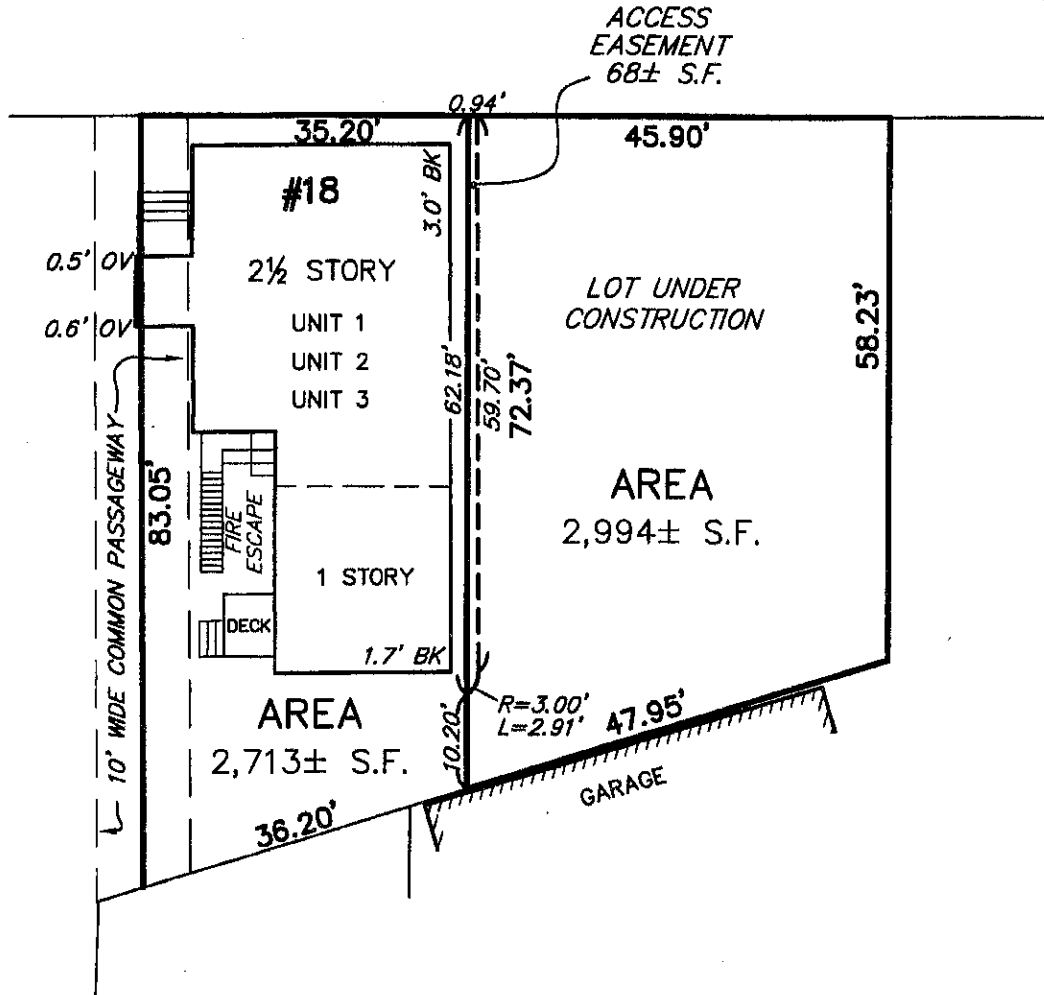
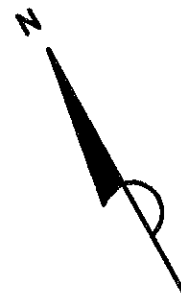


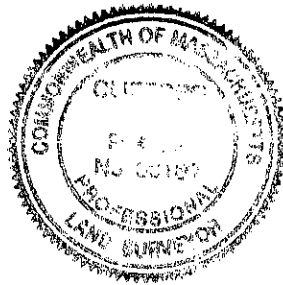
# SOUTH STREET

(PUBLIC - 30' WIDE)



PREPARED FOR: PATRYCJA MISSIURO & DMITRY VASILYEV

I HEREBY CERTIFY THAT THE BUILDING IS LOCATED AS SHOWN.



*Clifford E. Rober* 3/21/14  
**CLIFFORD E. ROBER, PLS**      **DATE**

THIS PLAN MAY HAVE BEEN ALTERED IF THE SIGNATURE IS NOT SIGNED IN BLUE.

**CERTIFIED PLOT PLAN**  
**#16 SOUTH STREET**  
 IN  
**SOMERVILLE, MA**  
 (MIDDLESEX COUNTY)

SCALE: 1" = 20'      DATE: 3/21/2014

**ROBER SURVEY**  
 1072A MASSACHUSETTS AVENUE  
 ARLINGTON, MA 02476  
 (781) 648-5533  
 3582CP3.DWG

# 16 SOUTH ST 3 UNIT DEVELOPMENT

**PETER  
QUINN  
ARCHITECTS**  
ARCHITECTURE  
PLANNING  
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC  
1904 MASS AVE, 2ND FLOOR  
CAMBRIDGE, MA 02140  
PH 617-354-3989 FAX 617-888-0280

**GENERAL NOTES:**

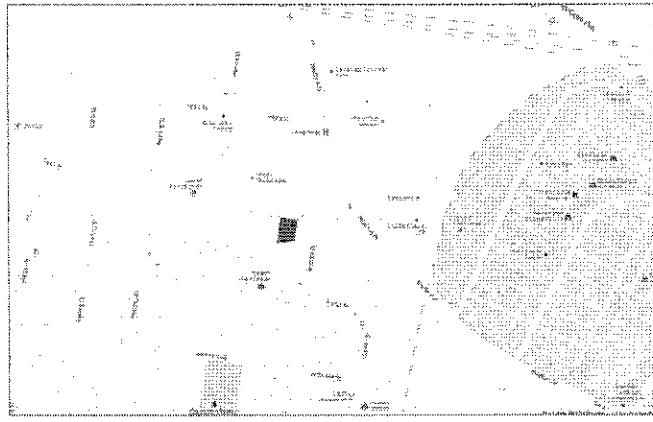
1. ALL THE WORK IS SHOWN, DESCRIBED OR SPECIFIED IN THE DRAWINGS AND ON FULL SPECIFICATION DOCUMENT
2. FIELD DIRECTIONS FROM OWNERS AGENTS OTHER THAN PQA ARCHITECTS TO THE GENERAL CONTRACTOR SHALL BE COPIED TO THE ARCHITECT. ANY DEVIATION FROM THESE PLANS INVOLVING ISSUES PERTAINING TO LIFE SAFETY, STATE BUILDING CODE, OR SOMERVILLE ZONING REGULATIONS SHALL REQUIRE THE APPROVAL OF THE ARCHITECT PRIOR TO IMPLEMENTATION.
3. PRIOR TO CONSTRUCTION COMMENCING A PRE-CONSTRUCTION MEETING SHALL BE CALLED BY THE CONTRACTOR AND HELD WITH THE OWNER, THE CONTRACTOR AND THE ARCHITECT.

**DIV.1 - GENERAL REQUIREMENTS:**

1. THE GENERAL CONTRACTOR SHALL BE LICENSED BY THE COMMONWEALTH OF MASSACHUSETTS.
  - A. PREMISES - OPERATIONS.
  - B. INDEPENDENT CONTRACTOR'S PROTECTIVE.
  - C. PRODUCTS AND COMPLETED OPERATIONS.
  - D. CONTRACTUAL.
  - E. OWNED, NOT OWNED, AND HIRED MOTOR VEHICLES.
  - F. BROAD-FORM COVERAGE FOR PROPERTY DAMAGE.
  - G. WORKMAN'S COMPENSATION.
2. PRIOR TO CONSTRUCTION THE GENERAL CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSURANCE IN A COMPANY OR COMPANIES LICENSED TO DO BUSINESS IN THE COMMONWEALTH OF MASSACHUSETTS. LIABILITY INSURANCE SHALL INCLUDE ALL MAJOR DIVISIONS OF COVERAGE AND BE ON A COMPREHENSIVE BASIS INCLUDING.
3. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE, 780 CMR 8TH EDITION, AS AMENDED, AND ALL LOCAL CODES AND ORDINANCE, EXCEPT IN CASES WHERE MORE STRINGENT REQUIREMENTS ARE INDICATED IN THESE DRAWINGS.
4. PROVIDE SUPERVISION AND EQUIPMENT, TOOL, AND APPLIANCE INSPECTION TO INSURE A SAFE WORKING ENVIRONMENT IN COMPLIANCE WITH O.S.H.A. REGULATIONS.
5. DO NOT SCALE DRAWINGS.
6. ALL NEW AND EXISTING DIMENSIONS AND ELEVATIONS TO BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION, CONTACT THE ARCHITECT ABOUT ANY DISCREPANCIES THAT MAY ARISE.
7. ALL WORK, MATERIAL AND LABOR SHOULD BE WARRANTED FOR THREE (3) YEARS FROM THE DATE OF SUBSTANTIAL COMPLETION.
8. PRIOR TO ANY EXCAVATION CONTACT DIGSAFE, 1-800-322-4844.
9. CONTRACTOR TO APPLY FOR AND ACQUIRE ALL PERMITS FROM THE TOWN OF SOMERVILLE.
10. ALL PRODUCTS, EQUIPMENT, AND WORK SHALL BE APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN REQUIREMENTS AND SPECIFICATIONS APPLICABLE TO THE CONSTRUCTION CONDITIONS. THERE SHALL BE NO DEVIATIONS MADE FROM THIS SPECIFICATION OR THE APPROVED SHOP DRAWINGS WITHOUT PRIOR WRITTEN APPROVAL BY THE MANUFACTURER.
11. CONTRACTOR TO OBTAIN AN EXTERMINATION CERTIFICATE PRIOR TO DEMOLITION. CONTRACTOR SHALL MAINTAIN RODENT CONTROL MEASURES THROUGH A LICENSED MASSACHUSETTS EXTERMINATION COMPANY UNTIL SUBSTANTIAL COMPLETION OF THE PROJECT.



**FRONT ELEVATION**



**LOCUS MAP**

GENERAL	ZONING REVIEW 3 FEB 2012	PERMIT SET 3 AUG 2012	PERMIT SET REV 1 3 AUG 2012	CD SET 5 APR 2013	RECORD 29 APR 2013	REV 6 JUN 2013	REV 2 27 JUN 2013
T.1 COVER SHEET / DRAWING LIST	X	X	X	X	X	X	X
<b>CIVIL</b>							
C-1 TITLE SHEET		X	X	X	X	X	X
C-2 GRADING AND DRAINAGE PLAN		X	X	X	X	X	X
C-3 UTILITY PLAN		X	X	X	X	X	X
C-4 CONSTRUCTION MANAGEMENT PLAN		X	X	X	X	X	X
C-5 CONSTRUCTION DETAILS		X	X	X	X	X	X
C-6 CONSTRUCTION DETAILS		X	X	X	X	X	X
C-7 CONSTRUCTION DETAILS		X	X	X	X	X	X
<b>ARCHITECTURAL</b>							
G1 ABBREVIATIONS & PARTITION TYPES	X	X	X	X	X	X	X
G1.1 LIFE SAFETY PLAN AND CODE REVIEW	X	X	X	X	X	X	X
Z1 ZONING ANALYSIS	X	X	X	X	X	X	X
Z2 ZONING ANALYSIS	X	X	X	X	X	X	X
A1 GROUND FLOOR PLAN & SECOND FLOOR PLAN	X	X	X	X	X	X	X
A2 THIRD & FOURTH FLOOR PLANS	X	X	X	X	X	X	X
A3 BASEMENT & ROOF PLANS	X	X	X	X	X	X	X
A4 ELEVATIONS	X	X	X	X	X	X	X
A5 BUILDING SECTIONS		X	X	X	X	X	X
A5.1 WALL SECTIONS				X	X	X	X
A5.2 WALL SECTIONS				X	X	X	X
A6 SECTION DETAILS		X	X	X	X	X	X
A6.1 SECTION DETAILS				X	X	X	X
A7 STAIR PLANS & SECTIONS		X	X	X	X	X	X
A8 WINDOWS, DOOR DETAILS & SCHEDULES				X	X	X	X
<b>STRUCTURAL</b>							
S0.1 GENERAL NOTES		X	X	X	X	X	X
S0.2 TYPICAL DETAILS		X	X	X	X	X	X
S1.0 FOUNDATION & FIRST FLOOR FRAMING PLANS		X	X	X	X	X	X
S1.1 SECOND & THIRD FLOOR FRAMING PLANS		X	X	X	X	X	X
S1.2 FOURTH FLOOR & LOWER ROOF FRAMING DETAILS		X	X	X	X	X	X
S1.3 ROOF FRAMING PLAN		X	X	X	X	X	X
S2.1 SECTIONS		X	X	X	X	X	X
S2.2 SECTIONS		X	X	X	X	X	X
<b>MEP &amp; FP</b>							
H.1 GROUND AND FIRST FLOOR HVAC PLAN		X	X	X	X	X	X
H.2 SECOND AND THIRD FLOOR HVAC PLAN		X	X	X	X	X	X
H.3 BASEMENT AND ROOF HVAC PLAN		X	X	X	X	X	X
H.4 HVAC SCHEDULES		X	X	X	X	X	X
H.5 HVAC DETAILS		X	X	X	X	X	X
P.1 GROUND AND FIRST FLOOR PLUMBING PLAN		X	X	X	X	X	X
P.2 SECOND AND THIRD FLOOR PLUMBING PLAN		X	X	X	X	X	X
P.3 BASEMENT AND ROOF PLUMBING PLAN		X	X	X	X	X	X
P.4 PLUMBING SCHEDULES AND DETAILS		X	X	X	X	X	X
P.5 PLUMBING RISERS AND DETAILS		X	X	X	X	X	X
E.1 GROUND AND FIRST FLOOR ELECTRICAL PLAN		X	X	X	X	X	X
E.2 SECOND AND THIRD FLOOR ELECTRICAL PLAN		X	X	X	X	X	X
E.3 BASEMENT AND ROOF ELECTRICAL PLAN		X	X	X	X	X	X
E.4 RISER DIAGRAM AND SCHEDULES		X	X	X	X	X	X
E.5 RISER DIAGRAM AND SCHEDULES		X	X	X	X	X	X
FP.1 BASEMENT PLAN AND FIRE PROTECTION DETAILS		X	X	X	X	X	X
FP.2 GROUND AND FIRST FLOOR FIRE PROTECTION PLAN		X	X	X	X	X	X
FP.3 SECOND AND THIRD FLOOR FIRE PROTECTION PLAN		X	X	X	X	X	X

REVISED SHEET

PREPARED FOR: OWNER

**PATRYCJA MISSIURO  
& DMITRY VASILYEV**

17 VINAL AVE, #2  
SOMERVILLE, MA 02143

PREPARED BY:

ARCHITECT	STRUCTURAL ENGINEER	CIVIL ENGINEER	CONSULTING ENGINEER
PETER QUINN ARCHITECTS LLC	ROOME & GUARRACINO LLC	JOHN A. BARROWS, P.E.	ZADE COMPANY, INC.
1904 MASSACHUSETTS AVE CAMBRIDGE, MA 02140 PH (617) 354 3989	48 GROVE STREET SOMERVILLE, MA 02144 PH (617) 628 1700	90 PINE STREET DANVERS, MA 01923 PH (978) 204 2390	140 BEACH ST BOSTON, MA 02111 PH (617) 338 4406

△ REV 4	20 MAR 2014
△ REV 3	20 AUG 2013
<i>SCALE AS NOTED</i>	
REVISION / ISSUE	DATE
△ REV 2	27 JUN 2013
REV	06 JUN 2013
RECORD	29 APR 2013
CD SET	5 APR 2013
PERMIT SET REV 1	2 OCT 2012
PERMIT SET	3 AUG 2012
DRAWN BY KVS	REVIEWED BY PQ
<i>SHEET</i>	

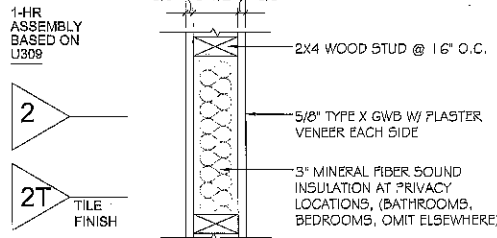
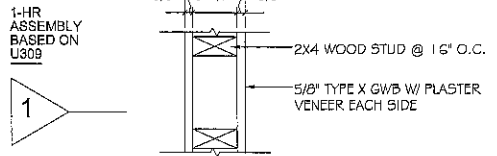
# T1

# ABBREVIATIONS

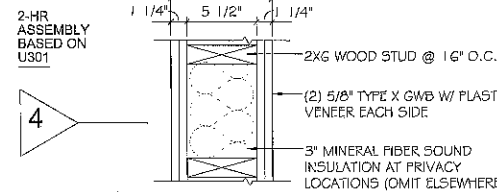
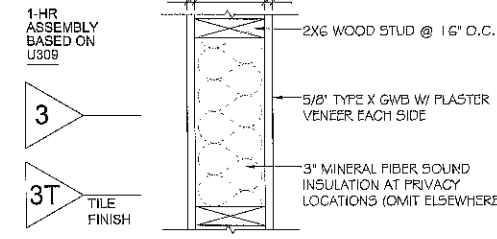
A.B. ANCHOR BOLT	EXT. EXTERIOR	OD. OUTSIDE DIMENSION
A/C. AIR CONDITIONING	F. FAHRENHEIT	O.F.O.S. OUTSIDE FACE OF STUDS
ABV. ABOVE	F.B.O. FURNISHED BY OTHERS	OH. OVERHEAD
ACOUS. ACOUSTICAL	F.E. FIRE EXTINGUISHER	OPNG. OPENING
ADD. ADDENDUM(S)	F.O.C. FACE OF CONCRETE	P. PANTRY
ADDL. ADDITIONAL	F.O.F. FACE OF FINISH	PEN. PENETRATION
ADH. ADHERE(ED), ADHESIVE	F.O.M. FACE OF MASONRY	PERIM. PERIMETER
ADJ. ADJUST(ABLE), ADJACENT	F.O.S. FACE OF STUD	PKG. PARKING
AFF. ABOVE FINISH FLOOR	F.O.T. FACE OF TREAD	PL. PLATE, PROPERTY LINE
ALT. ALTERNATE(S)	FAST. FASTENER	PLAS. PLASTER, PLASTIC
ALUM. ALUMINUM	F.D. FLOOR DRAIN	PLF. POUNDS PER LINEAR FOOT
AL.T.H. ALUMINUM THRESHOLD	FIN. FINISH(ED)	PLYWD. PLYWOOD
ANOD. ANODIZED	F.F. FINISHED FLOOR	PNL. PANEL
APPROX. APPROXIMATE	FLASH. FLASHING	PM. PRESSED METAL
ARCHT. ARCHITECT	FLR. FLOOR	PRCST. PRECAST
ASPH. ASPHALT(IC)	FLUOR. FLUORESCENT	PREFAB. PREFABRICATED
B.O. BOTTOM OF BOARD	FRF. FIRE PROOF	PSF. POUNDS PER SQUARE FOOT
BD. BITUMINOUS	FRM(G). FRAMING	PSI. POUNDS PER SQUARE INCH
BLDG. BUILDING	FT. FOOT, FEET	PT. PAINT
BLK. BLOCK	FTG. FOOTING	PTN. PARTITION
BLKG. BLOCKING	FUR. FURRED, FURRING	PVMT. PAVEMENT
BLW. BELOW	G. GAS	QT. QUARRY TILE
BN. BEAM, BENCHMARK	G.C. GENERAL CONTRACT(OR)	QTY. QUANTITY
BOT. BOTTOM	GI. GALVANIZED IRON	R. RISE(S)
BR. BEDROOM	GA. GAUGE	RA. RETURN AIR
BRG. BEARING	GALV. GALVANIZED	RAD. RADIUS
BRKT. BRACKET	GB. GRAB BAR(S)	RBT. RABBET(ED)
BRZ. BRONZE	GL. GLASS, GLAZING	RCP. REINFORCED CONCRETE PIPE
BSMT. BASEMENT	GRD. GRADE	RD. ROAD
BTN. BATTEN	GSKT. GASKET	REF. REFERENCE
BTWN. BETWEEN	GVL. GRAVEL	REFL. REFLECTED
BUR. BUILT-UP ROOFING	GWB. GYPSUM WALLBOARD	REFR. REFRIGERATOR
BVL. BEVEL(ED)	GYP. GYPSUM	REG. REGISTER
CB. CATCH BASIN, CASING BEAD	H. HIGH, HEIGHT	REIN. REINFORCED
CI. CAST IRON	HC. HOSE BIB	REQ. REQUIRED
CAB. CABINET	HD. HEAVY DUTY	RESIL. RESILIENT
CEM. CEMENT(ITIOUS)	HDCP. HANDICAPPED	REV. REVISED, REVISION
CER. CERAMIC	HDR. HEADER	RFG. ROOFING
CHNL. CHANNEL	HDRL. HANDRAIL	RH. RIGHT HAND
CLG. CEILING	HDWR. HARDWARE	RL. RAILING
CMU. CONCRETE MASONRY UNIT(S)	HM. HOLLOW METAL	RM. ROOM
CONTR. COUNTER	HP. HEAT PUMP	R.O. ROUGH OPENING
CO. CLEAN-OUT	HR. HOUR	RWL. RAIN WATER LEADER
COL. COLUMN	HVAC. HEATING, VENTILATING & AIR CONDITIONING	SC. SOLID CORE
COMP. COMPRESS(ED), (ION)	HW. HOT WATER	SCHD. SCHEDULE
CONC. CONCRETE	HWH. HOT WATER HEATER	SFGL. SAFETY GLASS
CONST. CONSTRUCT(ION)	HYD. HYDRANT	SHWR. SHOWER
CONT. CONTINUOUS	ID. INSIDE DIAMETER	SHT. SHEATHING
CONTR. CONTRACT(OR)	IN. INCH	SHTG. SHEATHING
COOR. COORDINATE	INCL. INCLUDE(D), INCLUDING	SH. SIMILAR
CORR. CORRIDOR, CORRUGATED	INSUL. INSULATE(D), INSULATING	SPEC. SPECIFICATION(S)
CPR. COPPER	INT. INTERIOR	S.P. STAND PIPE
CPT. CARPET(ED)	INTERMED. INTERMEDIATE	SQ. SQUARE
CRS. COURSE(S)	INV. INVERT	SECT. SECTION
CSMT. CASEMENT	ISO. ISOMETRIC	SECT. SECTION
CTSK. COUNTERSINK	JST. JOIST(S)	STL. STANDARD
CTR. CENTER	JT. JOINT(S)	STL. STEEL
CW. COLD WATER	KIT. KITCHEN	STOR. STORAGE
DBL. DEEP, DEPTH, DRYER	L. LONG LENGTH	STRUC. STRUCTURAL
DEMO. DEMOLISH, DEMOLITION	LAM. LAMINATED	SUSP. SUSPENDED
DEP. DEPRESSED, DEPRESSION	LAV. LAVATORY	SW. SWITCH
DF. DOUG. FIR, DRINKING FOUNTAIN	LBL. LABEL	SYM. SYMMETRICAL
DIA. DIAMETER	LF. LINEAR FOOT	T. TREAD
DIA.G. DIAGONAL(LY)	LL. LEFT HAND	TC. TRASH COMPACTOR
DIM. DIMENSION(S)	LL. LIVE LOAD	T&G. TONGUE & GROOVE
DISP. DISPOSAL, DISPENSER	LR. LIVING ROOM	TB. TOWEL BAR
DL. DEAD LOAD	LT. LIGHT	TBD. TO BE DETERMINED
DN. DOWN	LTL. LINTEL	T.O. TOP OF
DN.MPR. DAMPER	LVR. LOUVER	T.O.C. TOP OF CURB
DR. DOOR	M.O. MASONRY OPENING	T.O.P. TOP OF PLATE
DRN. DRAIN	MAS. MASONRY	T.O.S. TOP OF STEEL
DTL. DETAIL(S)	MAX. MAXIMUM	TEL. TELEPHONE
DUMP. DUMPSTER	MBR. MEMBER	TEMP. TEMPORARY
DW. DRAIN WASH	M.C. MEDICINE CABINET	TERM. TERMINATE, TERMINATION
DWG. DRAWING(S)	MECH(L). MECHANICAL(LY)	THK. THICK
DWR. DRAWER	MED. MEDICINE	TPD. TOILET PAPER DISPENSER
E.B. EXPANSION BOLT	MEMB. MEMBRANE	TRNSF. TRANSFORMER
EA. EACH	MFR. MANUFACTURER	TYP. TYPICAL
EL. ELEVATION (HEIGHT)	MH. MANHOLE	UNLESS OTHERWISE NOTED
ELEC. ELECTRICAL	MIN. MINIMUM	VAPOR BARRIER, VINYL BASE
EL.PAN. ELECTRICAL PANEL	MIR. MIRROR	VCT. VINYL COMPOSITION TILE
ELEV. ELEVATION (FACE)	MLD. MILLWORK	VERT. VERTICAL
ELIM. ELIMINATE	MR. MOISTURE RESISTANT	VEST. VESTIBULE
ELV. ELEVATOR	M.T.H. MARBLE THRESHOLD	VNR. VENEER
EMER. EMERGENCY	MTL. METAL	VP. VENT PIPE
ENCL. ENCLOSE, ENCLOSURE	MUL. MULLION	W. WIDTH, WATER, WASHER
E.O. EDGE OF	N. NORTH	W. WITH
EQ. EQUAL	N.I.C. NOT IN CONTRACT	WO. WALL OVEN
EQUIP. EQUIPMENT	N.T.S. NOT TO SCALE	WO. WITHOUT
EXH. EXHAUST	NOM. NOMINAL	WC. WATER CLOSET
EXIST. EXISTING	NON-COMB. NON-COMBUSTIBLE	WD. WOOD
	O.C. ON CENTER	WDO. WINDOW
		WDT. WOOD THRESHOLD
		WH. WATER HEATER
		WP. WATERPROOF
		WWM. WELD WIRE MESH

# PARTITION TYPES

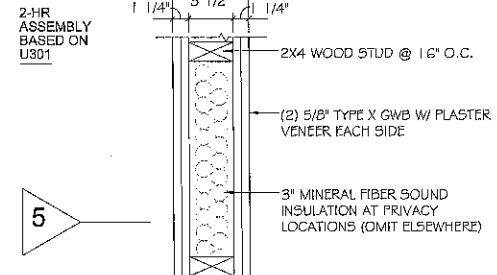
SCALE 1/2" = 1'-0"



NOTE: SHEAR WALL LOCATIONS ON STRUCTURAL DRAWINGS ADD 1/2" PLYWOOD ONE SIDE OF WALL



NOTE: SHEAR WALL LOCATIONS ON STRUCTURAL DRAWINGS ADD 1/2" PLYWOOD ONE SIDE OF WALL



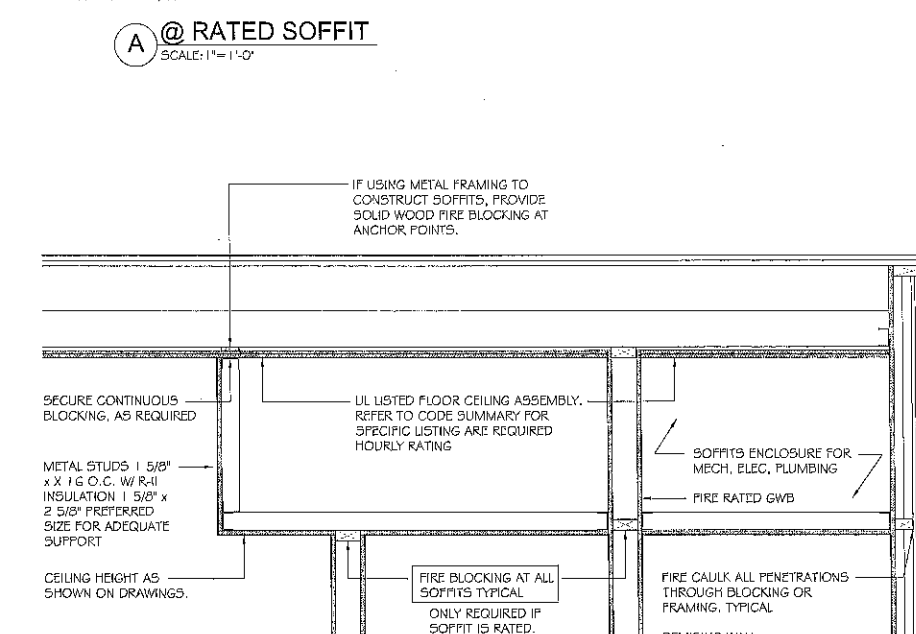
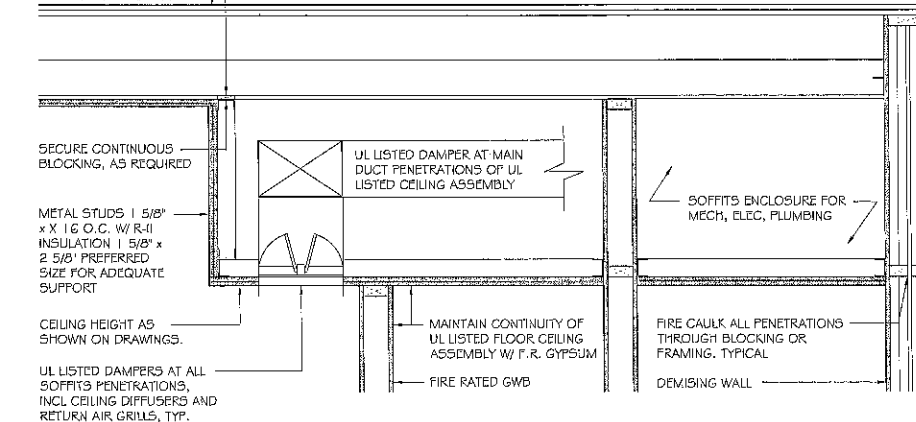
# PARTITION NOTES

- 1) AT ALL TILED WALLS USE 5/8" CEMENT BD "DUROCK" OR APPROVED EQUAL IN LIEU OF 5/8" FC GYP BD, MAINTAINING REQUIRED FIRE RATING AS REQUIRED
- 2) AT ALL TUB LOCATIONS ABUTTING A DEMISING OR FIRE SEPARATION WALL, EXTEND 5/8" X (F.R.) GYP BD OR 5/8" "DUROCK" TO FLOOR DECK BEHIND FIXTURE, BEFORE PLACING FIXTURE MAINTAIN FIRE RATED ASSEMBLY NOTED.
- 3) AS AN APPROVED ALTERNATE GYPSUM BOARD WITH A THREE COAT TAPED JOINT FINISH MAY BE SUBSTITUTED FOR ALL PLASTER VENEER ON WALLS OR CEILING TYPICAL THROUGHOUT. CONFIRM W/ OWNER
- 4) ALL ASSEMBLIES SHALL BE CONSTRUCTED PER DESIGNATED UL DESIGNATION
- 5) AT ALL FIRE RATED PARTITION ASSEMBLIES GYPSUM BOARD SHALL BE 5/8" TYPE X, OR PLASTER BASE (USG "IMPERIAL BOARD PLASTER BASE", OR APPROVED EQUAL).
- 6) FOR ALL SOUND PARTITIONS USE ACOUSTICAL SEALANT AT TOP AND BOTTOM.
- 7) IN ALL PARTITIONS, PROVIDE SOLID BLOCKING AS REQUIRED TO SUPPORT CABINETS, TOILET ACCESSORIES, AND AS REQUIRED BY MAAB. COORDINATE BLOCKING LOCATION WITH THE REST OF THE WORK.

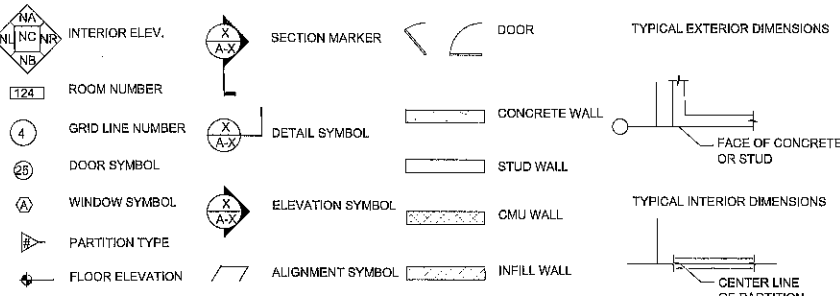
# TYPICAL SOFFIT DETAILS

UL LISTED FLOOR CEILING ASSEMBLY. REFER TO CODE SUMMARY FOR SPECIFIC LISTING ARE REQUIRED HOURLY RATING

IF USING METAL FRAMING TO CONSTRUCT SOFFITS, PROVIDE SOLID WOOD FIRE BLOCKING AT ANCHOR POINTS.



# KEY SYMBOLS



**PETER QUINN ARCHITECTS**  
ARCHITECTURE  
PLANNING  
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC  
1904 MASS AVE, 2ND FLOOR  
CAMBRIDGE, MA 02140  
PH 617-354-3988 FAX 617-868-0280

SEAL

CONSULTANT

PROJECT

**16 SOUTH ST**  
16 SOUTH ST.  
SOMERVILLE, MA 02143

PREPARED FOR

**PATRYCJA MISSIURO & DMITRY VASILYEV**  
17 VINAL AVE, #2  
SOMERVILLE, MA 02143

DRAWING TITLE

**ABBREVIATIONS & PARTITION TYPES**

REV 4	20 MAR 2014
REV 3	20 AUG 2013
SCALE AS NOTED	
REVISION / ISSUE	DATE
REV 2	27 JUN 2013
RECORD	29 APR 2013
CD SET	5 APR 2013
PERMIT SET REV 1	2 OCT 2012
PERMIT SET	3 AUG 2012
DRAWN BY	REVIEWED BY
JH	PQ

SHEET

**G1**

SEAL  
CONSULTANT

PROJECT  
**16 SOUTH ST**

16 SOUTH ST.  
SOMERVILLE, MA 02143

PREPARED FOR

PATRYCJA MISSIURO  
& DMITRY VASILYEV  
17 VINAL AVE, #2  
SOMERVILLE, MA 02143

DRAWING TITLE

**ZONING ANALYSIS**

REV 4 20 MAR 2014  
REV 3 20 AUG 2013  
SCALE AS NOTED

REVISION / ISSUE	DATE
REV 2	27 JUN 2013

CD SET	DATE
CD SET	5 APR 2013

PERMIT SET REV 1	DATE
PERMIT SET REV 1	2 OCT 2012

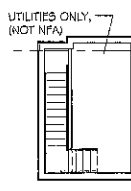
PERMIT SET	DATE
PERMIT SET	3 AUG 2012

DRAWN BY	REVIEWED BY
JHMY	PQ

SHEET  
**Z1**



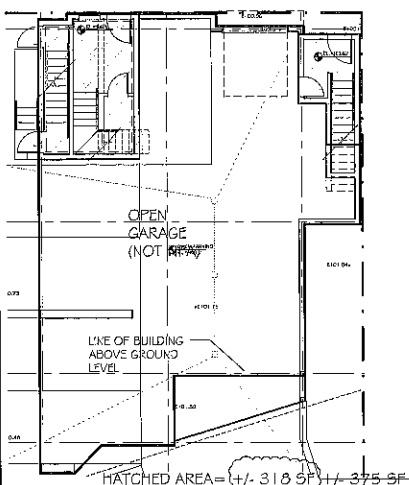
**6 BUILDING HEIGHT DIAGRAM**  
SCALE: 3/32"=1'-0"



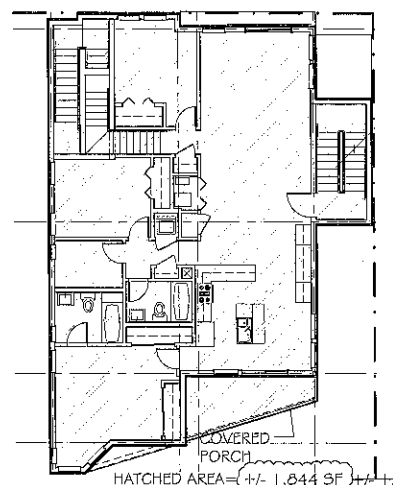
**1 BASEMENT AREA CALC.**  
SCALE: 3/32"=1'-0"

	PROPOSED BLDG NET FLOOR AREA
BASEMENT	0 NSF
FIRST FLOOR	375 NSF / 318 NSF
SECOND FLOOR	4,899 NSF / 1,844 NSF
THIRD FLOOR	4,899 NSF / 1,844 NSF
FOURTH FLOOR	4,898 NSF / 1,752 NSF
BLDG TOTAL	5,574 NSF / 5,758 NSF

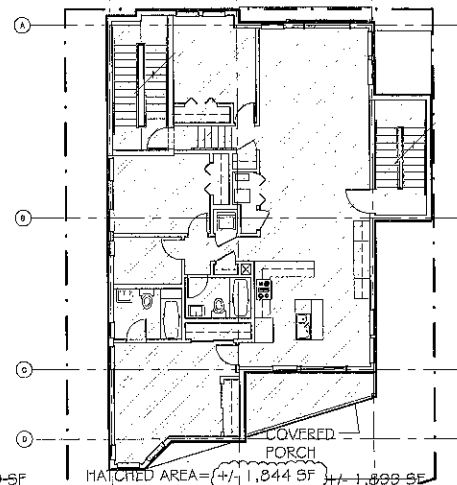
BUILDING AREA CALCULATIONS PER SOMERVILLE DEFINITION OF NET FLOOR AREA



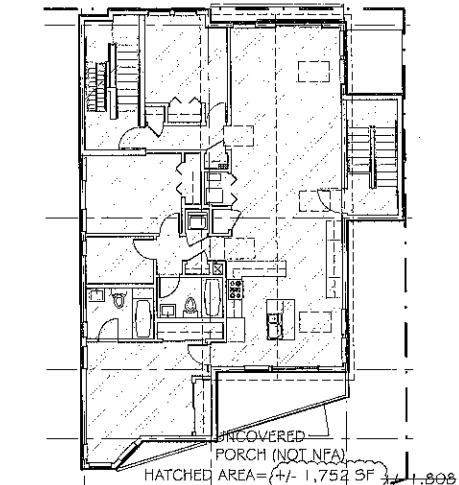
**2 1ST FLR. AREA CALC.**  
SCALE: 3/32"=1'-0"



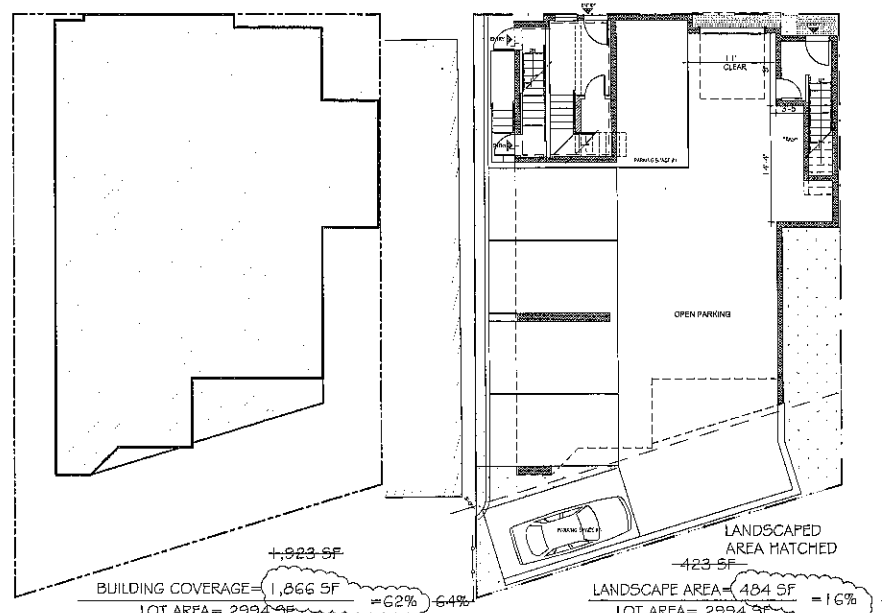
**3 2ND FLR. AREA CALC.**  
SCALE: 3/32"=1'-0"



**4 3RD FLOOR AREA CALC.**  
SCALE: 3/32"=1'-0"

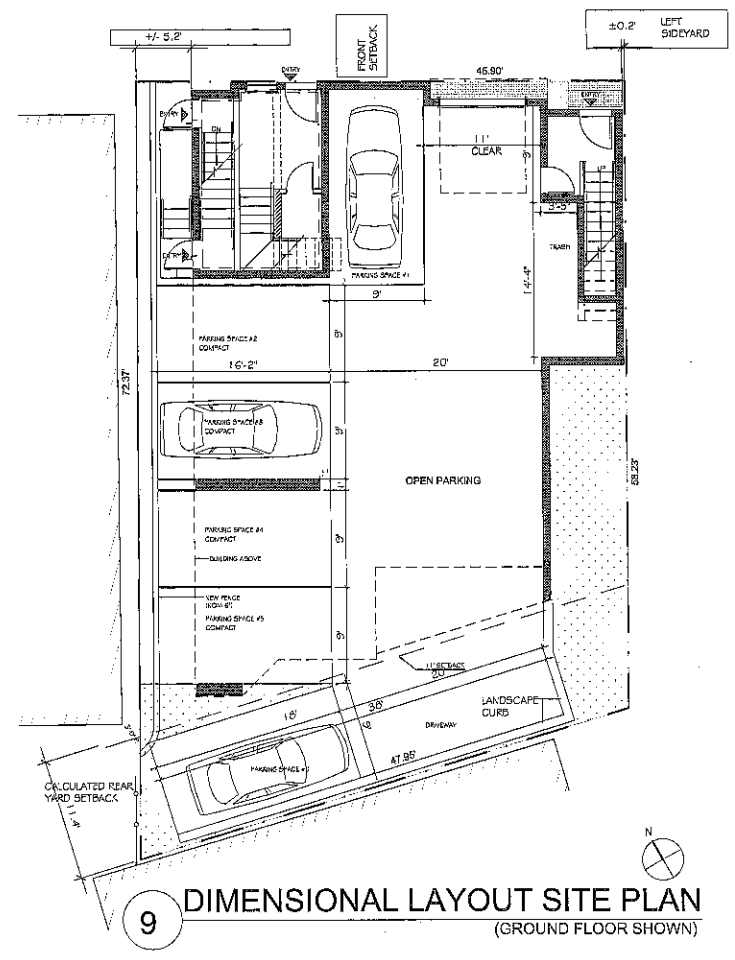


**5 4TH FLOOR PLAN**  
SCALE: 3/32"=1'-0"



**7 MAX. GROUND COVERAGE**  
SCALE: 3/32"=1'-0"

**8 LANDSCAPE AREA CALC.**  
SCALE: 3/32"=1'-0"



**9 DIMENSIONAL LAYOUT SITE PLAN**  
(GROUND FLOOR SHOWN)

**16 SOUTH STREET DIMENSIONAL TABLE - RESIDENTIAL-BA ZONING DISTRICT-**

ITEM	ALLOWED/REQUIRED	PROPOSED	COMPLIANCE
MIN LOT SIZE	NA	2,994-SF	COMPLIES
MIN LOT AREA / UNIT	875 SF/UNIT MIN	998-SF/UNIT	COMPLIES
TOTAL ALLOWABLE BLDG AREA (EXCL GAR'S & BSMT)	LOT AREA X 2.0 = 5,988-SF	5,758-SF / 5,984-SF	COMPLIES
MAX FLR AREA RATIO	2.0 (MAX ALWD)	1.9	COMPLIES
GROUND COVERAGE	80.0% (MAX ALWD)	64% 62% BLDG FOOTPRINT AT GROUND LEVEL	COMPLIES
MIN LANDSCAPED AREA	10.0% (MIN RQD)	16% 14%	COMPLIES
MAX HT FT - STORIES	50.0' / 4-STY	46.5' / 4-STY	COMPLIES
MIN FRONT YD	NA	.1'	COMPLIES
MIN SIDE YD - L	NA	.2'	COMPLIES
MIN SIDE YD - R	NA	(5.2') 4'-8"	COMPLIES
MIN REAR YD	10'+2' FOR EACH STORY ABOVE GROUND LESS SHALLOW LOT = 11.4'	11.4' W/ SHALLOW LOT DEDUCTIONS, SEE NOTE BELOW*	COMPLIES
MIN FRONTAGE	NA	45.9	COMPLIES
PARKING REQUIREMENTS	(3) UNITS, 3 BDRM = 2 SPACES REQ'D/PER UNIT TOTAL PARKING REQUIRED = 6 SPACES NO VISITOR SPACES REQ. TOTAL PARKING PROVIDED = 6 SPACES (4 COMPACT)		RELIEF REQUIRED

\*NOTE - CALCULATION OF REAR YARD SETBACK REDUCTION:

- AVERAGE DEPTH OF LOT  
 $(58.23' + 72.37') / 2 = 65.3'$
- AMOUNT < 100' DEPTH  
 $100' - 65.3' = 34.7'$
- REDUCTION @ 3' / FOOT UNDER 100' DEPTH  
 $[84.7' X (3'/FOOT)] / (12'/FOOT) = 5.68'$
- CALCULATION OF REQUIRED MIN REAR YARD  
20' REQUIRED - 5.68' REDUCTION = 14.32'

SEAL

CONSULTANT

PROJECT

**16 SOUTH ST**

16 SOUTH ST.  
SOMERVILLE, MA 02143

PREPARED FOR

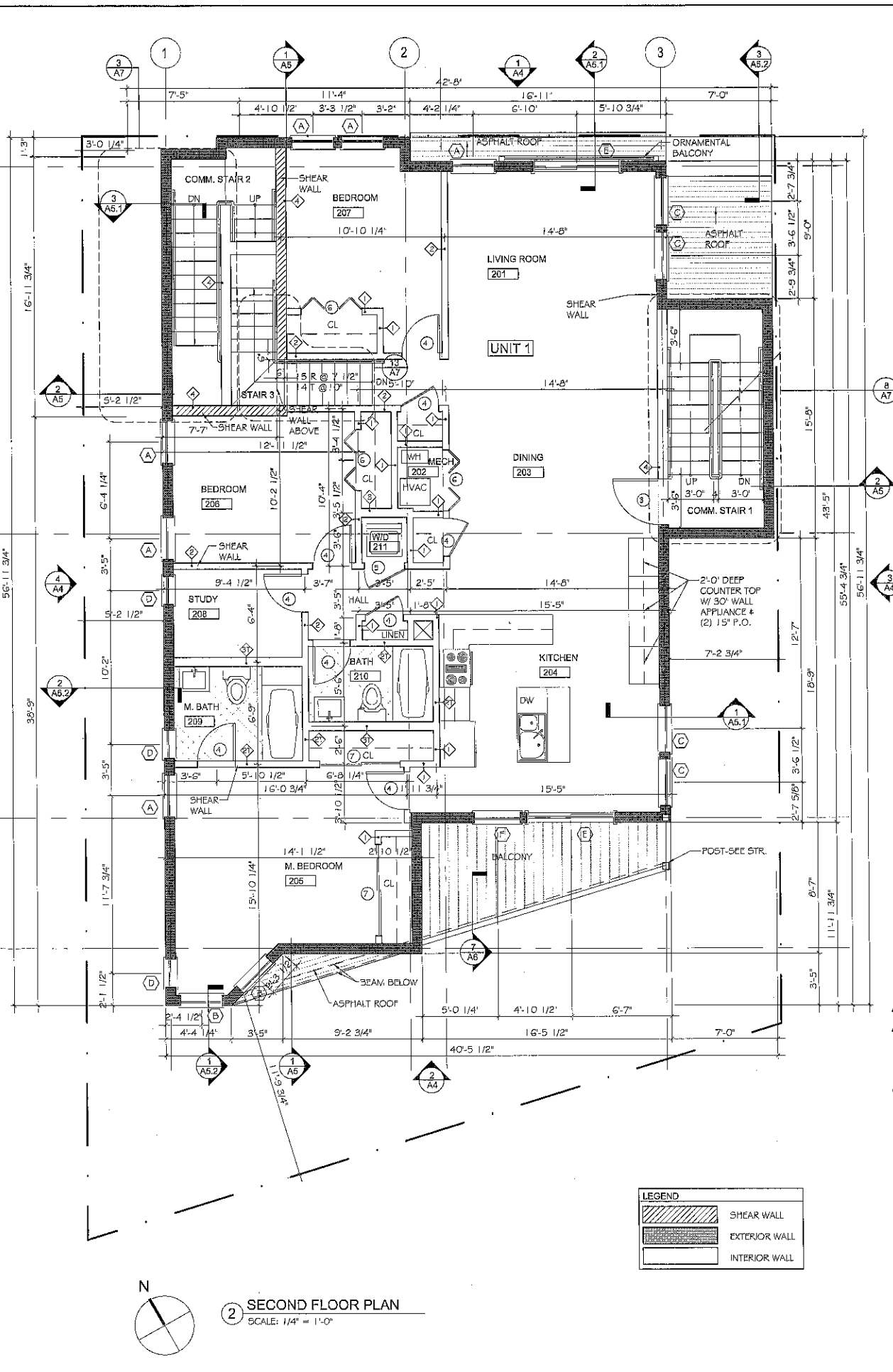
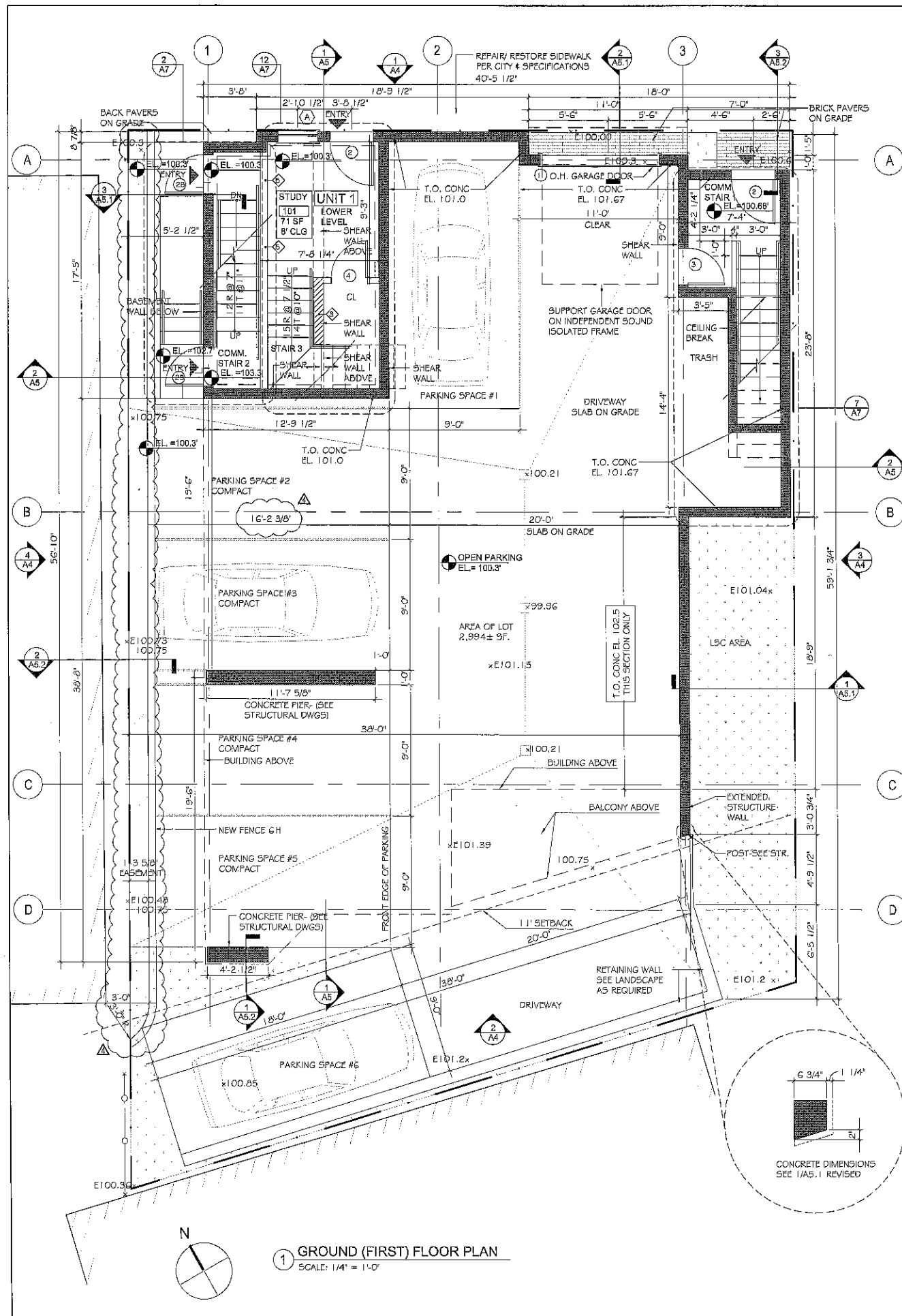
PATRYCJA MISSIURO  
& DMITRY VASILYEV

17 VINAL AVE, #2  
SOMERVILLE, MA 02143

DRAWING TITLE

**GROUND FLOOR  
& SECOND  
FLOOR**

REV 4	20 MAR 2014
REV 3	20 AUG 2013
SCALE AS NOTED	
REVISION / ISSUE	DATE
REV 2	27 JUN 2013
REV	06 JUN 2013
RECORD	29 APR 2013
CD SET	5 APR 2013
PERMIT SET REV 1	2 OCT 2012
PERMIT SET	3 AUG 2012
DRAWN BY PN	REVIEWED BY PQ
SHEET	

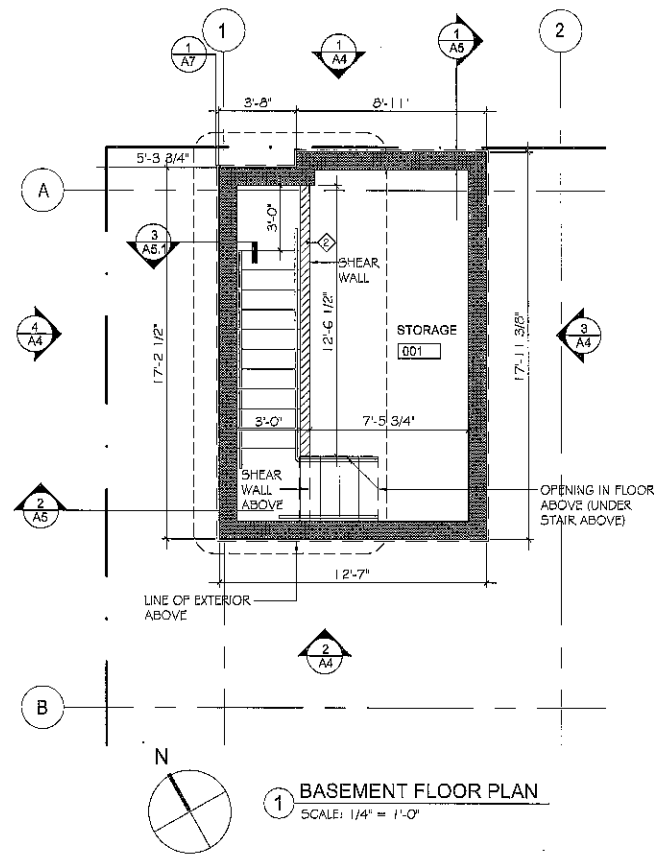


**LEGEND**

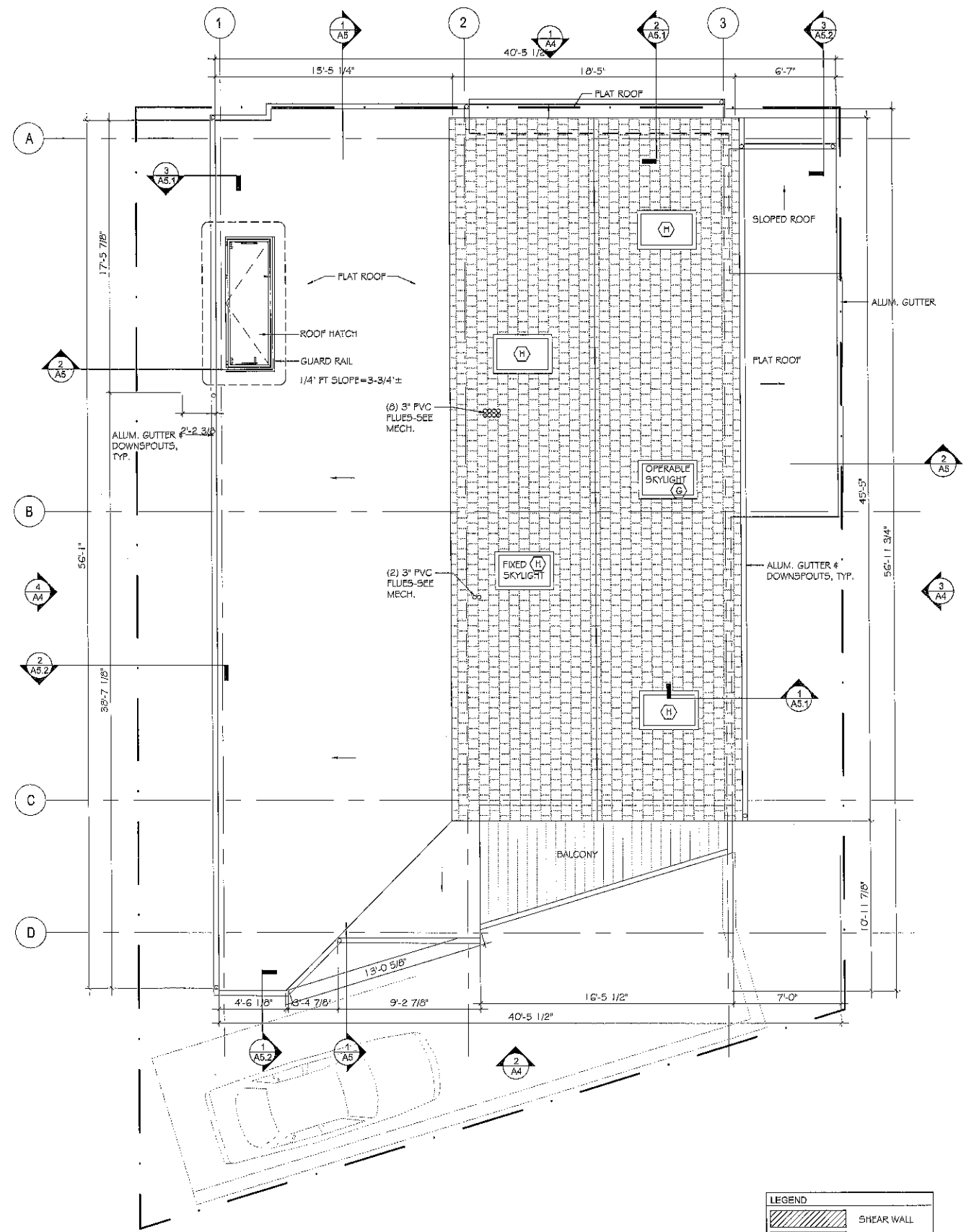
[Hatched Box]	SHEAR WALL
[Dotted Box]	EXTERIOR WALL
[Solid Box]	INTERIOR WALL

**A1**





**1 BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**2 ROOF PLAN**  
SCALE: 1/4" = 1'-0"

**LEGEND**

	SHEAR WALL
	EXTERIOR WALL
	INTERIOR WALL

**PETER QUINN ARCHITECTS**  
ARCHITECTURE  
PLANNING  
COMMUNITY DESIGN  
PETER QUINN ARCHITECTS LLC  
1904 MASS AVE, 2ND FLOOR  
CAMBRIDGE, MA 02140  
PH 617-354-3989 FAX 617-868-0280

SEAL

CONSULTANT

PROJECT  
**16 SOUTH ST**  
16 SOUTH ST.  
SOMERVILLE, MA 02143

PREPARED FOR  
**PATRYCJA MISSIURO & DMITRY VASILYEV**  
17 VINAL AVE, #2  
SOMERVILLE, MA 02143

DRAWING TITLE  
**BASEMENT & ROOF PLAN**

REV 4	20 MAR 2014
REV 3	20 AUG 2013
SCALE AS NOTED	
REVISION / ISSUE	DATE
REV 2	27 JUN 2013
REV	06 JUN 2013
RECORD	29 APR 2013
CD SET	5 APR 2013
PERMIT SET REV 1	2 OCT 2012
PERMIT SET	3 AUG 2012
DRAWN BY PN	REVIEWED BY PQ
SHEET	

**A3**

SEAL

CONSULTANT

PROJECT

16 SOUTH ST

16 SOUTH ST.  
SOMERVILLE, MA 02143

PREPARED FOR

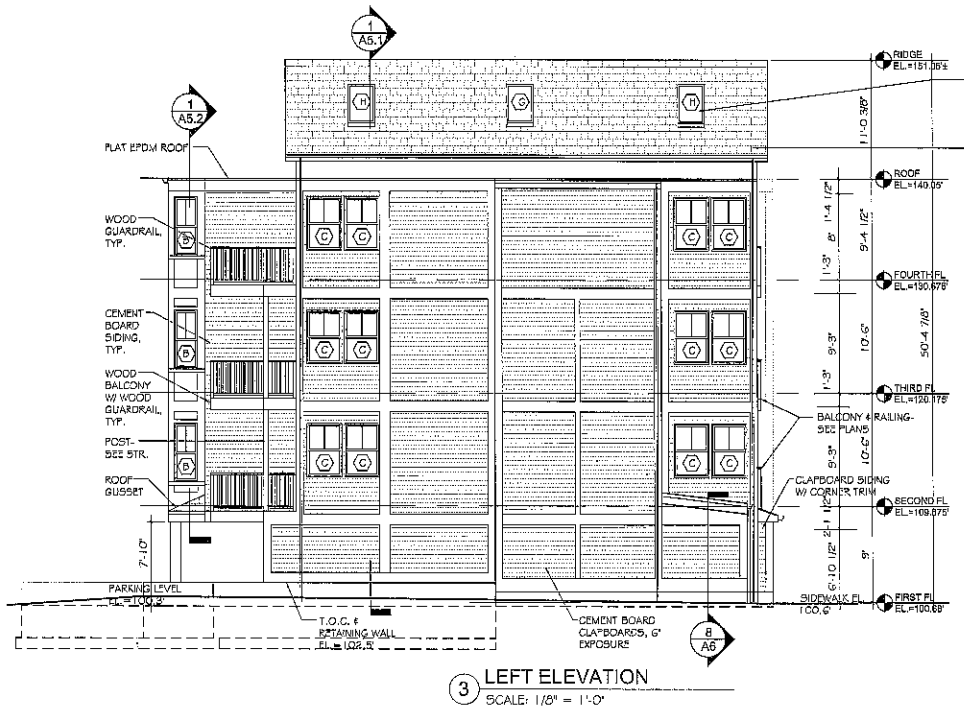
PATRYCJA MISSIURO  
& DMITRY VASILYEV

17 VINAL AVE, #2  
SOMERVILLE, MA 02143

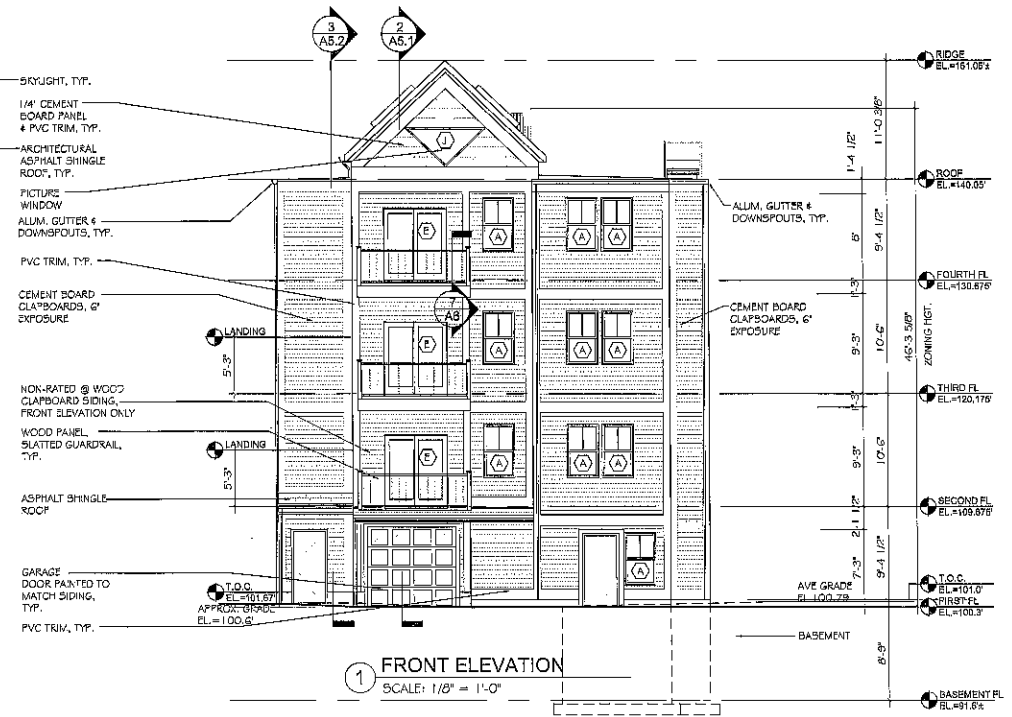
DRAWING TITLE

ELEVATIONS

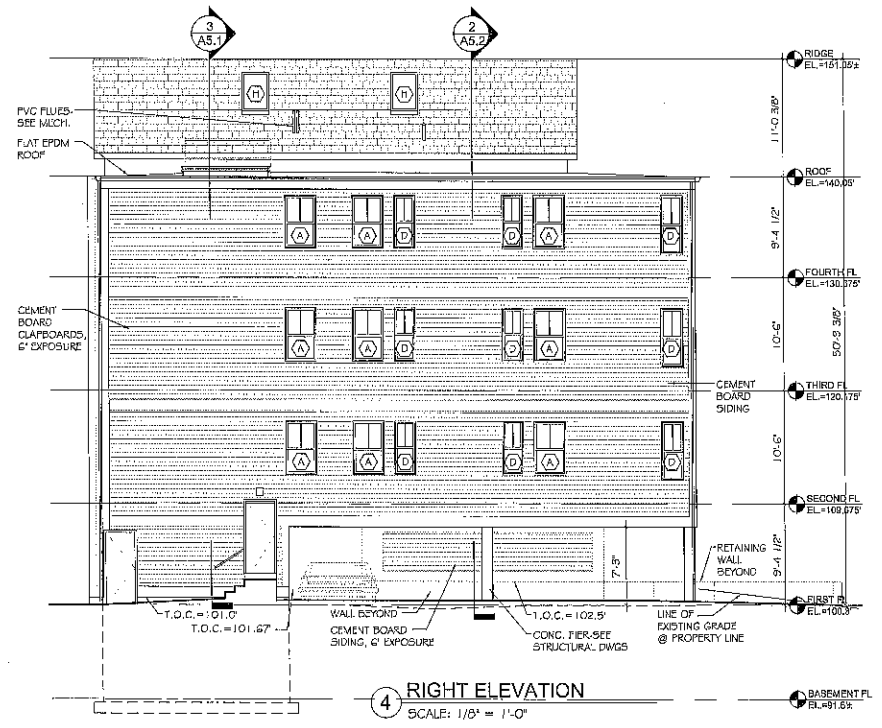
REV 4	20 MAR 2014
REV 3	20 AUG 2013
SCALE AS NOTED	
REVISION / ISSUE	DATE
REV 2	27 JUN 2013
REV	06 JUN 2013
RECORD	29 APR 2013
CD SET	5 APR 2013
PERMIT SET REV 1	2 OCT 2012
PERMIT SET	3 AUG 2012
DRAWN BY DM/MPN	REVIEWED BY PQ
SHEET	



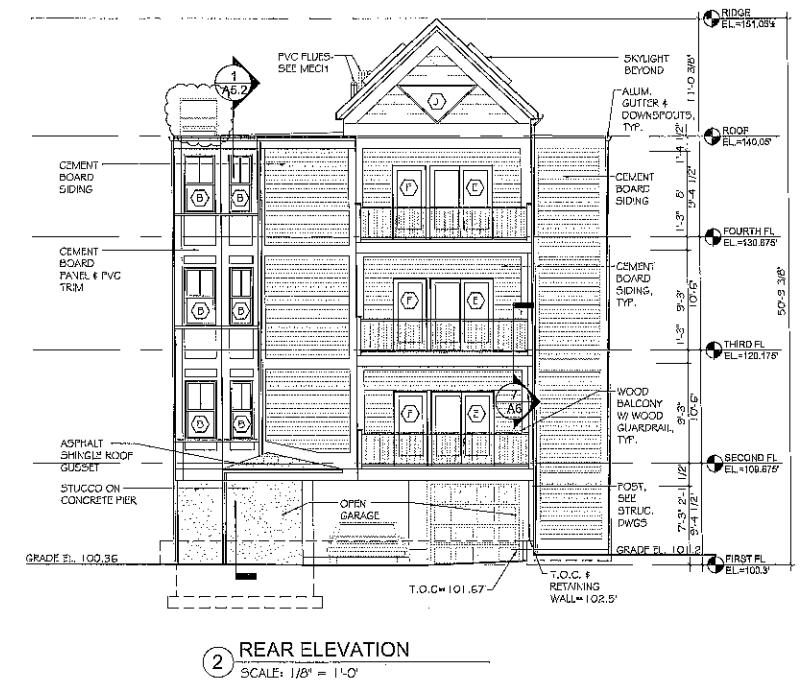
3 LEFT ELEVATION  
SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



4 RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"



2 REAR ELEVATION  
SCALE: 1/8" = 1'-0"