGE PARKING	
CHANGE DRIVEWAYS	
REVISE	

LANDSCAPE PLAN
1 & 1B BENTON ROAD
SOMERVILLE, MASSACHUSETTS

PLAN OF LAND IN
SOMERVILLE, MASSACHUSETTS
SURVEYED FOR
JOSE MARTINS

PROJECT NO.
2005-021
DATE: APR. 04, 2010
SHEET NO.
1 OF 1



N/F
 ALMA L. & FELIX R. FORTE,
 TRUSTEES OF SPRING HILL
 REALTY TRUST
 161-163 SUMMER STREET
 BK. 13178 PG. 433

ARROWS REPRESENT
 PROPOSED RUNOFF
 FLOW PATTERNS.

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 265 MERRIFIELD STREET
 SOMERVILLE, MA 02143
 617-774-3353

SCALE:	HORIZ: 1"=5'	VERT: 1"=1'	NO. DATE 1 BY	NO. DATE 1 BY	NO. DATE 1 BY
			2 3/23/10:11 TP	3 11/11/10:11 TP	4 11/11/10:11 TP
			ADD DRAIN PATTERNS, CHANGE PARKING, CHANGE DRIVEWAYS, REVISIONS		
FIELD: JLS	CALCS: -	CHECKED: TJP	APPROVED: HDR		

LANDSCAPE PLAN
 1 & 1E BENTON ROAD
 SOMERVILLE, MASSACHUSETTS

PLAN OF LAND IN
 SOMERVILLE, MASSACHUSETTS
 SURVEYED FOR
 JOSE MARTINS

PROJECT NO	2009-021
DATE: MEAS. DATE	06/2011
SHEET NO.	1 OF 1



PROP. FRONT ELEVATION
 ESCALE 1"=1/2"

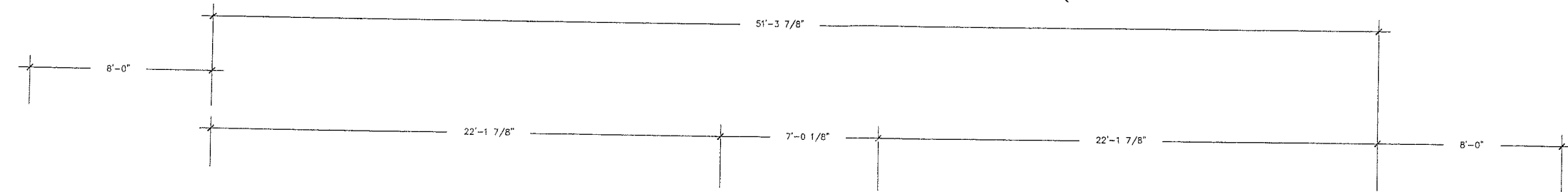
RECEIVED
 S.P.O.D. AND
 PLANNING DEPT.
 2008 APR 12 PM 3:05
 Date: 3/22/2010
 Scale: 1"=1/2"
 Job num: R-024
 Drawn by: A.L.

Project
 2 BENTON RD.
 SOMERVILLE, MA

Plan:
 PROP. FRONT ELEVATION

Professional Engineer

A-5



34'-0"

RIGHT ELEVATION
 ESCALE 1"=3/8"

Date: 3/22/2010
 Scale: 1"=3/8"
 Job num: R-024
 Drawn by: A. L.

RECEIVED
 5 P.M. AND
 PLANNING DEPT.
 APR 12 PM 12:44
 2 BENTON RD.
 SOMERVILLE, MA

Project

Plan:
 RIGHT ELEVATION

Professional Engineer

A-6



34'-0"
PROPOSED HEIGHT
(VERIFY IN FIELD)

PROP. REAR ELEVATION
ESCALE 1"=1/2"

Date: 3/22/2010
Scale: 1"=1/2"
Job num: R-024
Drawn by: A. L.

Project
2 BENTON RD.
SOMERVILLE, MA

Professional Engineer
REG. NO. 12121
PLANNING DEPT.
MAY 12 2009

Plan:
PROP. REAR ELEVATION

Professional Engineer

A-5